



City of Bartlett
David Parsons, Mayor

Municipal Planning Commission

AGENDA

Monday, March 6, 2023 — 7:00

Bartlett City Hall Assembly Chamber

Opening Prayer

****Official Business of the Day****

Minutes of the Tuesday, January 3, 2022 Meeting

NEW BUSINESS

Master Plan

1. EGY Subdivision, 7642 Highway 70 (Greg Bartlett, The Reaves Firm)

The property is not currently a legal lot of record and must undergo the subdivision process to gain legal lot status and to be eligible for a building permit. The plan includes existing conditions, proposed required landscaping, grading, drainage, and lot layout with dimensions and area.

Construction Plan

2. EGY Subdivision, 7642 Highway 70 (Greg Bartlett, The Reaves Firm)

The property is not currently a legal lot of record and must undergo the subdivision process to gain legal lot status and to be eligible for a building permit. The plan includes sewer layouts, comprehensive drainage plan, landscape plan, planting schedule, and grading plan.

3. Joyce's Gardens Phase 2, South Side of New Brownsville Road between Ellendale and Rockyford (David Bray, The Bray Firm)

Joyce's Gardens is a proposed single-family residential subdivision that was a Planned Development that was approved by the Board of Mayor and

Aldermen in 2022. It is located north and south of the New Brownsville Road extension adjacent to the Rockyford subdivision. The plan includes a construction traffic access plan, grading plan, comprehensive drainage plan, detailed plan of sewer layouts, and the appropriate engineering certificates.

Final Plan

4. Joyce's Gardens Phase 2, South Side of New Brownsville Road between Ellendale and Rockyford (David Bray, The Bray Firm)

Joyce's Gardens is a proposed single-family residential subdivision that was a Planned Development that was approved by the Board of Mayor and Aldermen in 2022. It is located north and south of the New Brownsville Road extension adjacent to the Rockyford subdivision. The Final Plan/Plat includes building setback lines, a written boundary survey, reservations for all easements, restrictive covenants, and street names. This is the document that will be recorded with the Shelby County register of Deeds if approved by the Planning commission.

Election of Officers

Adjourn



City of Bartlett, Tennessee Municipal Planning Commission Staff Report

Subdivision: Master Plan

EGY Subdivision

DATE: March 6, 2023

STAFF: Kim Taylor, Planning Director; Sam Harris, Senior Planner; Leslie Brock, Planner; John Horne, Engineering Director; Erin Campbell, Assistant Engineering Director; Becky Bailey, Engineer; Dalan Hubbard, Engineer

SUBJECT: Master Plan Application Review

APPLICANT: Greg Bartlett, The Reaves Firm

DEVELOPER: Ramy Samy, Elephant Carwash LLC

SITE LOCATION: 7642 Highway 70

SITE ACREAGE: 2.269 acres

ZONING: "C-H" Highway Business
"RS-12" Single Family Residential

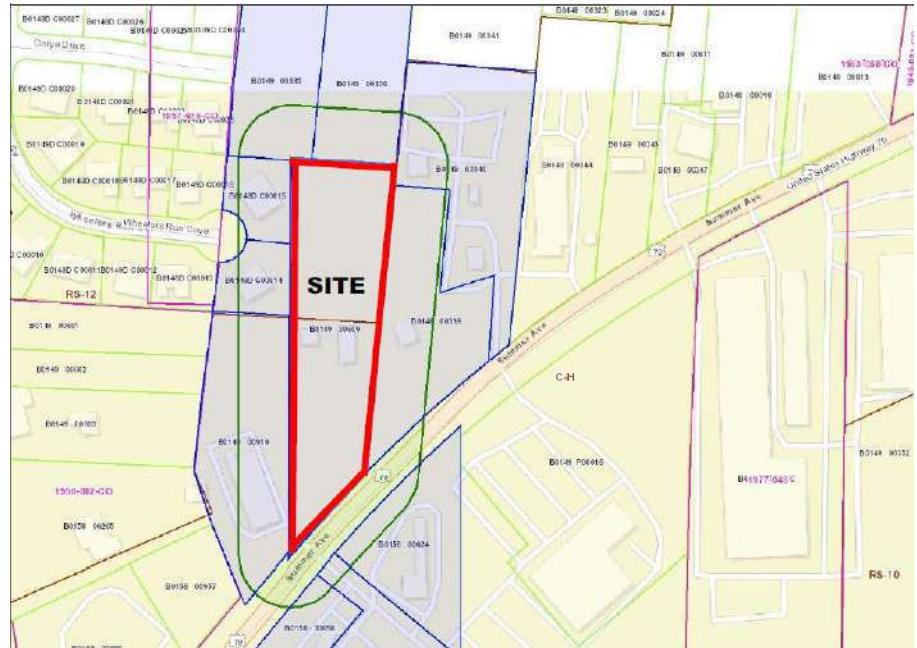
LOTS: 2

INTRODUCTION:

Mr. Greg Bartlett with The Reaves Firm is requesting Planning Commission approval of a Master Plan for the EGY Subdivision. The subject property is located at 7642 Highway 70. The subject property has split zoning with the northern half being in the "RS-12" Single Family Residential Zoning District and the southern half being in the "C-H" Highway Business Zoning District.

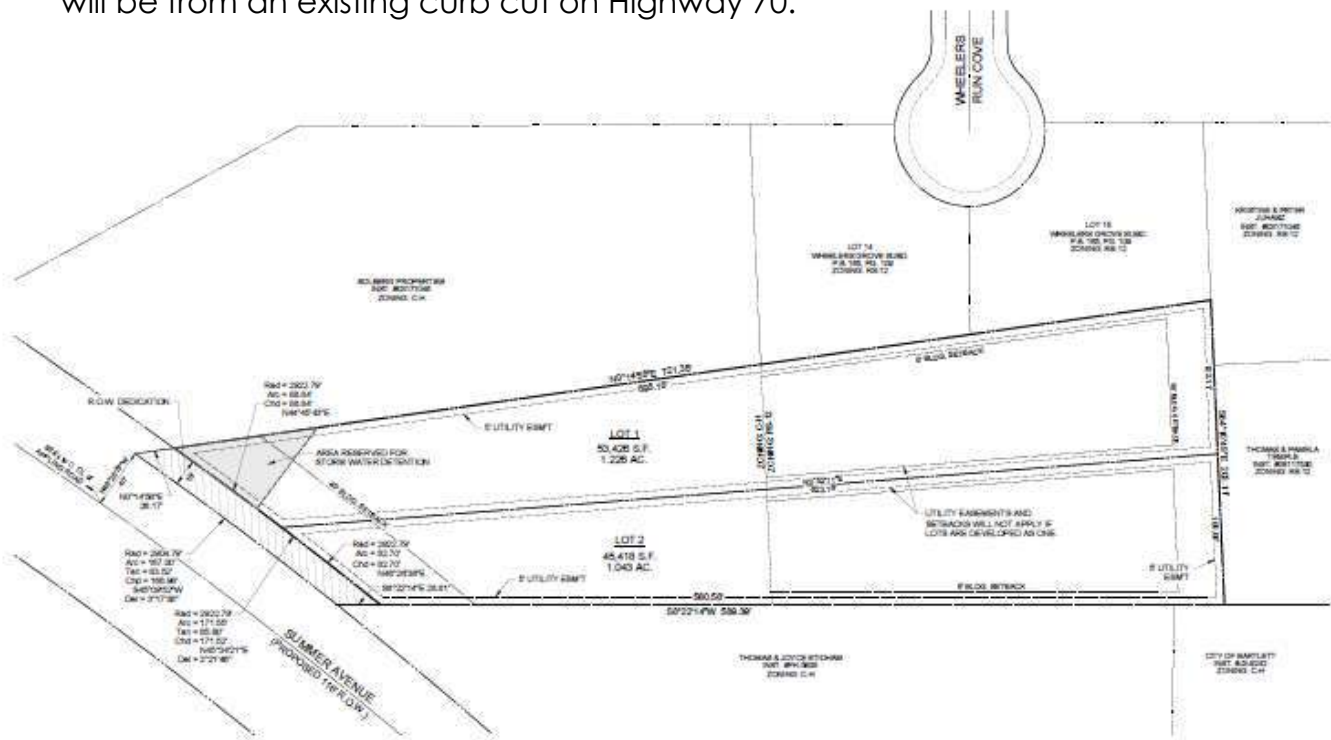
BACKGROUND:

The subject property is not a legal lot of record (created after March 6, 1956) and is less than 4-acres (not exempt from subdivision regulations). In order to make the lot eligible for a building permit, it must be within a Planning Commission approved and legally recorded subdivision.



DISCUSSION:

The specific request by the applicant is for the approval of the Master Plan for the EGY Subdivision. The applicant is proposing to subdivide the existing 2.269 acre subject property into two lots. Lot 1 is proposed to be 1.226 acres, and Lot 2 is proposed to be 1.043 acres. Once Lots 1 and 2 are recorded on the plat, the applicant will re-record the plat to combine Lots 1 and 2 to create one legal lot of record that is eligible for a building permit. Access to the subdivision will be from an existing curb cut on Highway 70.



Recommendation: Approval with conditions.

Engineering Conditions:

General:

1. A Commercial Site Plan contract will be required and will be prepared by Engineering and submitted to the developer/engineer for review to cover the fees to be paid to the City of Bartlett.
2. A note shall be added to the plan that reads:
"Lot 2 is a non- buildable lot. This plat shall be re-recorded to combine Lot 1 and Lot 2 into one Lot. The property will be eligible for one building permit."
3. ROW dedication shall be hatched and called out as "Dedicated to the City." The dedication required is 57 feet from the centerline of the roadway. The linear dimensions shall be shown on the plan.
4. Since this project is located in the Fletcher Creek Sewer Basin, if a sewer tap is not currently on the lot, approval will be dependent on developer receiving written approval from the City of Memphis for new sewer connection and possible sewer holding tank.

Planning Comments:

1. The property owner located at 3900 Wheelers Run Cove contacted staff to state their concern about the four trees adjacent to tree #33 on the tree survey. The property owner disputes the exact location of these four trees along the property line and expressed their belief that all four trees are located on the subject property and not their property as shown on the tree survey. Also, the property owner is concerned about the four trees being diseased and hazardous trees, so the property owner would like those four trees removed.
2. The adjacent property owners have contacted staff concerned about the future commercial development of the subject property. In particular, the property owners have inquired about a landscape buffer. Staff informed the neighbors that a landscape buffer is only required when a commercial use or zoning borders along residential use or zoning. The subject property is zoned residential where it borders the adjacent residential property. The property owner of the subject property has proposed to leave the existing trees and landscaping as is while demolishing the existing residential structure and accessory structures. The adjacent residential property owners would like the property owner to maintain a wood privacy fence around the subject property.

Planning Conditions:

1. The Vicinity Map on the plans shall be revised to identify Memphis Arlington instead of Egypt Central.
2. The applicant must add the fence detail for Landscape Plate 23D to the Landscape Plan.
3. The applicant must obtain a demo permit from Code Enforcement to demolish the existing house and accessory buildings.
4. The commercial property owner will be responsible for landscape maintenance of the entire lot and the fence adjacent to the residential neighbors in perpetuity.
5. The applicant must obtain Final Plan and Site Plan approval from the Planning Commission.
6. The applicant must obtain Site Plan approval from the Design Review Commission.
7. The applicant shall be present at the meeting in order to make decisions relative to any changes that may be suggested by the Planning Commission.



**The
Reaves
Firm**
INCORPORATED

Planning
Engineering
Landscape Architecture
Land Surveying

DATE: 2-6-23
TO: Sam Harris
City Planner
City of Bartlett
6382 Stage Road, Bartlett, TN 38134
Ph: 901-385-6417

FROM: Christine Donhardt
RE: EGY Subdivision
JOB NO.: 22-0193
VIA: Blue Sky

Transmittal

Sam,

See enclosed application for subdivision on Summer:

- 10 paper copies full size
- Check for the application fee \$680
- Thumb drive with files.



February 6, 2023

Mr. Sam Harris
City Planner
Department of Planning & Economic Development
P.O. Box 341148
Bartlett, TN 38134

RE: 7642 Highway 70 (Summer Ave)

Dear Mr. Harris:

On behalf of Elephant Car Wash LLC, we are submitting the enclosed applications for property at 7642 Highway 70 (Summer Ave.) to be heard by the Planning Commission on March 6, 2023. The property currently is not a legal lot of record and therefore a subdivision is required. We are proposing two lots, the minimum allowed in Bartlett, although the property will most likely be developed as one. To do this we submit to you a Master Plan and Construction plan application which includes existing conditions, proposed required landscaping, grading, etc.

Please note that this plan proposes to leave the northern section of the property as woods.

Your consideration of this application is greatly appreciated.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Mike Davis'.

Mike Davis, RLA

**Bartlett Planning and
Economic Development Department**
6382 Stage Road, P.O. Box 341148
Bartlett, TN 38184-1148
901-385-6417 FAX 901-385-6419
www.cityofbartlett.org

Bartlett Planning Commission
**Application for Master Subdivision Plan
Approval**

Subdivision Name EGY No. of Lots 2

Subdivision Location 7642 Highway 70

Owner/Developer Contact Ramy Samy Phone 901-340-5050

Company Name ELEPHANT CARWASH LLC Fax _____

Address 166 DANA DR. COLLIERVILLE TN 38017

Email Address egymanagement@gmail.com

Architect Contact _____ Phone _____

Company Name _____ Fax _____

Address _____

Email Address _____

Engineer Contact Greg Bartlett Phone 901-761-2016

Company Name The Reaves Firm Fax _____

Address 6800 Poplar Ave Ste. 101, Memphis, TN 38138

Email Address gbartlett@reavesfirm.com

Submitted by Greg Bartlett  2-6-23
(printed name) (signature) (date)

Email Address gbartlett@reavesfirm.com Phone 901-761-2016 Fax _____

- GB Acknowledge (by initials in the blank to the left) that the "Application Instructions: Planning Commission" were obtained and read prior to submitting this application.
- X The "Master Subdivision Plan Checklist" has been completed and required all items have been provided. (See reverse page/or attached checklist)
- X Provide 18-folded ($\pm$ 10"x13") sets of plans with a copy of the signed application attached to each set.
- X Provide an electronic PDF file of the plans. Note that an updated electronic file is required when plans are revised. The electronic file shall be labeled with the project name and accurately dated.
- X Include a fee of \$300.00 plus \$20.00 per lot with this application (check payable to the City of Bartlett). **The fee is not refundable.**

I, the property owner(s) hereby authorize the filing of this application.

Ramy Samy , Ramy Samy 02-06-2023
(print name) (signature) (date)

Master Subdivision Plan Checklist

The applicant shall either indicate that the following items have been completed by a check (✓) or that they are not applicable (n/a):

- ☒ Date, north point and scale
- ☒ Location sketch map
- ☒ Boundary survey, showing location of point of beginning, true or grid bearing and length of each line, and area in acres
- ☒ Name and addresses of adjoining owners on gum labels. (one set)

Existing and Proposed:

- ☒ Tree Survey with Tree Table
- ☒ Tree Protection Plan with Tree Table
- ☒ Existing Survey/Conditions Plan
- ☒ Site Plan/Layout of development with areas reserved for detention/retention
- ☒ Grading/Drainage Plan showing all drain manholes, inlets, and drainage areas picked up
- ☒ Contour intervals
- ☒ Streets
- ☒ Structures
- ☒ Water courses
- ☒ Rights-of-way
- ☒ Sewers
- ☒ Bridges
- ☒ Culverts
- ☒ Springs (water)
- ☒ Water mains
- ☒ Easements for drainage, water, sewer, landscape, and signage
- ☒ Utility lines including utility easements along property lines

- ☒ Location and extent of all land subject to flooding

Proposed:

- ☒ Plat with signature blocks and notes
- ☒ Lot or parcel layout plan with dimensions and area
- ☒ Street rights-of-way
- ☒ Erosion Control Plan with phasing
- ☒ Traffic Control Plan with phasing and notes
- ☒ Landscape Plan
- ☒ Drainage improvements study
- ☒ Drainage Pipe Table with all inlets and capacities and Q25 design
- ☒ Detention Basin Calculations for 2, 5, 10, 25, 50, and 100 year design
- ☒ Sediment Basin Design and Calculations
- ☒ Flood hazard area details
- ☒ Floodways
- ☒ Utility Plan with size of meters required and location of fire sprinkler room
- ☒ Plan and Profile of all streets
- ☒ Sewer Plan and Profile
- ☒ Setback lines

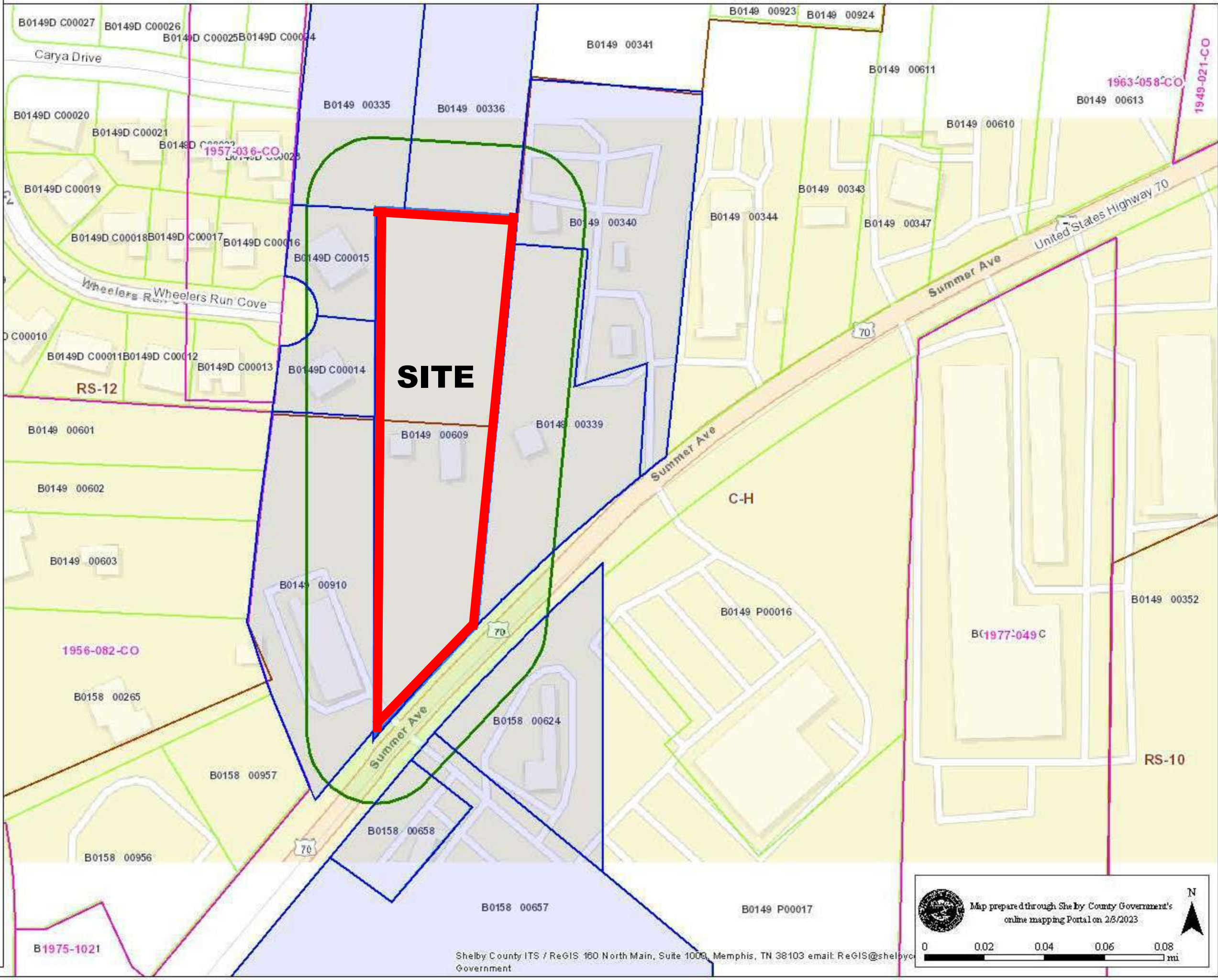
Zoning Classification:

- ☒ Site (with area indicated)
- ☒ Adjoining land

In addition to the Master Plan drawing, the following shall be provided:

- ☒ One PDF file of the pictorial portion of the Master Plan, for display at the Planning Commission meeting.

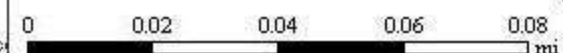
INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED

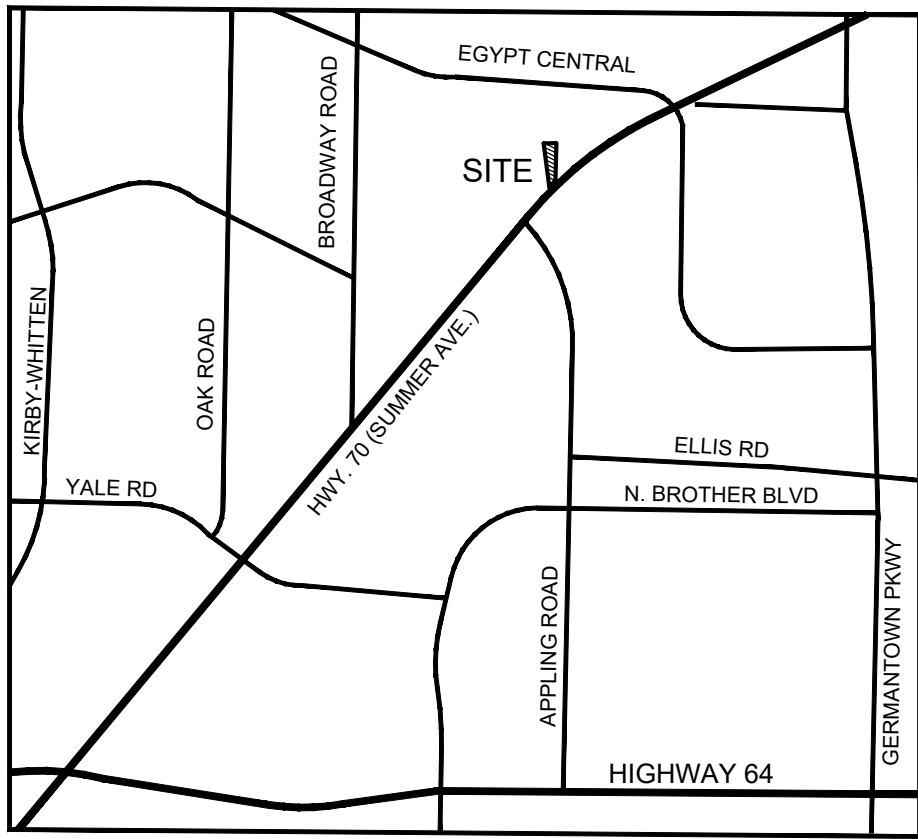


SITE



Map prepared through Shelby County Government's
online mapping Portal on 2/8/2023





The
Reaves
Firm
INCORPORATED

Engineering
Planning
Landscape Architecture
Land Surveying

6800 Poplar Avenue, Suite 101 Memphis, TN 38138
901.761.2016 Fax: 901.763.2847
www.ReavesFirm.com

MASTER PLAN		
EGY SUBDIVISION		
BARTLETT, TENNESSEE	PARCEL ID: B0149 00609	
NUMBER OF LOTS: 2	2.269 ACRES	
DEVELOPER: ELEPHANT CAR WASH, LLC	ENGINEER: THE REAVES FIRM	
100 YEAR FLOOD ELEV: 293.0 ±	FEMA MAP PANEL: 470175 0310G	FEMA MAP DATE: FEB. 6, 2013
FEBRUARY 2023	SCALE: 1" = 40'	SHEET 1 OF 2

Christine 20x24 Z:\2022\22-0193 7642 Summer Ave Carwash\05 Site Plan Development\Master Subd and Construction Plans\CO.0 Master Subd Plan.dwg Feb 06, 2023 - 9:42am

OWNER'S CERTIFICATE

I, _____, the undersigned owner of the property shown hereon, hereby adopt this as my plan of subdivision and dedicate the streets as shown to the public use forever, and hereby certify that I am the owner in fee simple, duly authorized so to act, and that said property is unencumbered by any taxes that have become due and payable.

Signature: _____

Printed Name: _____, Owner

NOTARY'S CERTIFICATE

State of Tennessee
County of Shelby

Before me, the undersigned, a Notary Public in and for the State and County aforesaid, duly commissioned and qualified, personally appeared _____, with whom I am personally acquainted, and who, upon oath, acknowledged himself to be _____ of _____, and he as such _____ executed the forgoing instrument for the purpose therein contained by signing his name as representative of the owner.

In witness whereof, I have hereunto set my hand and affixed my seal this _____ day of _____, 2023.

Notary Public _____

My Commission Expires _____

MORTGAGEE'S CERTIFICATE

We the undersigned, _____, Mortgagee of the property shown hereon, hereby adopt this plat as our plan of subdivision and dedicate the streets, rights-of-way, easements, and rights of access as shown to the public use forever, and hereby certify that we are the mortgagee duly authorized so to act and that said property is unencumbered by any taxes which have become due and payable.

Signature: _____

NOTARY'S CERTIFICATE

State of Tennessee
County of Shelby

Before me, the undersigned, a Notary Public in and for the State and County aforesaid, duly commissioned and qualified, personally appeared _____, with whom I am personally acquainted, and who, upon oath, acknowledged himself to be _____ of _____, and he as such _____ executed the forgoing instrument for the purpose therein contained by signing his name as representative of the Mortgagee.

In witness whereof, I have hereunto set my hand and affixed my seal this _____ day of _____, 2023.

Notary Public _____

My Commission Expires _____

PLANNING COMMISSION CERTIFICATE

I, _____, do hereby certify that the City of Bartlett Planning Commission has approved this plat of subdivision for recording.

Date _____ Secretary, Bartlett Planning Commission (Director of Planning)

BOARD OF MAYOR AND ALDERMEN CERTIFICATE

I, _____, do hereby certify that all required improvements have been installed or that a performance bond or other collateral in sufficient amount to assure completion of all required improvements has been posted for the subdivision shown on this plat and are hereby approved by the City of Bartlett, Tennessee.

Date _____ Mayor, City of Bartlett

CERTIFICATE OF SURVEY

I, _____, do hereby certify that I am a registered (Professional Civil Engineer) / (Land Surveyor), and that I have surveyed the lands, embraced within the plat or map designated as _____, a subdivision all lying within the corporate limits of the City of Bartlett, Tennessee; said plat or map is a true and correct plat or map of the lands embraced therein, showing the subdivision thereof in accordance with the Subdivision Regulations of the City of Bartlett, Tennessee; I further certify that the survey of the lands embraced within said plat of map has been correctly monumented in accordance with the subdivision regulation of the City of Bartlett, Tennessee.

In witness whereof, I, the said _____, (Professional Civil Engineer)/ (Land Surveyor), hereunto set out hand and affix my seal this _____ Day of _____, 2023 .

(Professional Civil Engineer)(Land Survey)
State of Tennessee Certificate No. _____ SEAL

CERTIFICATE OF ADEQUACY OF STORM DRAINAGE

I, _____, do hereby certify that I am a registered Professional Civil Engineer, and that I have designed all storm water drainage for the _____ Subdivision to assure that neither said subdivision nor adjoining property will be damaged or the character of land adjoining property will be damaged or the character of land use affected by the velocity and volume of water entering or leaving same.

In witness whereof, I, the said _____ Professional Civil Engineer, hereunto set out hand and affix my seal this _____ Day of _____, 2023 .

Professional Civil Engineer
State of Tennessee Certificate No. _____ SEAL

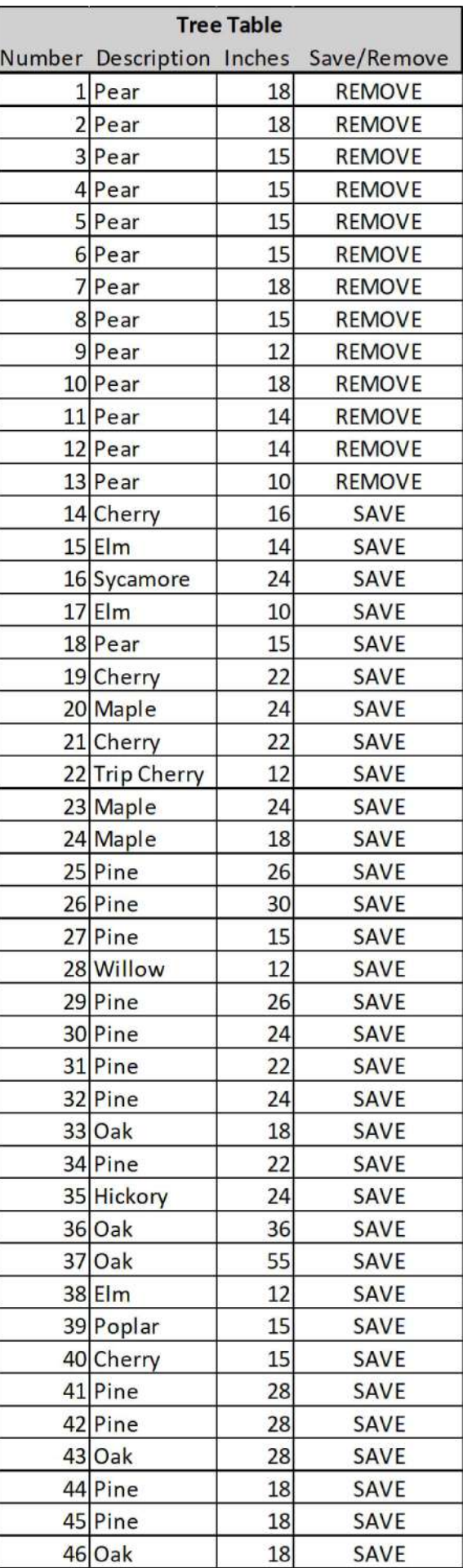


JOB # 22-0193

MASTER PLAN

EGY SUBDIVISION

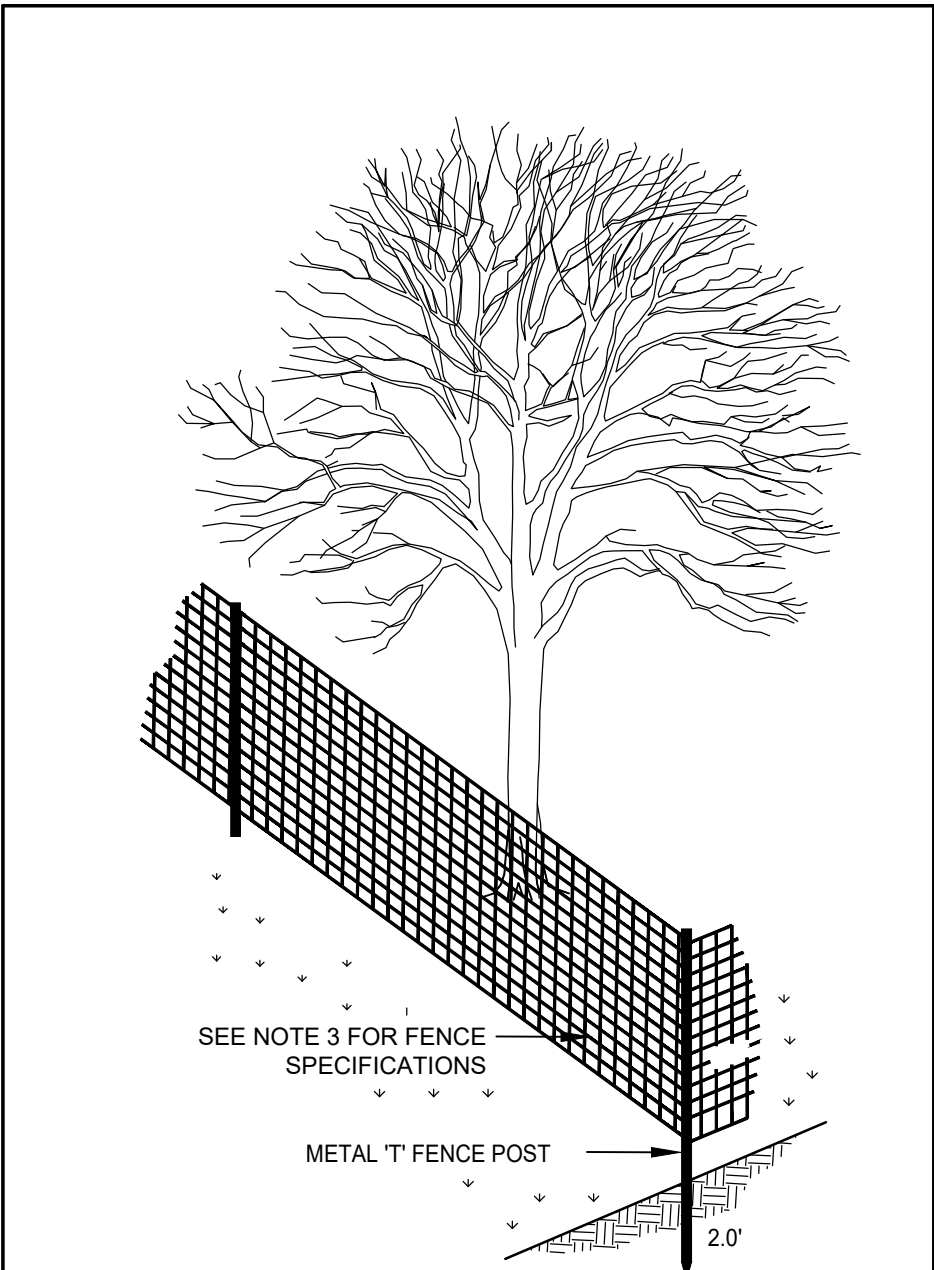
BARTLETT, TENNESSEE		PARCEL ID: B0149 00609
NUMBER OF LOTS: 2		2.269 ACRES
DEVELOPER: ELEPHANT CARWASH, LLC		ENGINEER: THE REAVES FIRM
100 YEAR FLOOD ELEV: 293.0 ±	FEMA MAP PANEL: 470175 0310G	FEMA MAP DATE: FEB. 6, 2013
FEBRUARY 2023	SCALE: n/a	SHEET 2 OF 2



VICINITY MAP

±1"=3000'

N



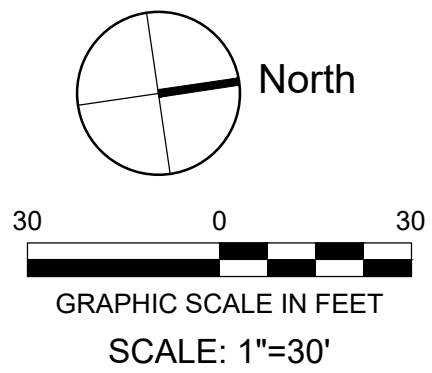
1. TREES THAT ARE INDICATED TO REMAIN MUST BE PROTECTED WITH CONSTRUCTION FENCE TO THE TREES' DRIP LINE. ALL FENCING MUST BE IN PLACE PRIOR TO ANY CLEARING OR CONSTRUCTION.
2. VERIFY ALL TREE LOCATIONS ALONG PROPERTY LINE.
3. PROVIDE BRIGHT ORANGE MISF-1776 WOVEN FABRIC FENCE WITH 14GA WIRE MESH BACKING FOR TREE PROTECTION. PLACE AND STAKE IN ACCORDANCE WITH MANUFACTURES SPECIFICATIONS.

1	Tree Protection Fencing Detail
	NTS

DEVELOPER:
ELEPHANT CARWASH, LLC
166 DANA DRIVE
COLLIERVILLE, TN
901-340-5050

[illegible]

EGY SUBDIVISION
DEVELOPER: ELEPHANT CARWASH, LLC
ENGINEER: THE REAVES FIRM, INC.



SHEET 1 of 1

DIVISION OF ENGINEERING

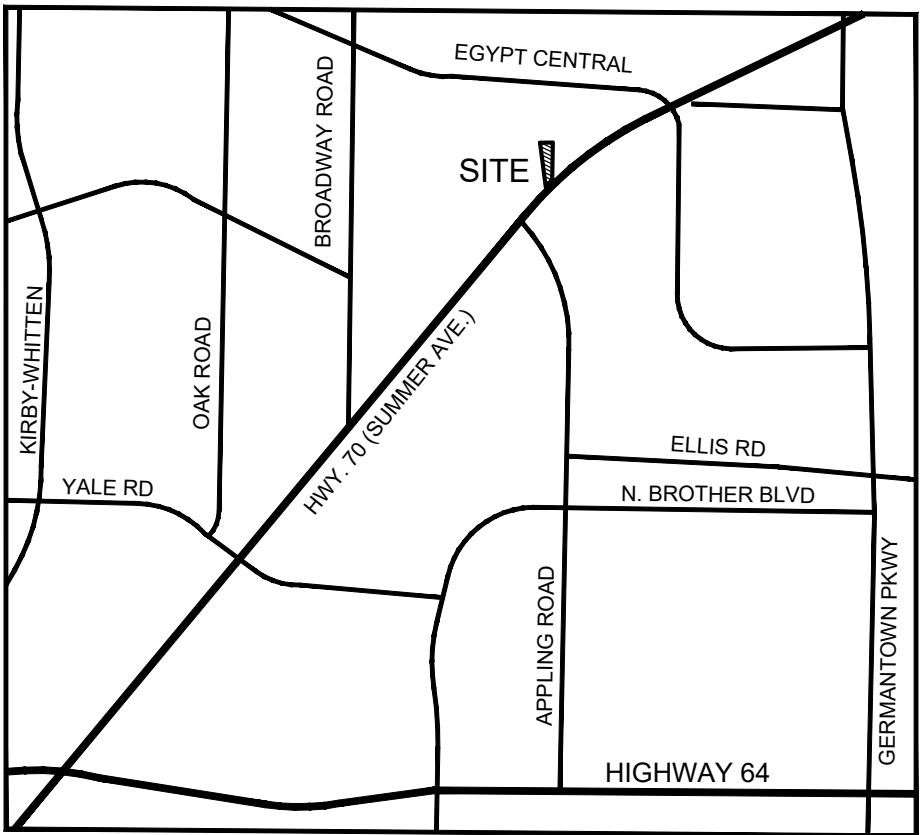
EXISTING CONDITIONS PLAN

LOCATION: 7642 SUMMER AVENUE

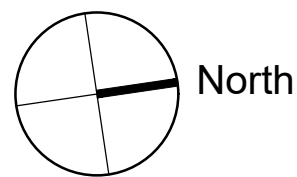
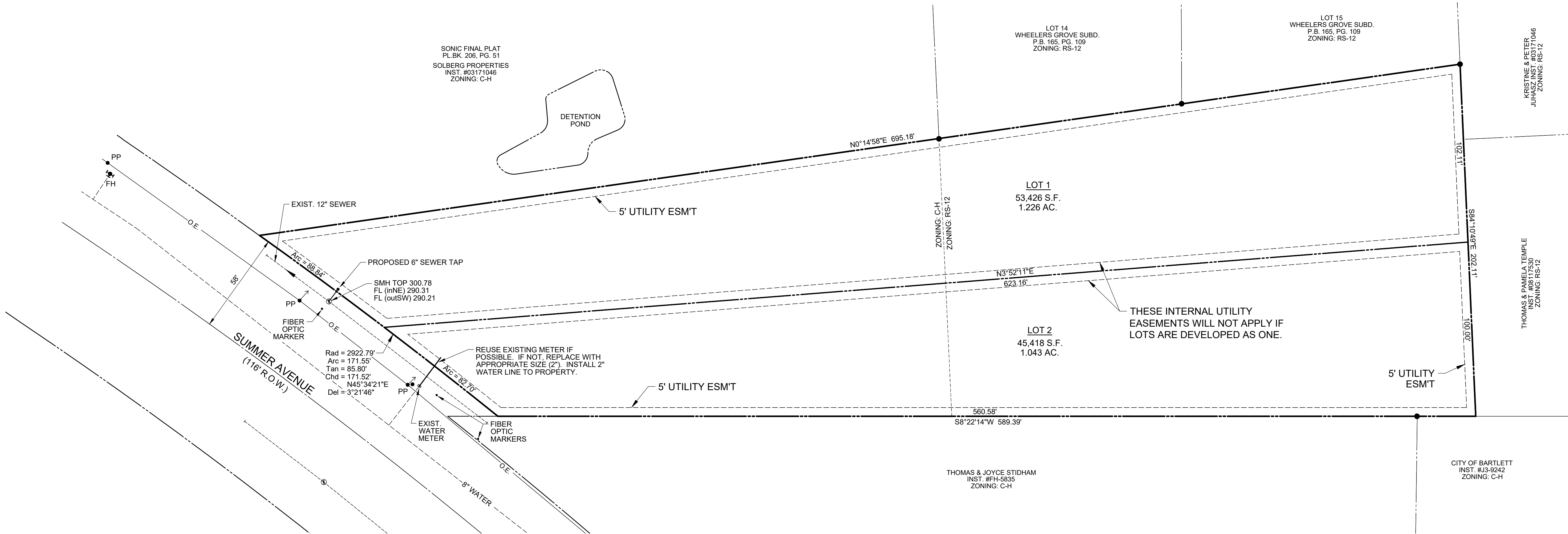
SURVEY	TRF	DATE	10/22	BOOK	
DRAFTED	EKM	DATE	2/23	SCALE	1"=30'
DESIGN BY	TRF	DATE	2/23	CHECKED	DATE
REVIEWED					

CITY ENGINEER _____ DATE _____

C1.0



VICINITY MAP
±1"=3000'

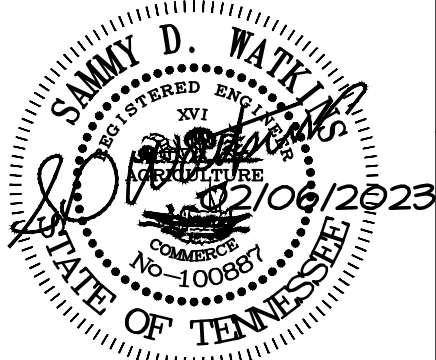


GRAPHIC SCALE IN FEET
SCALE: 1"=30'

DEVELOPER:
ELEPHANT CARWASH, LLC
166 DANA DRIVE
COLLIERVILLE, TN
901-340-5050



ITEM No.	DESCRIPTION of CHANGE	APPROVAL DATE



EGY SUBDIVISION
DEVELOPER: ELEPHANT CARWASH, LLC
ENGINEER: THE REAVES FIRM, INC.

SHEET 1 of 1
DIVISION OF ENGINEERING
UTILITY PLAN
LOCATION: 7642 SUMMER AVENUE

SURVEY

DRAFTED

DESIGN BY

TRF

EKM

TRF

DATE

DATE

DATE

10/22

2/23

2/23

BOOK

SCALE

CHECKED

1"=30'

DATE

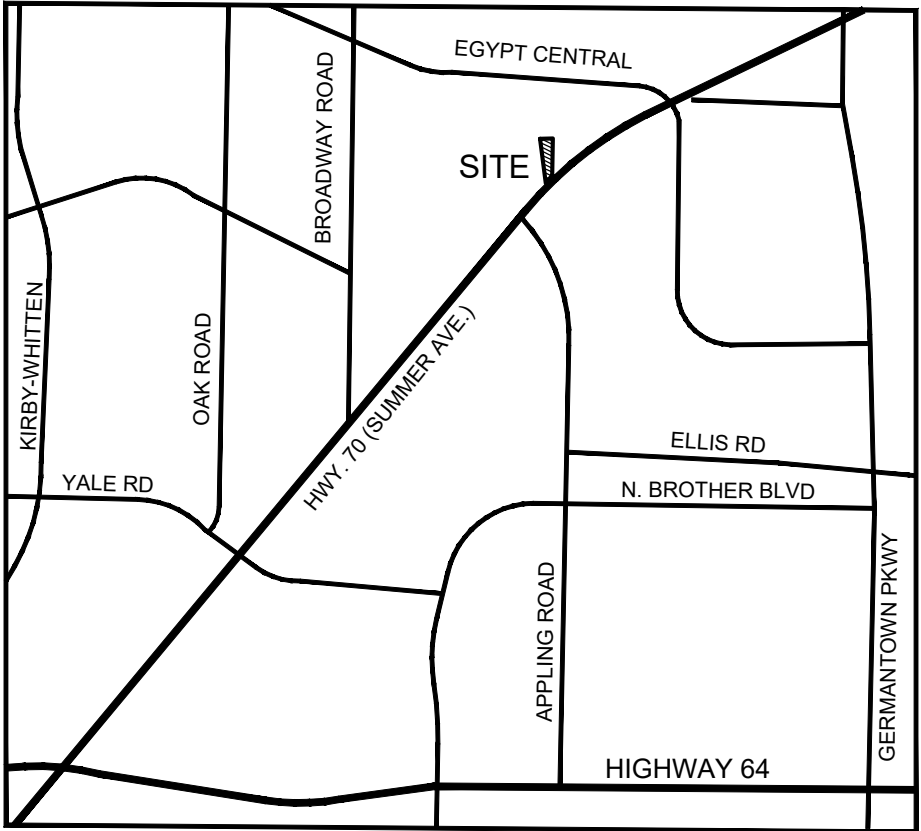
REVIEWED

CITY ENGINEER

DATE

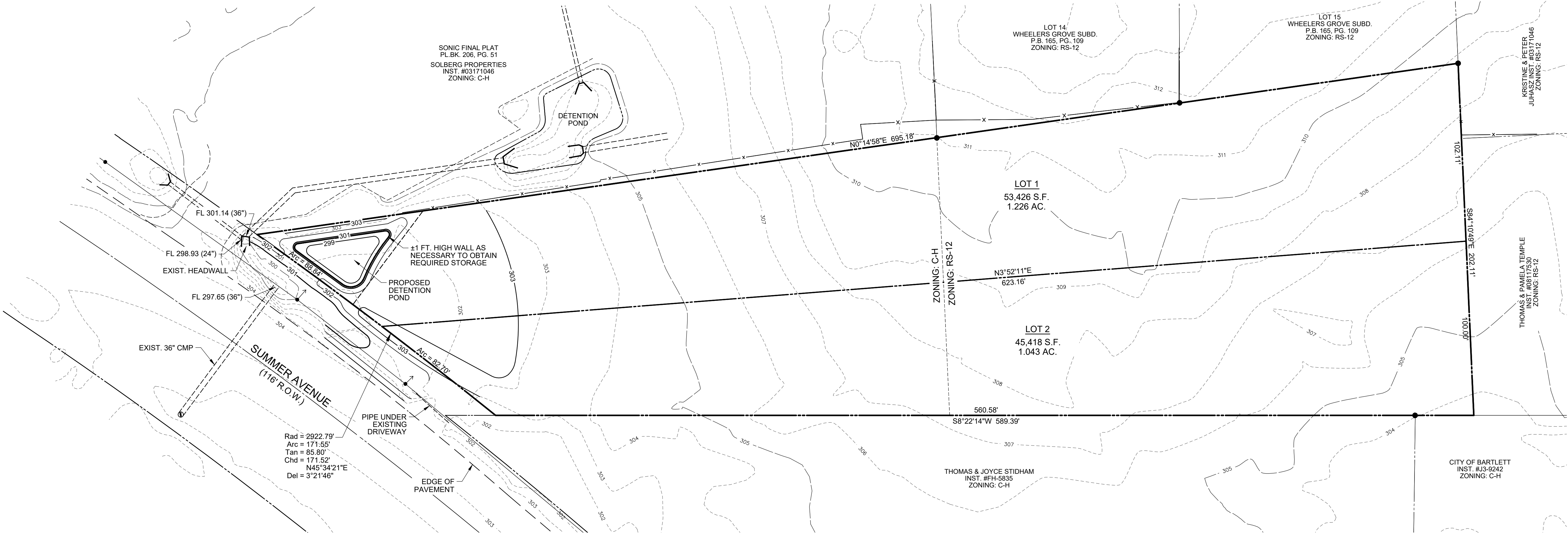
C2.0

- NOTES:
- All design, construction, and materials shall be in compliance with the city of bartlett specifications and standards.
 - The contractor shall notify the city of bartlett engineering office at 901-385-6499 a minimum of 24 hours prior to commencing construction.
 - All newly cut and/or filled areas lacking adequate vegetation shall be seeded, fertilized, mulched, and/or sodded as required to prevent soil erosion.
 - The contractor shall not enter upon, work upon nor cause damage to any adjacent properties without prior permission from said property owner.
 - All fill and/or trench backfill shall be compacted to 95 percent standard proctor. Moisture content not to exceed 3% above or below optimum moisture (standard proctor d698). Jetting or flooding of trenches or other backfill is not allowed.
 - The contractor shall be responsible for notifying utility companies which maintain a utility line within the boundaries of the project prior to the initiation of any construction on the project or in the streets bordering the project. The contractor shall also assume the responsibility for any damage to utility lines whether shown on the construction plans or not, during the work on the project.
 - For underground utility locations, call 1-800-351-1111.
 - Contractor to adjust all utility fixtures, manholes, and drain structures to conform to proposed grades.



VICINITY MAP

±1"=3000'



STORMWATER DETENTION SUMMARY

NOTE:
THE TOTAL AREA OF THIS PROPERTY IS 2.27 ACRES, OF WHICH 1.25 IS ZONED RS-12 AND WILL NOT BE DEVELOPED. THE REMAINING 1.02 ACRES THAT WILL BE DEVELOPED IS ZONED C-H. THE SUMMARY BELOW ASSUMES THAT 67% OF THE DEVELOPABLE AREA WILL BE IMPERVIOUS, LEAVING 33% GREENSPACE.

PRE-DEVELOPMENT:
Tc= 5.0 min., CN=79

Event	24hr precip.(in)	Q (cfs)	cfs/ac
2yr	4.01"	4.19	3.3
5yr	4.89"	5.73	4.5
10yr	5.58"	6.96	5.5
25yr	6.52"	8.65	6.9
50yr	7.27"	10.02	8.0
100yr	8.02"	11.38	9.0

OUTLET CONTROL: 15"RCP
DETENTION AREA ROUTED 25 YR STORM (SCS 24 HR)

BASIN AND ROUTING DATA:

ELEV	DISCHARGE	ELEV	STORAGE
feet	cfs	feet	cu-ft
298.50	0.00	298.50	0
299.00	1.10	299.00	162
300.00	5.53	300.00	1,018
301.00	8.09	301.00	2,084
302.00	10.07	302.00	3,424

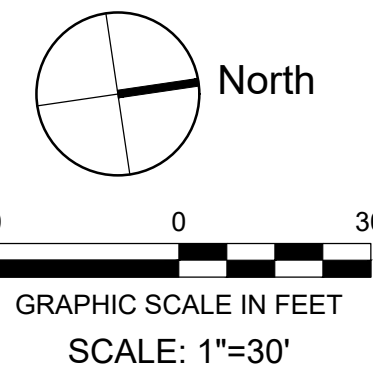
RUNOFF RATE COMPARISON
PRE VS PEAK DISCHARGE

EVENT	PRE DEVELOPMENT (cfs)	POND DISCHARGE (cfs)
2yr	4.19	4.97
5yr	5.73	5.26
10yr	6.96	6.00
25yr	8.65	6.96
50yr	10.02	7.70
100yr	11.38	8.37

POST DEVELOPMENT:
Tc=5.0 Min., CN=91

Event	24hr precip.(in)	Q (cfs)	cfs/ac
2yr	4.01"	5.52	4.4
5yr	4.89"	6.97	5.5
10yr	5.58"	8.10	6.4
25yr	6.52"	9.63	7.6
50yr	7.27"	10.85	8.6
100yr	8.02"	12.06	9.6

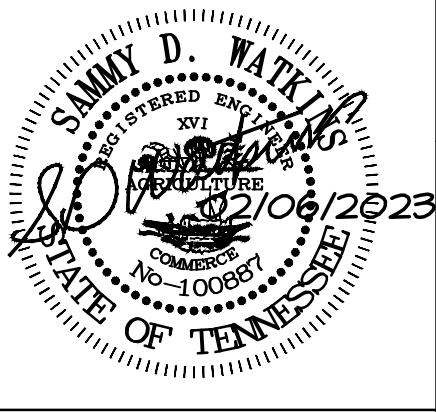
Event	Maximum inflow (cfs)	Maximum stage (elev)	Maximum storage (cu-ft)	Maximum discharge (cfs)
2yr	4.19	299.83	701	4.97
5yr	5.73	300.16	949	5.26
10yr	6.96	300.43	1,183	6.00
25yr	8.65	300.51	1,566	6.96
50yr	10.02	300.82	1,895	7.70
100yr	11.38	301.13	2,258	8.37



DEVELOPER:
ELEPHANT CARWASH, LLC
166 DANA DRIVE
COLLIERVILLE, TN
901-340-5050



ITEM No.	DESCRIPTION of CHANGE	APPROVAL DATE



EGY SUBDIVISION
DEVELOPER: ELEPHANT CARWASH, LLC
ENGINEER: THE REAVES FIRM, INC.

SHEET 1 of 1

C3.0

DIVISION OF ENGINEERING

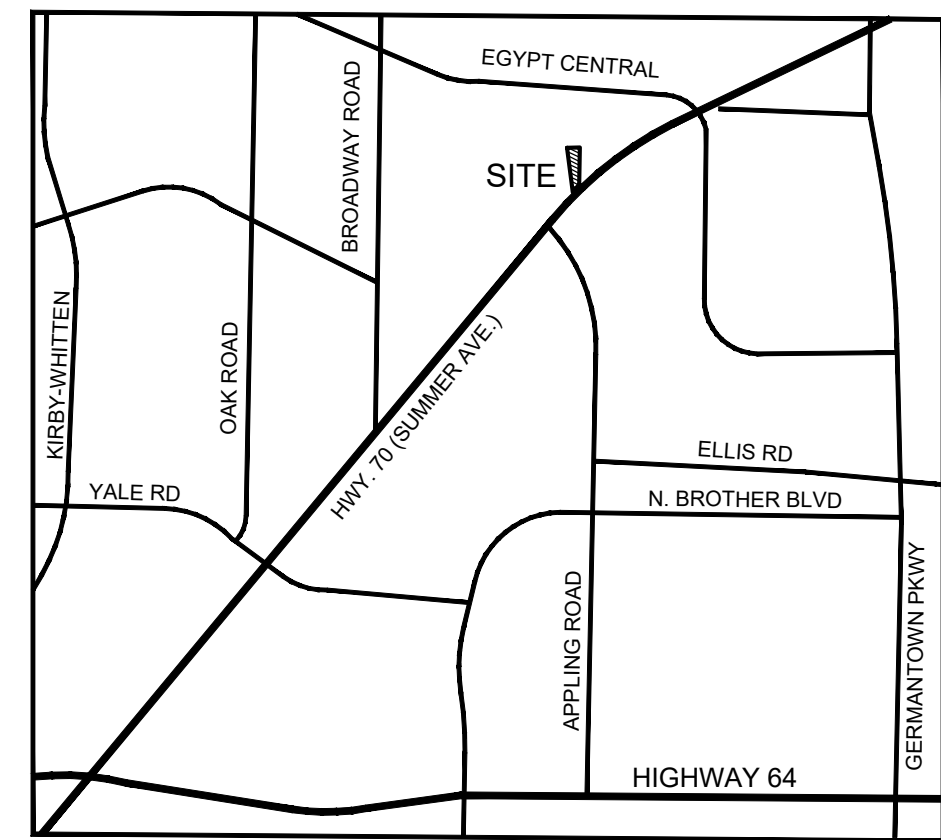
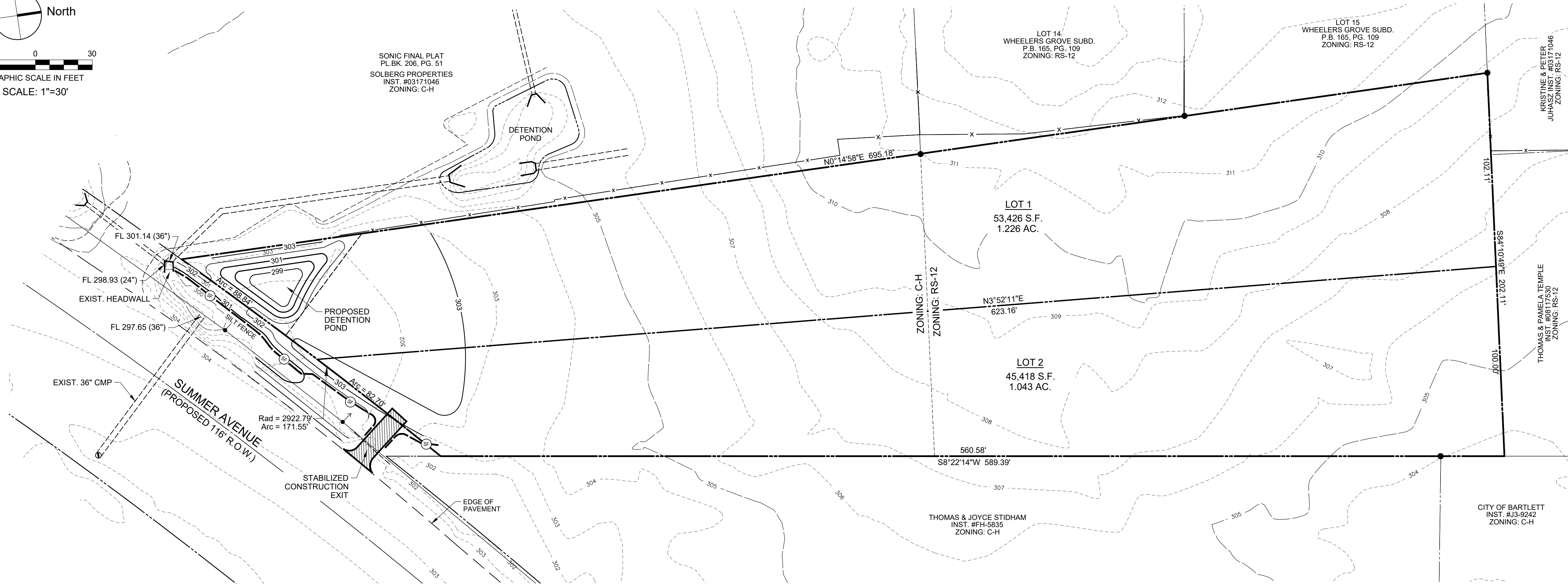
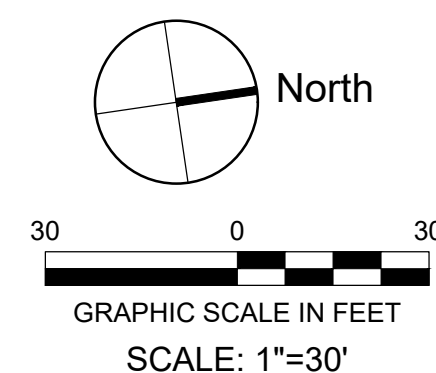
GRADING and DRAINAGE PLAN
LOCATION: 7642 SUMMER AVENUE

SURVEY	TRF	DATE	10/22	BOOK	
DRAFTED	EKM	DATE	2/23	SCALE	1"=30'
DESIGN BY	TRF	DATE	2/23	CHECKED	
				DATE	

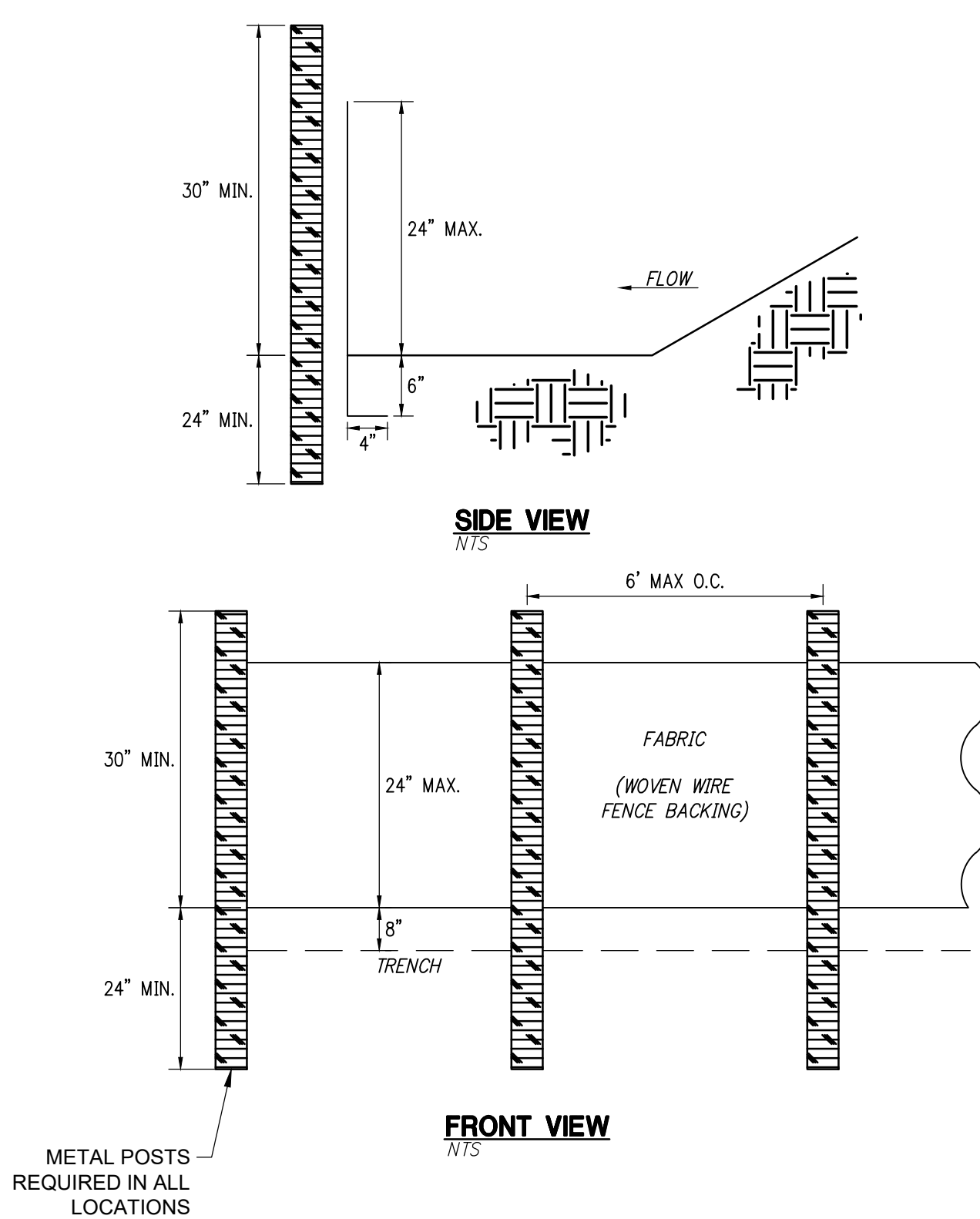
REVIEWED

CITY ENGINEER

DATE



VICINITY MAP

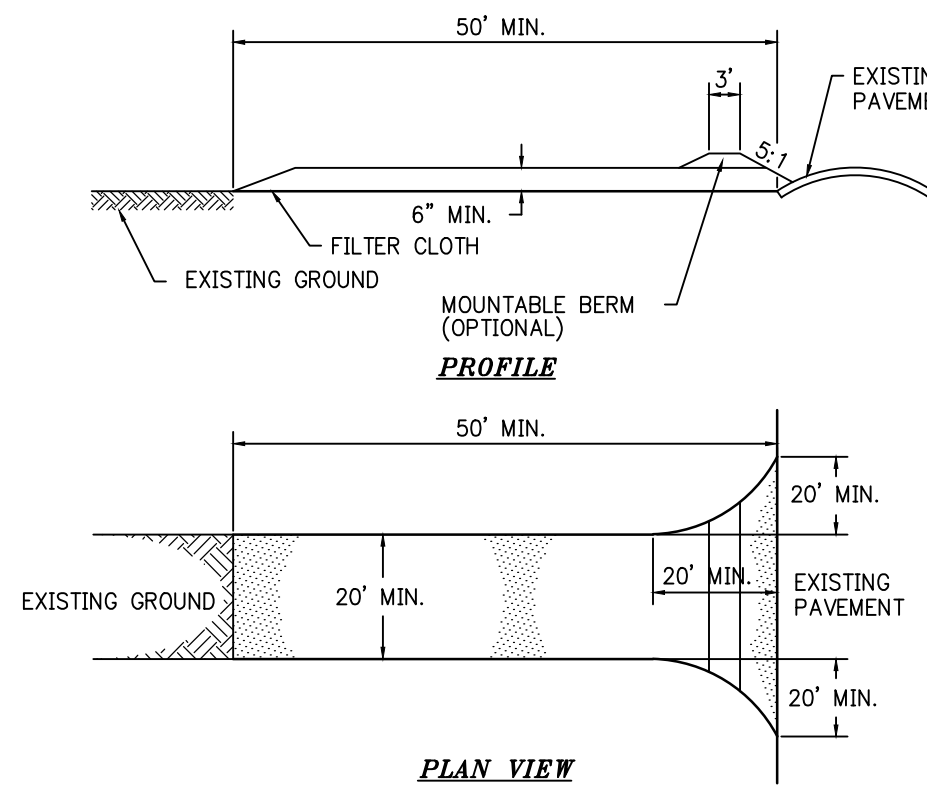
$$\pm 1'' = 3000'$$


FABRIC SPECIFICATIONS

	TEST MATERIAL	WITH BACKING	WITHOUT BACKING
GEOTEXTILE FABRIC TYPE		WOVEN SLIT FILM	WOVEN MONOFILAMENT
APPARENT OPENING SIZE	ASTM D4751	#30 TO #70 STANDARD SIEVE	#70 TO #100 STANDARD SIEVE
WATER FLUX	ASTM D4491	≥4 GPM/FT ²	≥18 GMP/FT ²
TENSILE STRENGTH	ASTM D4632	≥120 LB. (WARP DIRECTION) 100 LB. (FILL DIRECTION)	≥310 LB. (WARP DIRECTION) 200 LB. (FILL DIRECTION)
UV STABILITY (AFTER 500 HRS)	ASTM D4355	≥70%	≥90%
ELONGATION	ASTM D4632	≤20% MAX.	---
BURST STRENGTH	ASTM D3786	≥250 PSI	≥400 PSI
PUNCTURE STRENGTH	ASTM D4833	≥60 LB.	≥105 LB.
TRAPEZOIDAL TEAR	ASTM D4533	≥50 LB. (WARP DIRECTION) 40 LB. (FILL DIRECTION)	≥100 LB. (WARP DIRECTION) 60 LB. (FILL DIRECTION)

POST SPECIFICATIONS

	MIN. LENGTH	TYPE	SIZE
TYPE A	4 Ft	SOFTWOOD OAK STEEL	3" DIA. OR 2x4 1.5" x 1.5" 1.3 LB/FT MIN
TYPE B	3 Ft	SOFTWOOD OAK STEEL	2" DIA. OR 2x2 1" x 1" 0.75 LB/FT MIN
TYPE C	4 Ft	STEEL	1.3 LB/FT MIN



STABILIZED CONSTRUCTION EXIT (SCE)
(NTS)

CONSTRUCTION SPECIFICATIONS

1. STONE SIZE - USE 2" STONE OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT, MUST CONFORM TO ASTM #1 STONE.
2. LENGTH - AS REQUIRED BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS - NOT LESS THAN SIX (6") INCHES.
4. WIDTH - TWENTY (20) FOOT BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCE SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PAVING OR SPRINKLING WITH GYRDOLIN OR OTHER AVAILABLE SEDIMENT DEMAND AND HAIR AND/OR CLEANOUT MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED IT SHALL BE DONE ON AN AREA OF EARTH WITH STONE OR WITH DROPPED ONTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. INSPECTIONS ARE REQUIRED AT LEAST TWICE A WEEK AND AT LEAST 72 HOURS APART.

NOTE:
THE LOCATION OF THE STABILIZED CONSTRUCTION
EXIT (SCE) IS PLACED AT A SUGGESTED LOCATION.
RELOCATION OF THE SCE IS PERMISSIBLE UPON
APPROVAL BY THE ENGINEER OF RECORD.

DEVELOPER:
ELEPHANT CARWASH, LLC
166 DANA DRIVE
COLLIERVILLE, TN
901-340-5050

[illegible]

EGY SUBDIVISION

DEVELOPER: ELEPHANT CARWASH, LLC
ENGINEER: THE REAVES FIRM, INC.

SHEET 1 of 1

DIVISION OF ENGINEERING

EROSION CONTROL PLAN

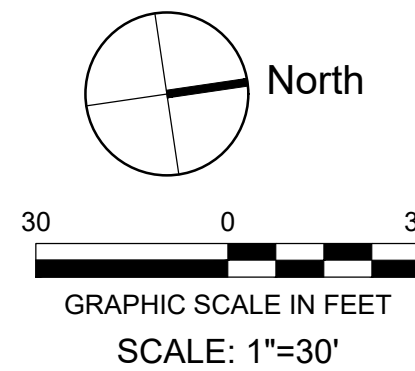
LOCATION: 7642 SUMMER AVENUE

SURVEY TRF DATE 10/22 BOOK _____
DRAFTED EKM DATE 2/23 SCALE 1"=30'
DESIGN BY TRF DATE 2/23 CHECKED _____ DATE _____

CITY ENGINEER

DATE _____

Chelmer 24x36 2/3/2022 22:01:13 7642 Summer Ave Carwash05 Site Plan DevelopmentMaster Sub and Construction Plans(Plan)A1 D Landscape.dwg Feb 06, 2023 - 9:44am



PLANTING NOTES

- Mulch all beds and tree rings with a minimum depth of 3" hardwood mulch
- Stake all b & b trees per detail
- Till top 6" of soil in all bed areas and amend with sand and peat to assure proper drainage and percolation
- Test pH of soil and amend all bed areas with chemicals and fertilizer to assure the best possible growth environment for the specified plant material
- Apply preemergents in all bed areas prior to planting to prevent weed growth
- Roll, water, and fertilize all sod areas to provide a smooth mowing surface free of gaps and irregular joints
- Contractor responsible for a permanent stand of turfgrass where seeding is specified. Seed as necessary to establish turf in all areas damaged by construction.
- Landscape architect retains the right to reject any plant material at any time if it does not meet the specifications on the plant materials list
- Prune plants after planting to assure consistency in growth habit
- Contractor to guarantee all plant material including sod for a period of one year after final acceptance. Replacements will also be guaranteed for a period of one year after installation
- Contractor is responsible for locating all underground utilities and shall avoid damage to utilities during the course of the work. Contractor is responsible for the repair of any damage to utilities, site structures, etc. Resulting from landscape construction.
- All plants must be vigorous, healthy material, free of pests and disease.
- All plants and trees must meet all requirements specified in the plant materials list, the details, and specifications
- Any material which dies or defoliates (prior to acceptance of the work) will be promptly removed and replaced.
- Standards set forth in "American Standard for Nursery Stock" represent general guideline specifications only and will constitute minimum quality requirements for plant material.
- Landscape contractor is to be responsible for maintaining all plant materials until substantial completion of the installation.

Botanical Name	Common Name	Quantity	Min. Height	Min. Caliper	Spread	Notes
TREES						
CERCIS CANADENSIS 'FOREST PANSY'	FOREST PANSY REDBUD	3		2"		WELL-BRNC'D.; STRAIGHT
GINKGO BILOBA 'AUTUMN GOLD'	GINKGO	2		2.5"		WELL-BRNC'D.; STRAIGHT
MAGNOLIA GRANDIFLORA 'LITTLE GEM'	'LITTLE GEM' MAGNOLIA	20	6'-8'		4'-6'	FULL TO GND.; WELL-BRNC'D
QUERCUS PALUSTRIS	PIN OAK	6		3"		WELL-BRNC'D.; STRAIGHT
SHRUBS						
DISTYLUM x 'CINNAMON GIRL'	CINNAMON GIRL DISTYLUM	21				3-GAL
ILEX CORNUTA 'BURFORDII NANA'	DWARF BURFORD HOLLY	14	24-28"		20-24"	3-GAL
ILEX CRENATA 'HELLERI'	HELLERI HOLLY	30			21"	3-GAL
LOROPETALUM CHINENSE 'SUZANNE'	SUZANNE FRINGE FLOWER	18	30"		30"	3-GAL
OTHER						
CYNODON DACTYLON 'TIFWAY'	'TIFWAY' BERMUDA SOD					
SEASONAL COLOR		84 SF				1st INSTALL. BY LS CONTRACTOR; SUBSEQUENT REPLACEMENTS UNDER MAINTENANCE AGREEMENT

Tree Density Units						
Name	Category	Number	Caliper	TV Factor	Total	
FOREST PANSY REDBUD		2	3	2	0.75	4.5
GINKGO		1	2	2.5	1	5
'LITTLE GEM' MAGNOLIA		2	20	1.5	0.75	22.5
PIN OAK		1	6	3	1	18
Proposed TDU:						50
Existing TDU:						715
						Total: 765

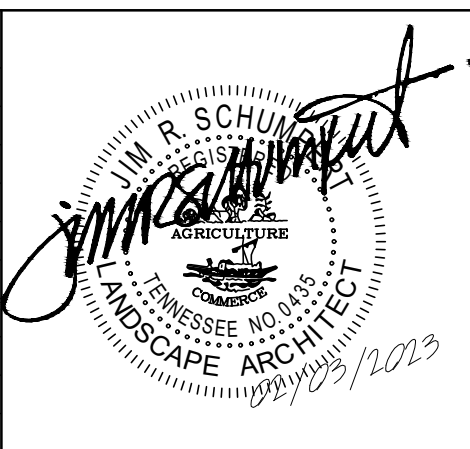
Site Area: 2.269
TDU required (20/ac): 45.38
TDU provided: 765

IRRIGATION WILL BE PROVIDED BY CONTRACTOR

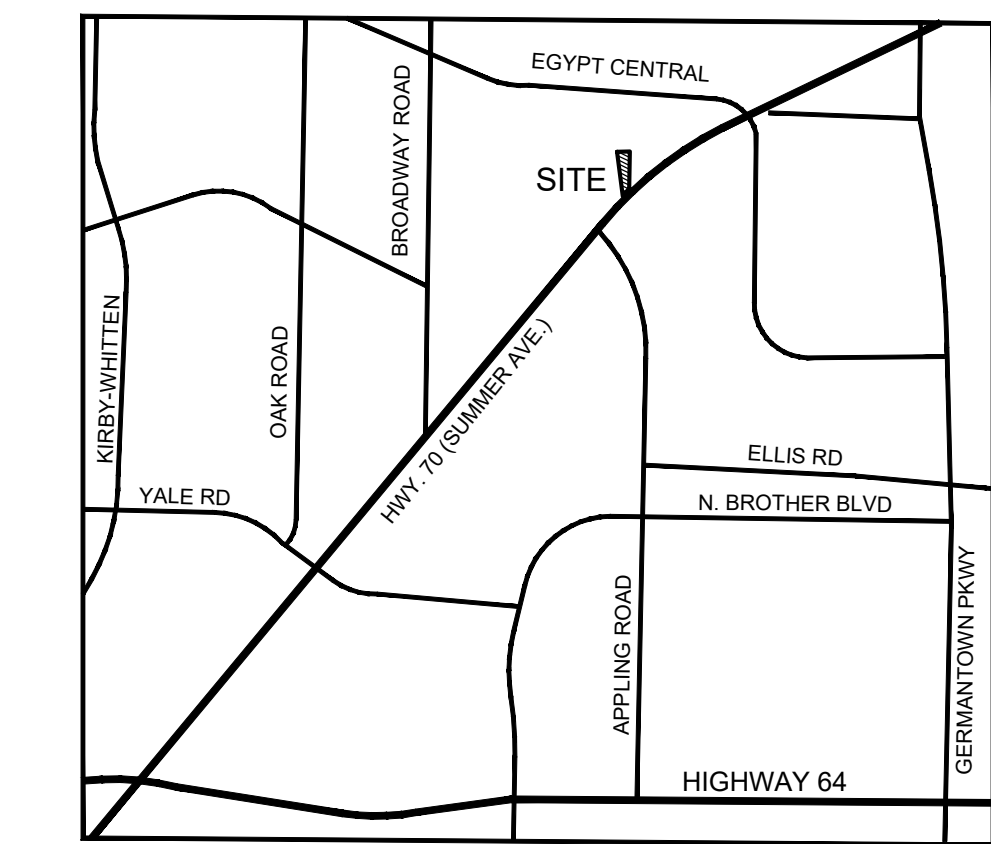
DEVELOPER:
ELEPHANT CARWASH, LLC
166 DANA DRIVE
COLLIERVILLE, TN
901-340-5050



ITEM No.	DESCRIPTION of CHANGE	APPROVAL DATE



EGY SUBDIVISION
DEVELOPER: ELEPHANT CARWASH, LLC
ENGINEER: THE REAVES FIRM, INC.



VICINITY MAP
±1"=3000'



KRISTINE & PETER JUHARSINSKY
INST. #03171046
ZONING: RS-12

THOMAS & PAMELA TEMPLE
INST. #08177300
ZONING: RS-12

CITY OF BARTLETT
INST. #J3-9242
ZONING: C-H

SHEET 1 of 1

DIVISION OF ENGINEERING

LANDSCAPE PLAN
LOCATION: 7642 SUMMER AVENUE

SURVEY TRF DATE 10/22 BOOK
DRAFTED EKM DATE 2/23 SCALE 1"=30'
DESIGN BY TRF DATE 2/23 CHECKED DATE
REVIEWED

CITY ENGINEER DATE

LA1.0

B0149 00340 - CITY OF BARTLETT

B0149 00609 - ELEPHANT CARWASH LLC

B0149 00339 - STIDHAM THOMAS L & JOYCE A

B0149D C00014 - CALVASINA JASON & TAMMY S

B0149 00335 - JUHASZ KRISTINE & PETER JUHASZ

B0149 00336 - TEMPLE THOMAS D & PAMELA J

B0149D C00015 - FINNEY JAMES L & PEGGY J

B0158 00657 - KROGER LIMITED PARTNERSHIP I

B0149 00910 - SOLBERG PROPERTIES

B0158 00624 - KROGER LIMITED PARTNERSHIP I

B0158 00658 - KROGER LIMITED PARTNERSHIP I

CITY OF BARTLETT
6400 STAGE RD
MEMPHIS TN 38134

ELEPHANT CARWASH LLC
166 DANA DRIVE
COLLIERVILLE, TN 38017

STIDHAM THOMAS L & JOYCE A
7652 US HIGHWAY 70
MEMPHIS TN 38133

CALVASINA JASON & TAMMY S
3901 WHEELERS RUN CV
BARTLETT TN 38135

JUHASZ KRISTINE & PETER JUHASZ
7625 MEMPHIS ARLINGTON RD
BARTLETT TN 38135

TEMPLE THOMAS D & PAMELA J
7645 MEMPHIS ARLINGTON RD
MEMPHIS TN 38135

FINNEY JAMES L & PEGGY J
3900 WHEELERS RUN CV
MEMPHIS TN 38135

KROGER LIMITED PARTNERSHIP I
1014 VINE ST
CINCINNATI OH 45202

SOLBERG PROPERTIES
3687 MENDENHALL EXT
MEMPHIS TN 38115

KROGER LIMITED PARTNERSHIP I
1014 VINE ST
CINCINNATI OH 45202

KROGER LIMITED PARTNERSHIP I
1014 VINE ST 7
CINCINNATI OH 45202

CHRISTINE DONHARDT
THE REAVES FIRM
6800 POPLAR AVE. SUITE 101
MEMPHIS, TN 38138



City of Bartlett, Tennessee Municipal Planning Commission Staff Report

Subdivision: Construction Plan

EGY Subdivision

DATE: March 6, 2023

STAFF: Kim Taylor, Planning Director; Sam Harris, Senior Planner; Leslie Brock, Planner; John Horne, Engineering Director; Erin Campbell, Assistant Engineering Director; Becky Bailey, Engineer; Dalan Hubbard, Engineer

SUBJECT: Construction Plan Application Review

APPLICANT: Greg Bartlett, The Reaves Firm

DEVELOPER: Ramy Samy, Elephant Carwash LLC

SITE LOCATION: 7642 Highway 70

SITE ACREAGE: 2.269 acres

ZONING: "C-H" Highway Business
"RS-12" Single Family Residential

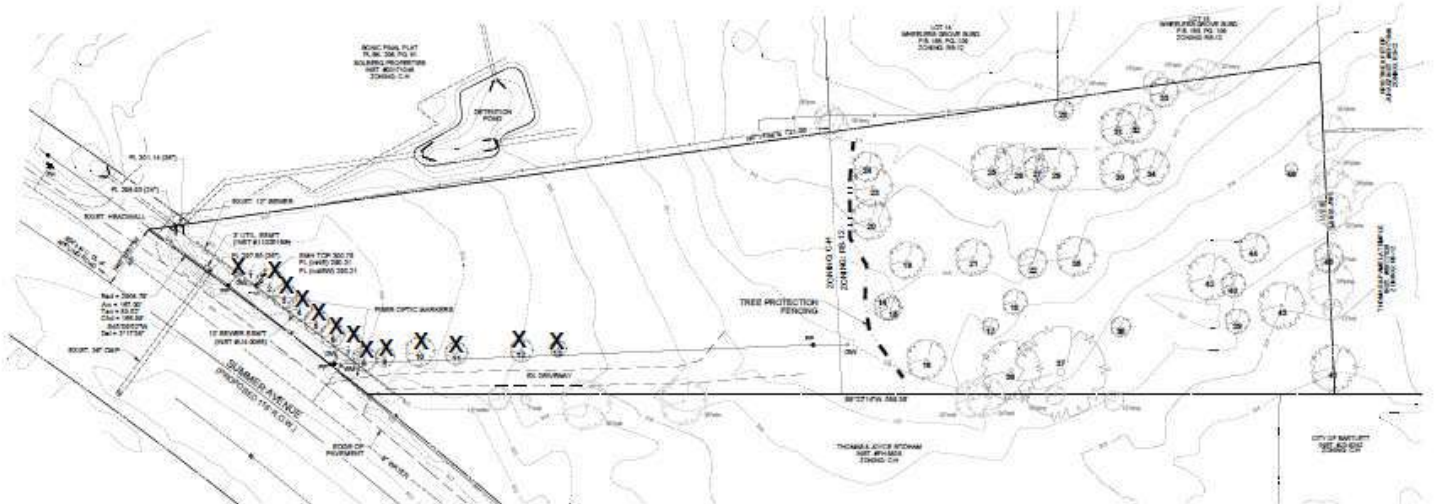
LOTS: 2

INTRODUCTION:

Mr. Greg Bartlett with The Reaves Firm is requesting Planning Commission approval of a Construction Plan for the EGY Subdivision. The subject property is located at 7642 Highway 70. The subject property has split zoning with the northern half being in the "RS-12" Single Family Residential Zoning District and the southern half being in the "C-H" Highway Business Zoning District.

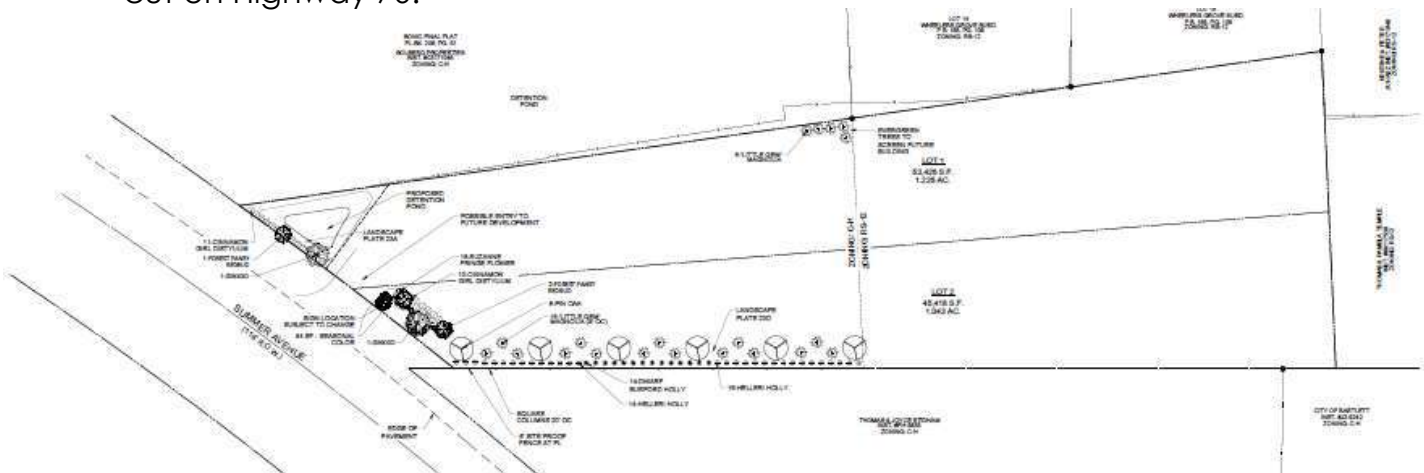
BACKGROUND:

The subject property is not a legal lot of record (created after March 6, 1956) and is less than 4-acres (not exempt from subdivision regulations). In order to make the lot eligible for a building permit, it must be within a Planning Commission approved and legally recorded subdivision.



DISCUSSION:

The specific request by the applicant is for the approval of the Construction Plans for the EGY Subdivision. The applicant is proposing to subdivide the existing 2.269 acre subject property into two lots. Lot 1 is proposed to be 1.226 acres, and Lot 2 is proposed to be 1.043 acres. Once Lots 1 and 2 are recorded on the plat, the applicant will re-record the plat to combine Lots 1 and 2 to create one legal lot of record that is eligible for a building permit. The construction plans for EGY Subdivision include: a preliminary plat, existing conditions with tree survey and tree protection plan, a grading and drainage plan with a new storm water detention basin, sediment and erosion control plan, and a utility plan. Access to the subdivision will be from an existing curb cut on Highway 70.



Recommendation: Approval with conditions.

Engineering Conditions:

General:

1. A Commercial Site Plan contract will be required and will be prepared by Engineering and submitted to the developer/engineer for review to cover the fees to be paid to the City of Bartlett.
2. If needed applicant/ Engineer shall provide a digital set of drawing files showing the sanitary sewer lines, drainage lines, lot lines and all improvements in AutoCAD format to therndon@cityofbartlett.org and ecampbell@cityofbartlett.org for use in the preparation of the Water Design Plan. This plan will be coordinated with the site design engineer to resolve any conflicts.
3. A SWPPP may be required and shall be submitted to TDEC and also to the City of Bartlett Engineering office.
4. All new utilities shall be underground.
5. Demo plan shall be submitted for the existing structures with a permit from Code Enforcement. Demo should be signed off and completed before plat is recorded or any site plans are signed.
6. Fire protection must be approved by the City of Bartlett Fire Marshall.
7. Correct all markups.
8. Construction of a paved shoulder of an additional 10' wide will be required on HWY 70. This additional asphalt section shall be full depth pavement, consistent with the existing roadway, and must conform to TDOT standards. This shall be added to the construction plans with TDOT approval. Traffic control plan will be required along with any TDOT permits. Utility poles (two MLGW and one communications) may need to be relocated.

Utility Plan:

9. If any sewer cleanout is located in a paved area, then it shall comply with the detail approved by Bartlett Codes which involves a brass connections and a concrete collar.
10. Proposed Sewer service appears to be in the proposed detention basin.
11. There appears to be an existing sewer service on the existing conditions plan that is not shown on the utility plan. Since this project is located in the Fletcher Creek Sewer Basin, if an existing sewer service cannot be found, approval will be dependent on developer receiving written approval from the City of Memphis for new sewer connection and possible sewer holding tank.

12. Tracer wire must be installed on all sewer lines, including services.
13. If a 2" water service is required, the existing 8" water main will need to be tapped. A separate irrigation tap will also be required. The existing water service may be adequate for this irrigation but will need to be re-located out of ROW and adjusted to grade. Traffic control plan will be required along with any TDOT permits.

Erosion Control Plan:

14. During construction, extra care will be needed to ensure that silt is not tracked out onto US HWY 70.
15. EPSCs needed around detention basin.
16. Detention basin must be sodded after construction.

Erosion Control Details:

17. Metal posts with wired backed fence are required on the proposed silt fences.

Grading & Drainage Plan:

18. No drainage or outlet control structure for detention basin are shown.
19. Additional elevation points, grades, and cross-sectional slope sections, coming from the existing centerline and including the new deceleration lane shall be added. Cross slope transition and positive road drainage shall be maintained.
20. Deceleration lane shall transition to existing slope at no greater than a 4:1 slope.
21. Plan and profile will be required for the road improvements.

Planning Comments:

1. The property owner located at 3900 Wheelers Run Cove contacted staff to state their concern about the four trees adjacent to tree #33 on the tree survey. The property owner disputes the exact location of these four trees along the property line and expressed their belief that all four trees are located on the subject property and not their property as shown on the tree survey. Also, the property owner is concerned about the four trees being diseased and hazardous trees, so the property owner would like those four trees removed.
2. The adjacent property owners have contacted staff concerned about the future commercial development of the subject property. In particular, the property owners have inquired about a landscape buffer. Staff informed the neighbors that a landscape buffer is only required when a commercial

use or zoning borders along residential use or zoning. The subject property is zoned residential where it borders the adjacent residential property. The property owner of the subject property has proposed to leave the existing trees and landscaping as is while demolishing the existing residential structure and accessory structures. The adjacent residential property owners would like the property owner to maintain a wood privacy fence around the subject property.

Planning Conditions:

1. The Vicinity Map on the plans shall be revised to identify Memphis Arlington instead of Egypt Central.
2. The applicant must add the fence detail for Landscape Plate 23D to the Landscape Plan.
3. The applicant must obtain a demo permit from Code Enforcement to demolish the existing house and accessory buildings.
4. The commercial property owner will be responsible for landscape maintenance of the entire lot and the fence adjacent to the residential neighbors in perpetuity.
5. The applicant must obtain Final Plan and Site Plan approval from the Planning Commission.
6. The applicant must obtain Site Plan approval from the Design Review Commission.
7. The applicant shall be present at the meeting in order to make decisions relative to any changes that may be suggested by the Planning Commission.



**The
Reaves
Firm**
INCORPORATED

Planning
Engineering
Landscape Architecture
Land Surveying

DATE: 2-6-23
TO: Sam Harris
City Planner
City of Bartlett
6382 Stage Road, Bartlett, TN 38134
Ph: 901-385-6417

FROM: Christine Donhardt
RE: EGY Subdivision
JOB NO.: 22-0193
VIA: Blue Sky

Transmittal

Sam,

See enclosed application for subdivision on Summer:

- 10 paper copies full size
- Check for the application fee \$680
- Thumb drive with files.



February 6, 2023

Mr. Sam Harris
City Planner
Department of Planning & Economic Development
P.O. Box 341148
Bartlett, TN 38134

RE: 7642 Highway 70 (Summer Ave)

Dear Mr. Harris:

On behalf of Elephant Car Wash LLC, we are submitting the enclosed applications for property at 7642 Highway 70 (Summer Ave.) to be heard by the Planning Commission on March 6, 2023. The property currently is not a legal lot of record and therefore a subdivision is required. We are proposing two lots, the minimum allowed in Bartlett, although the property will most likely be developed as one. To do this we submit to you a Master Plan and Construction plan application which includes existing conditions, proposed required landscaping, grading, etc.

Please note that this plan proposes to leave the northern section of the property as woods.

Your consideration of this application is greatly appreciated.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Mike Davis'.

Mike Davis, RLA

**Bartlett Planning and
Economic Development Department**
6382 Stage Road, P.O. Box 341148
Bartlett, TN 38184-1148
901-385-6417 FAX 901-385-6419
www.cityofbartlett.org

Bartlett Planning Commission
**Application for
Construction Plan Approval**

Subdivision Name EGY No. of Lots 2

Subdivision Location 7642 Highway 70

Owner/Developer Contact Ramy Samy Phone 901-340-5050

Company Name ELEPHANT CARWASH LLC Fax _____

Address 166 DANA DR COLLIERVILLE TN 38017 email egymanagement@gmail.com

Architect Contact _____ Phone _____

Company Name _____ Fax _____

Address _____ email _____

Engineer Contact Greg Bartlett Phone 901-761-2016

Company Name The Reaves Firm Fax _____

Address 6800 Poplar Ave Ste. 101, Memphis, TN 38138 email gbartlett@reavesfirm.com

Submitted by Greg Bartlett (printed name)  (signature) 2-6-23 (date)

Email Address gbartlett@reavesfirm.com Phone 901-761-2016 Fax _____

- ☒ Attach a checked-off "Construction Plan Checklist" and all items required therein.
- GB Acknowledge (by initials in the blank to the left) that the "Application Instructions: Planning Commission" were obtained and read prior to submitting this application.
- ☒ Provide 5-folded ($\pm$ 10"x13") sets of plans with a copy of the signed application attached to each set.
- ☒ Provide an electronic PDF file of the plans. Note that an updated electronic file is required when plans are revised. The electronic file shall be labeled with the project name and accurately dated.
- ☒ Include a fee of \$300.00 plus \$20.00 per lot with this application (check payable to the City of Bartlett).

I, the property owner(s) hereby authorize the filing of this application.

Ramy Samy (print name), Ramy Samy (signature) 02-06-2023 (date)

Construction Plan Checklist

The applicant shall either indicate that the following items have been completed by a check (✓) or that they are not applicable (n/a).

In addition to all the requirements of the Master Plan, the Construction Plan shall show

- ☒ Signature and Seal of Designer, a Professional Civil Engineer Registered in Tennessee
- ☒ * Grading Plan, existing & finished contours for the site and fifty (50) feet beyond property
- ☐ N/A * Extent and elevation of land below the 100-year flood
- ☒ Detailed plan of sewer layouts
- ☐ N/A Plan and profile sheets and engineering data for streets, storm drainage, controls for surface and ground water, water and sewer layouts
- ☒ Landscape plan and planting schedule as required
- ☒ Comprehensive drainage plan
- ☐ N/A Construction traffic access plan

Certificates: (As applicable)

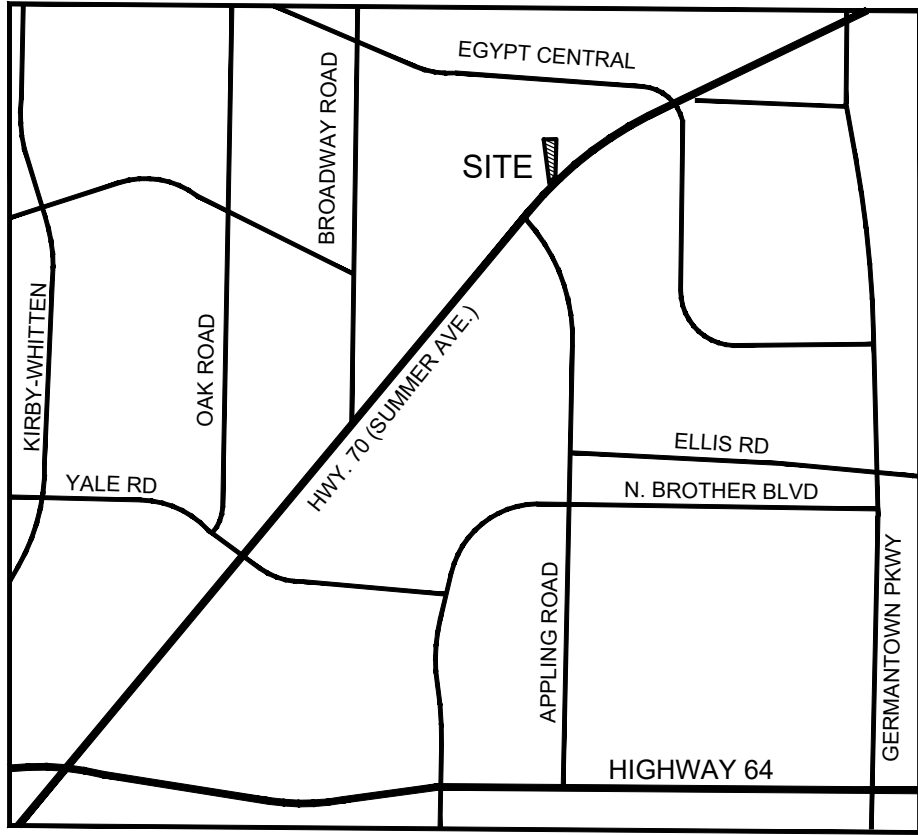
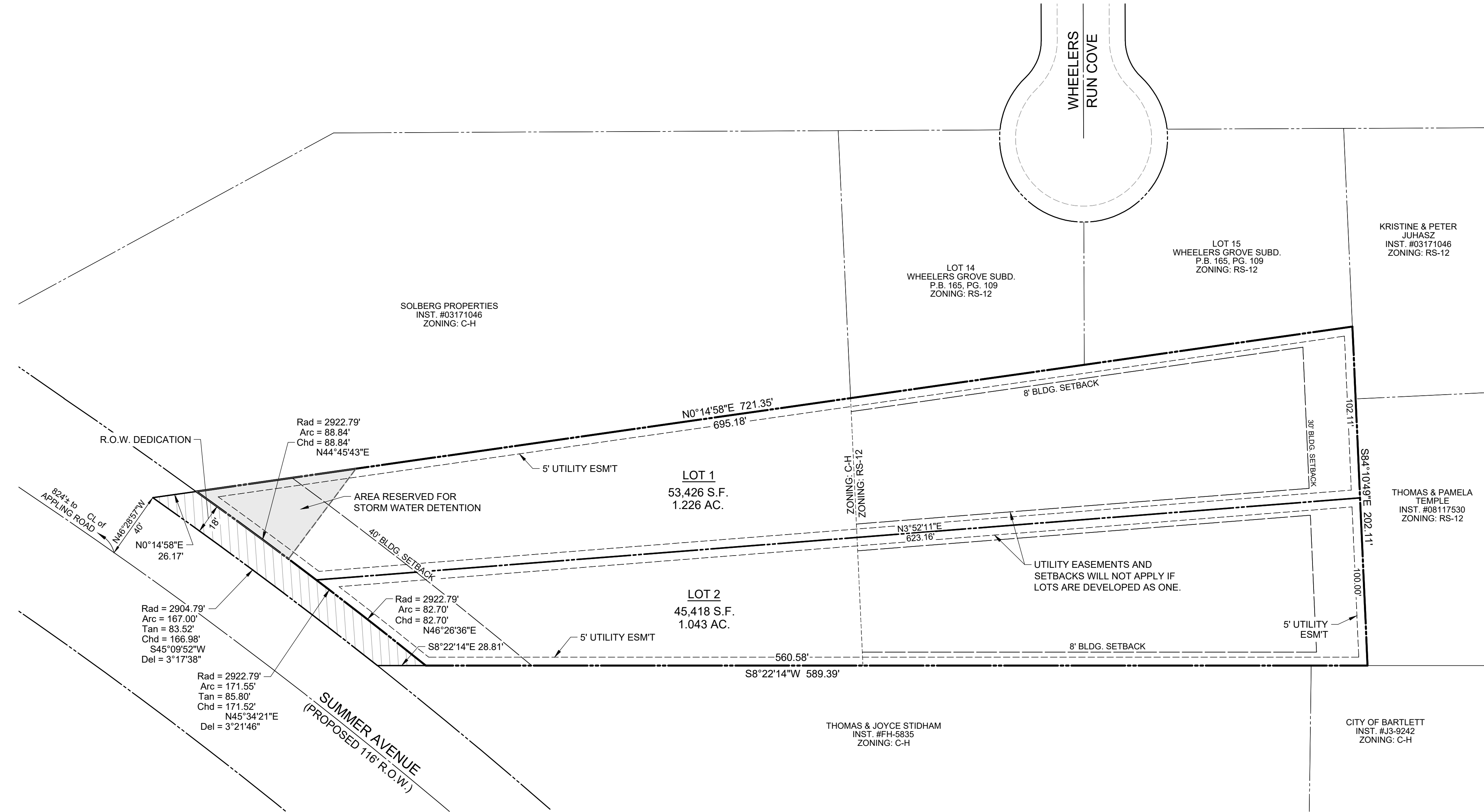
- ☐ Suitability of Soils for Septic Tanks
- ☐ Approval of Water and Sewerage Systems
- ☒ Accuracy of Engineering and Design
- ☐ Approval of Water and Sewer Lines
- ☐ Approval of Street and Drainage Improvements
- ☐ Quality of Construction
- ☐ Compliance with requirements of EPA
- ☐ Approval of Flood Administrator

In addition to the Construction Plan drawings, the following shall be provided:

- ☒ One PDF file of the pictorial portion of the Construction Plan sheets indicated above by an asterisk (*), for display at the Planning Commission meeting.

INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED

Christine 20x24 Z:\2022\22-0193 Summer Ave Carwash\05 Site Plan Development\Master Subd and Construction Plans\CO.0 Master Subd Plan.dwg Feb 06, 2023 - 9:42am



VICINITY MAP
±1"=3000'



SITE DATA CHART

OVERALL LAND AREA	101,891 S.F.
R.O.W. DEDICATION	3,047 S.F.
NET LAND AREA	98,844 S.F.
	2.269 ACRES
ZONING	C-H & RS-12
NUMBER OF LOTS	2
REQUIRED SETBACKS	
FRONT (C-H)	40 FEET
SIDE (C-H)	0 FEET
SIDE (RS-12)	8 FEET
REAR (RS-12)	30 FEET



MASTER PLAN

EGY SUBDIVISION

BARTLETT, TENNESSEE		PARCEL ID: B0149 00609	
NUMBER OF LOTS: 2		2.269 ACRES	
DEVELOPER: ELEPHANT CAR WASH, LLC		ENGINEER: THE REAVES FIRM	
100 YEAR FLOOD ELEV: 293.0 ±	FEMA MAP PANEL: 470175 0310G	FEMA MAP DATE: FEB. 6, 2013	
FEBRUARY 2023	SCALE: 1" = 40'	SHEET 1 OF 2	

Christine 20x24 Z:\2022\22-0193 7642 Summer Ave Carwash\05 Site Plan Development\Master Subd and Construction Plans\CO.0 Master Subd Plan.dwg Feb 06, 2023 - 9:42am

OWNER'S CERTIFICATE

I, _____, the undersigned owner of the property shown hereon, hereby adopt this as my plan of subdivision and dedicate the streets as shown to the public use forever, and hereby certify that I am the owner in fee simple, duly authorized so to act, and that said property is unencumbered by any taxes that have become due and payable.

Signature: _____

Printed Name: _____, Owner

NOTARY'S CERTIFICATE

State of Tennessee
County of Shelby

Before me, the undersigned, a Notary Public in and for the State and County aforesaid, duly commissioned and qualified, personally appeared _____, with whom I am personally acquainted, and who, upon oath, acknowledged himself to be _____ of _____, and he as such _____ executed the forgoing instrument for the purpose therein contained by signing his name as representative of the owner.

In witness whereof, I have hereunto set my hand and affixed my seal this _____ day of _____, 2023.

Notary Public _____

My Commission Expires _____

MORTGAGEE'S CERTIFICATE

We the undersigned, _____, Mortgagee of the property shown hereon, hereby adopt this plat as our plan of subdivision and dedicate the streets, rights-of-way, easements, and rights of access as shown to the public use forever, and hereby certify that we are the mortgagee duly authorized so to act and that said property is unencumbered by any taxes which have become due and payable.

Signature: _____

NOTARY'S CERTIFICATE

State of Tennessee
County of Shelby

Before me, the undersigned, a Notary Public in and for the State and County aforesaid, duly commissioned and qualified, personally appeared _____, with whom I am personally acquainted, and who, upon oath, acknowledged himself to be _____ of _____, and he as such _____ executed the forgoing instrument for the purpose therein contained by signing his name as representative of the Mortgagee.

In witness whereof, I have hereunto set my hand and affixed my seal this _____ day of _____, 2023.

Notary Public _____

My Commission Expires _____

PLANNING COMMISSION CERTIFICATE

I, _____, do hereby certify that the City of Bartlett Planning Commission has approved this plat of subdivision for recording.

Date _____ Secretary, Bartlett Planning Commission (Director of Planning)

BOARD OF MAYOR AND ALDERMEN CERTIFICATE

I, _____, do hereby certify that all required improvements have been installed or that a performance bond or other collateral in sufficient amount to assure completion of all required improvements has been posted for the subdivision shown on this plat and are hereby approved by the City of Bartlett, Tennessee.

Date _____ Mayor, City of Bartlett

CERTIFICATE OF SURVEY

I, _____, do hereby certify that I am a registered (Professional Civil Engineer) / (Land Surveyor), and that I have surveyed the lands, embraced within the plat or map designated as _____, a subdivision all lying within the corporate limits of the City of Bartlett, Tennessee; said plat or map is a true and correct plat or map of the lands embraced therein, showing the subdivision thereof in accordance with the Subdivision Regulations of the City of Bartlett, Tennessee; I further certify that the survey of the lands embraced within said plat of map has been correctly monumented in accordance with the subdivision regulation of the City of Bartlett, Tennessee.

In witness whereof, I, the said _____, (Professional Civil Engineer)/ (Land Surveyor), hereunto set out hand and affix my seal this _____ Day of _____, 2023 .

(Professional Civil Engineer)(Land Survey)
State of Tennessee Certificate No. _____ SEAL

CERTIFICATE OF ADEQUACY OF STORM DRAINAGE

I, _____, do hereby certify that I am a registered Professional Civil Engineer, and that I have designed all storm water drainage for the _____ Subdivision to assure that neither said subdivision nor adjoining property will be damaged or the character of land adjoining property will be damaged or the character of land use affected by the velocity and volume of water entering or leaving same.

In witness whereof, I, the said _____ Professional Civil Engineer, hereunto set out hand and affix my seal this _____ Day of _____, 2023 .

Professional Civil Engineer
State of Tennessee Certificate No. _____ SEAL



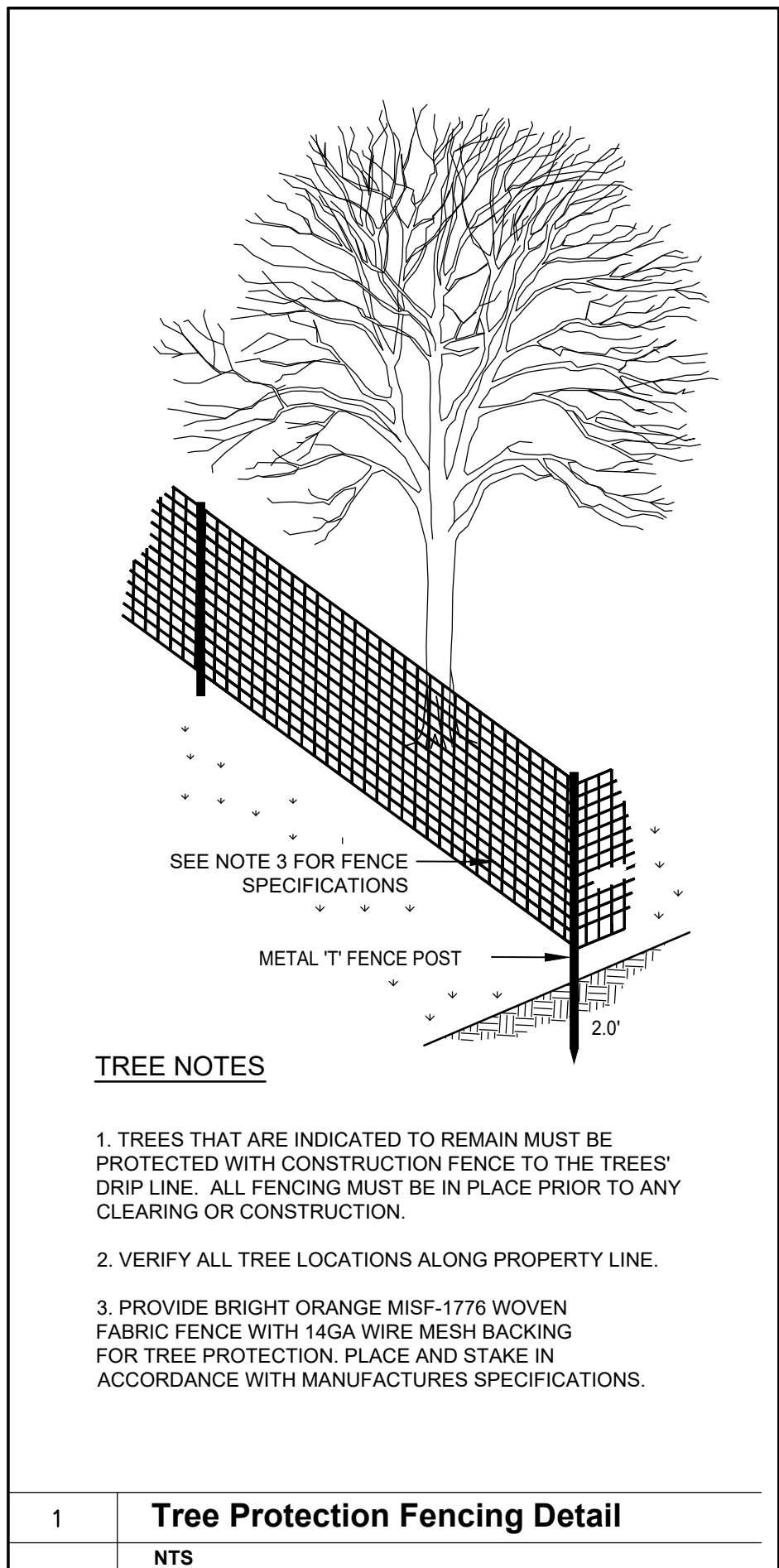
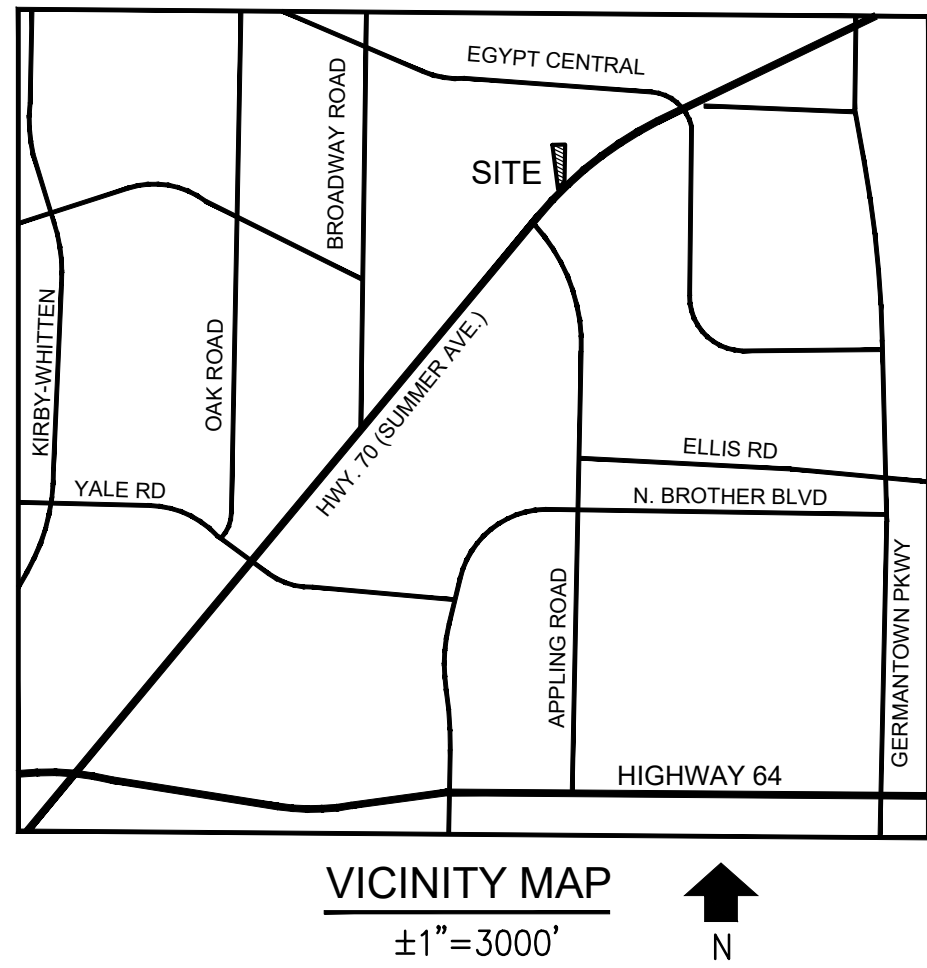
JOB # 22-0193

MASTER PLAN

EGY SUBDIVISION

BARTLETT, TENNESSEE		PARCEL ID: B0149 00609
NUMBER OF LOTS: 2		2.269 ACRES
DEVELOPER: ELEPHANT CARWASH, LLC		ENGINEER: THE REAVES FIRM
100 YEAR FLOOD ELEV: 293.0 ±	FEMA MAP PANEL: 470175 0310G	FEMA MAP DATE: FEB. 6, 2013
FEBRUARY 2023	SCALE: n/a	SHEET 2 OF 2

Chelmer 24-08-Z-2022-22-0137 7642 Summer Ave Carwash05 Site Plan DevelopmentMaster Sub and Construction Plans/PlanC1.0 Existing Conditions Plan.dwg Feb 08, 2023 9:43am



DEVELOPER:
ELEPHANT CARWASH, LLC
166 DANA DRIVE
COLLIERVILLE, TN
901-340-5050

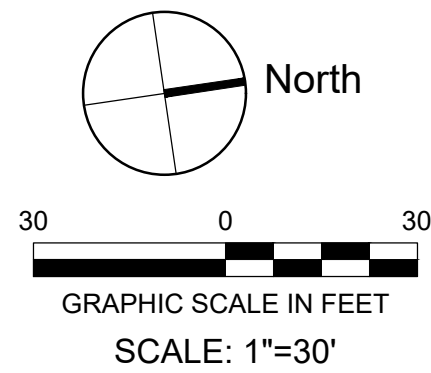


ITEM No.	DESCRIPTION of CHANGE	APPROVAL DATE

EGY SUBDIVISION
DEVELOPER: ELEPHANT CARWASH, LLC
ENGINEER: THE REAVES FIRM, INC.

THE REAVES FIRM, INC.
ENGINEERING
LANDSCAPE ARCHITECTURE
LAND SURVEYING
6800 Poplar Avenue, Suite 101, Memphis, TN 38119
901-340-5050 Fax 901-340-5060
www.the-reaves-firm.com

SAMMY D. WATKINS
REGISTERED PROFESSIONAL ENGINEER
No. 00881
DATE OF TENURE: 02/06/2023



SHEET 1 of 1

DIVISION OF ENGINEERING

EXISTING CONDITIONS PLAN
LOCATION: 7642 SUMMER AVENUE

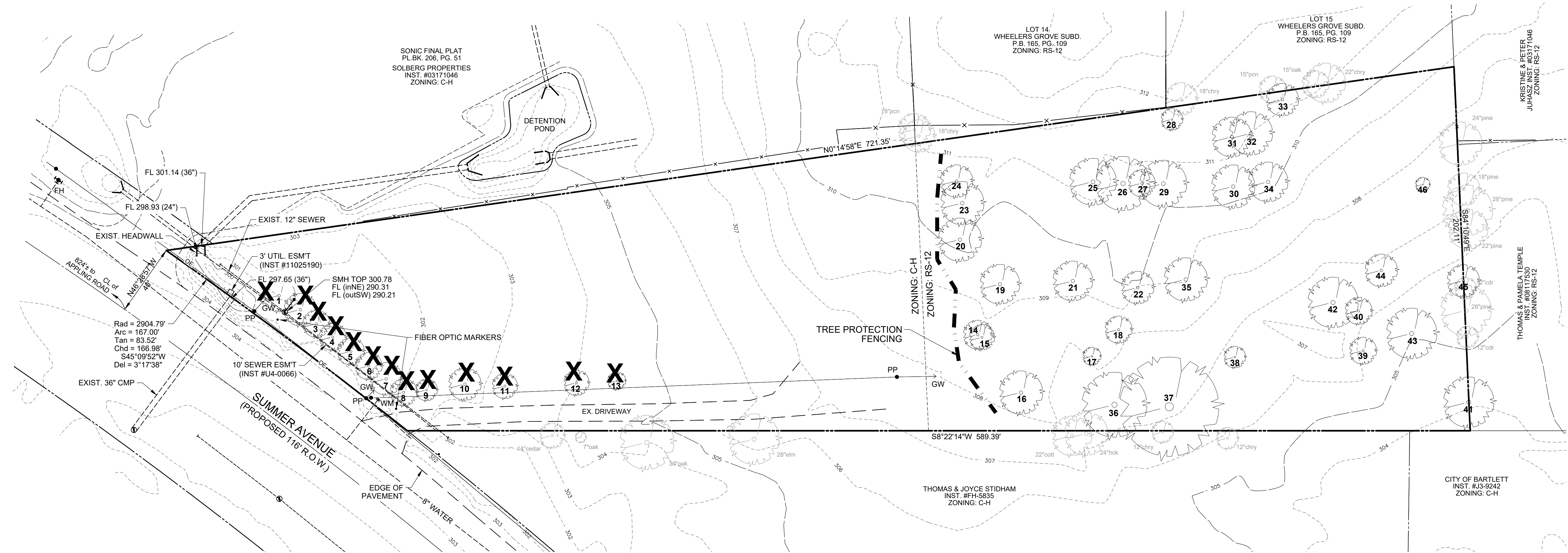
SURVEY TRF DATE 10/22 BOOK
DRAFTED EKM DATE 2/23 SCALE 1"=30'
DESIGN BY TRF DATE 2/23 CHECKED DATE
REVIEWED

CITY ENGINEER

DATE

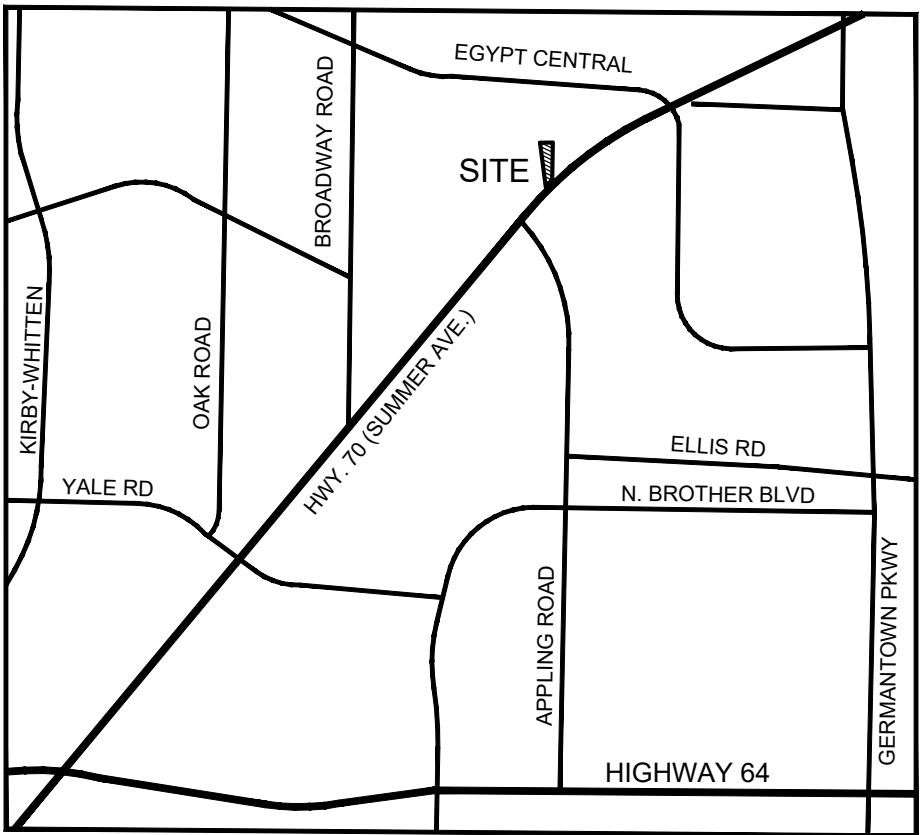
modified 9/23 The Reaves Firm Incorporated

C1.0

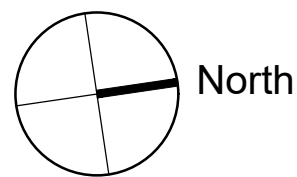
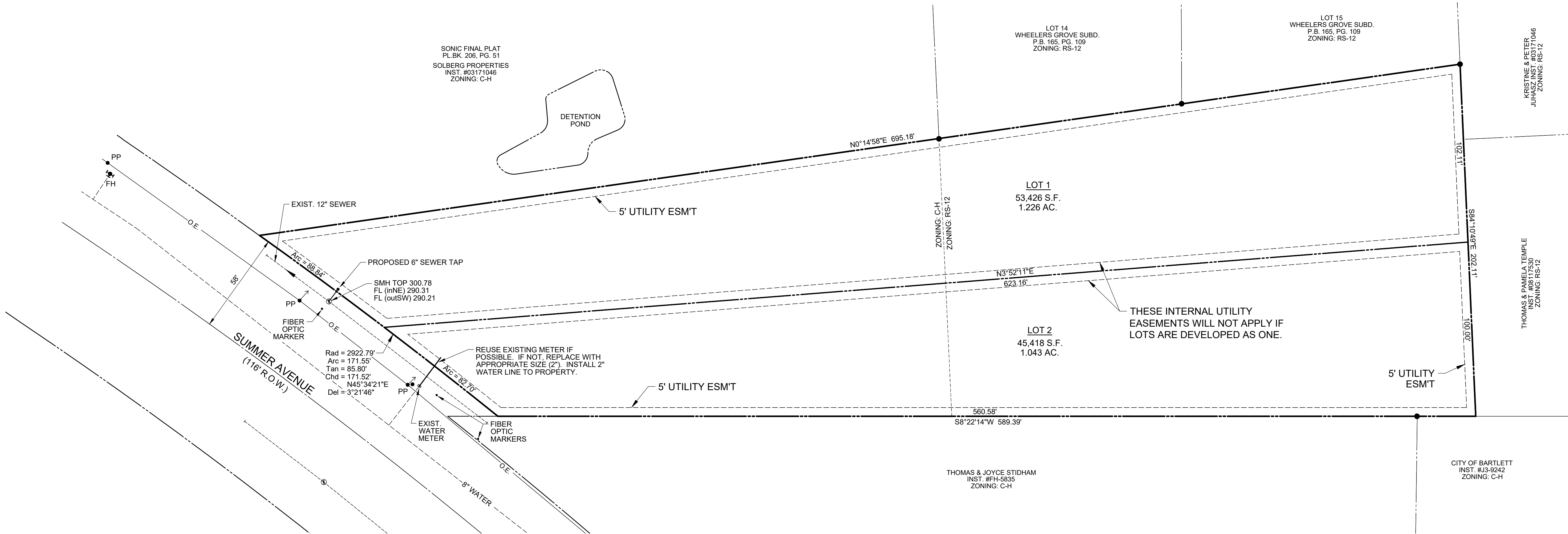


Tree Table			
Number	Description	Inches	Save/Remove
1	Pear	18	REMOVE
2	Pear	18	REMOVE
3	Pear	15	REMOVE
4	Pear	15	REMOVE
5	Pear	15	REMOVE
6	Pear	15	REMOVE
7	Pear	18	REMOVE
8	Pear	15	REMOVE
9	Pear	12	REMOVE
10	Pear	18	REMOVE
11	Pear	14	REMOVE
12	Pear	14	REMOVE
13	Pear	10	REMOVE
14	Cherry	16	SAVE
15	Elm	14	SAVE
16	Sycamore	24	SAVE
17	Elm	10	SAVE
18	Pear	15	SAVE
19	Cherry	22	SAVE
20	Maple	24	SAVE
21	Cherry	22	SAVE
22	Trip Cherry	12	SAVE
23	Maple	24	SAVE
24	Maple	18	SAVE
25	Pine	26	SAVE
26	Pine	30	SAVE
27	Pine	15	SAVE
28	Willow	12	SAVE
29	Pine	26	SAVE
30	Pine	24	SAVE
31	Pine	22	SAVE
32	Pine	24	SAVE
33	Oak	18	SAVE
34	Pine	22	SAVE
35	Hickory	24	SAVE
36	Oak	36	SAVE
37	Oak	55	SAVE
38	Elm	12	SAVE
39	Poplar	15	SAVE
40	Cherry	15	SAVE
41	Pine	28	SAVE
42	Pine	28	SAVE
43	Oak	28	SAVE
44	Pine	18	SAVE
45	Pine	18	SAVE
46	Oak	18	SAVE

Caliper Inches saved: 715



VICINITY MAP
±1"=3000'

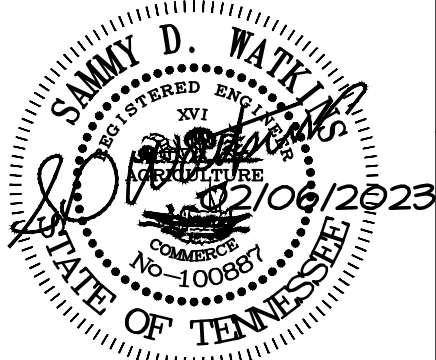


30 0 30
GRAPHIC SCALE IN FEET
SCALE: 1"=30'

DEVELOPER:
ELEPHANT CARWASH, LLC
166 DANA DRIVE
COLLIERVILLE, TN
901-340-5050



ITEM No.	DESCRIPTION of CHANGE	APPROVAL DATE

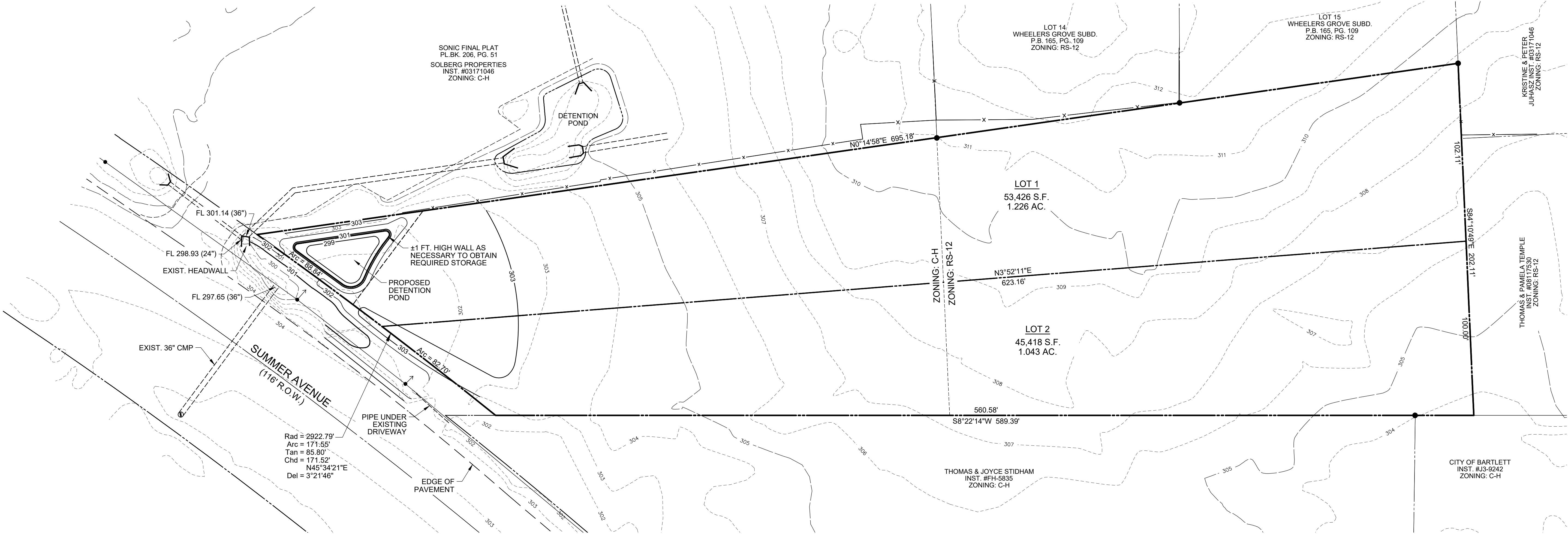
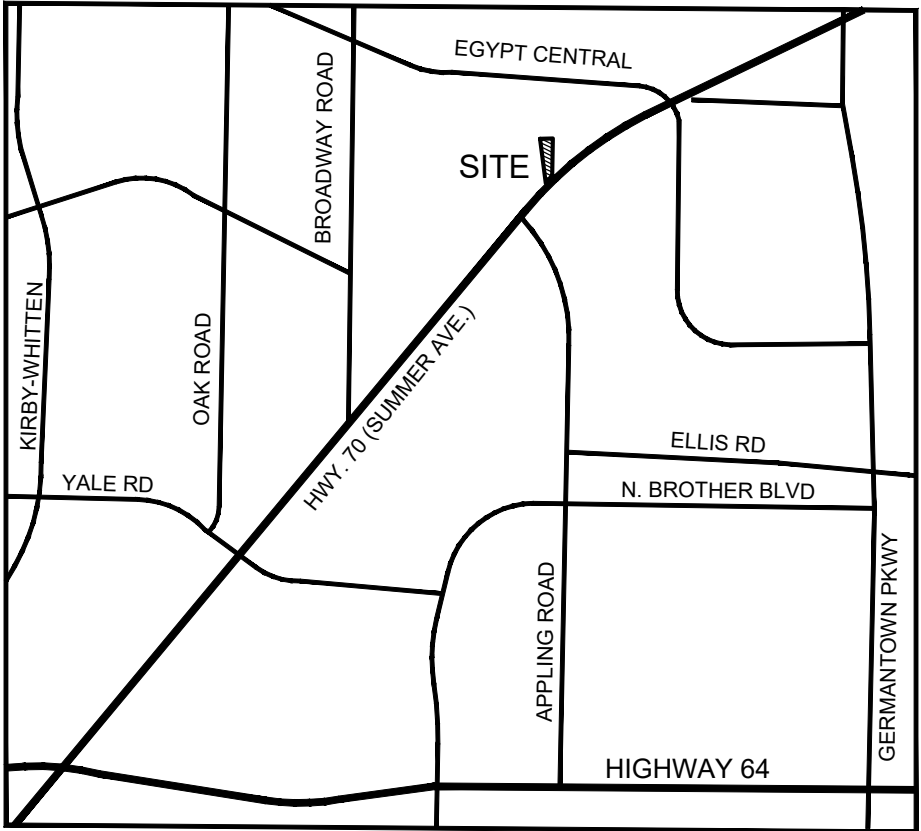


EGY SUBDIVISION
DEVELOPER: ELEPHANT CARWASH, LLC
ENGINEER: THE REAVES FIRM, INC.

SHEET 1 of 1			
DIVISION OF ENGINEERING			
UTILITY PLAN			
LOCATION: 7642 SUMMER AVENUE			
SURVEY	TRF	DATE	10/22
DRAFTED	EKM	DATE	2/23
DESIGN BY	TRF	DATE	2/23
REVIEWED		CHECKED	DATE
CITY ENGINEER		DATE	

C2.0

- NOTES:
- All design, construction, and materials shall be in compliance with the city of bartlett specifications and standards.
 - The contractor shall notify the city of bartlett engineering office at 901-385-6499 a minimum of 24 hours prior to commencing construction.
 - All newly cut and/or filled areas lacking adequate vegetation shall be seeded, fertilized, mulched, and/or sodded as required to prevent soil erosion.
 - The contractor shall not enter upon, work upon nor cause damage to any adjacent properties without prior permission from said property owner.
 - All fill and/or trench backfill shall be compacted to 95 percent standard proctor. Moisture content not to exceed 3% above or below optimum moisture (standard proctor d698). Jetting or flooding of trenches or other backfill is not allowed.
 - The contractor shall be responsible for notifying utility companies which maintain a utility line within the boundaries of the project prior to the initiation of any construction on the project or in the streets bordering the project. The contractor shall also assume the responsibility for any damage to utility lines whether shown on the construction plans or not, during the work on the project.
 - For underground utility locations, call 1-800-351-1111.
 - Contractor to adjust all utility fixtures, manholes, and drain structures to conform to proposed grades.



STORMWATER DETENTION SUMMARY

NOTE:
THE TOTAL AREA OF THIS PROPERTY IS 2.27 ACRES, OF WHICH 1.25 IS ZONED RS-12 AND WILL NOT BE DEVELOPED. THE REMAINING 1.02 ACRES THAT WILL BE DEVELOPED IS ZONED C-H. THE SUMMARY BELOW ASSUMES THAT 67% OF THE DEVELOPABLE AREA WILL BE IMPERVIOUS, LEAVING 33% GREENSPACE.

PRE-DEVELOPMENT:
Tc= 5.0 min., CN=79

Event	24hr precip.(in)	Q (cfs)	cfs/ac
2yr	4.01"	4.19	3.3
5yr	4.89"	5.73	4.5
10yr	5.58"	6.96	5.5
25yr	6.52"	8.65	6.9
50yr	7.27"	10.02	8.0
100yr	8.02"	11.38	9.0

OUTLET CONTROL: 15"RCP

DETENTION AREA ROUTED 25 YR STORM (SCS 24 HR)

BASIN AND ROUTING DATA:

ELEV feet	DISCHARGE cfs	ELEV feet	STORAGE cu-ft
298.50	0.00	298.50	0
299.00	1.10	299.00	162
300.00	5.53	300.00	1,018
301.00	8.09	301.00	2,084
302.00	10.07	302.00	3,424

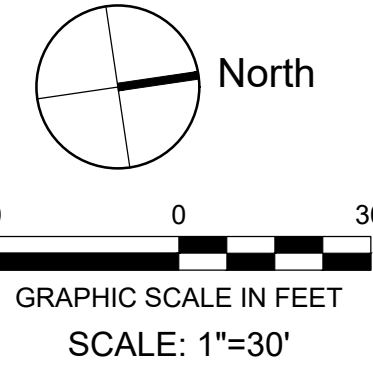
RUNOFF RATE COMPARISON
PRE VS PEAK DISCHARGE

EVENT	PRE DEVELOPMENT (cfs)	POND DISCHARGE (cfs)
2yr	4.19	4.97
5yr	5.73	5.26
10yr	6.96	6.00
25yr	8.65	6.96
50yr	10.02	7.70
100yr	11.38	8.37

POST DEVELOPMENT:
Tc=5.0 Min., CN=91

Event	24hr precip.(in)	Q (cfs)	cfs/ac
2yr	4.01"	5.52	4.4
5yr	4.89"	6.97	5.5
10yr	5.58"	8.10	6.4
25yr	6.52"	9.63	7.6
50yr	7.27"	10.85	8.6
100yr	8.02"	12.06	9.6

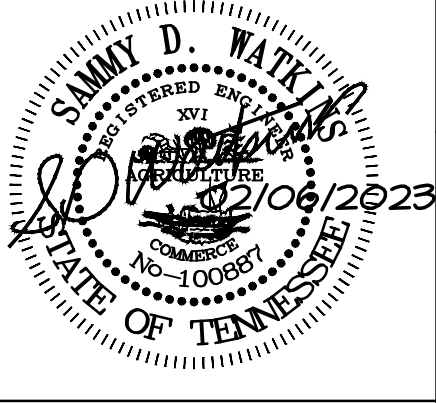
Event	Maximum inflow (cfs)	Maximum stage (elev)	Maximum storage (cu-ft)	Maximum discharge (cfs)
2yr	4.19	299.83	701	4.97
5yr	5.73	300.16	949	5.26
10yr	6.96	300.43	1,183	6.00
25yr	8.65	300.51	1,566	6.96
50yr	10.02	300.82	1,895	7.70
100yr	11.38	301.13	2,258	8.37



DEVELOPER:
ELEPHANT CARWASH, LLC
166 DANA DRIVE
COLLIERVILLE, TN
901-340-5050



ITEM No.	DESCRIPTION of CHANGE	APPROVAL DATE



EGY SUBDIVISION
DEVELOPER: ELEPHANT CARWASH, LLC
ENGINEER: THE REAVES FIRM, INC.

SHEET 1 of 1

C3.0

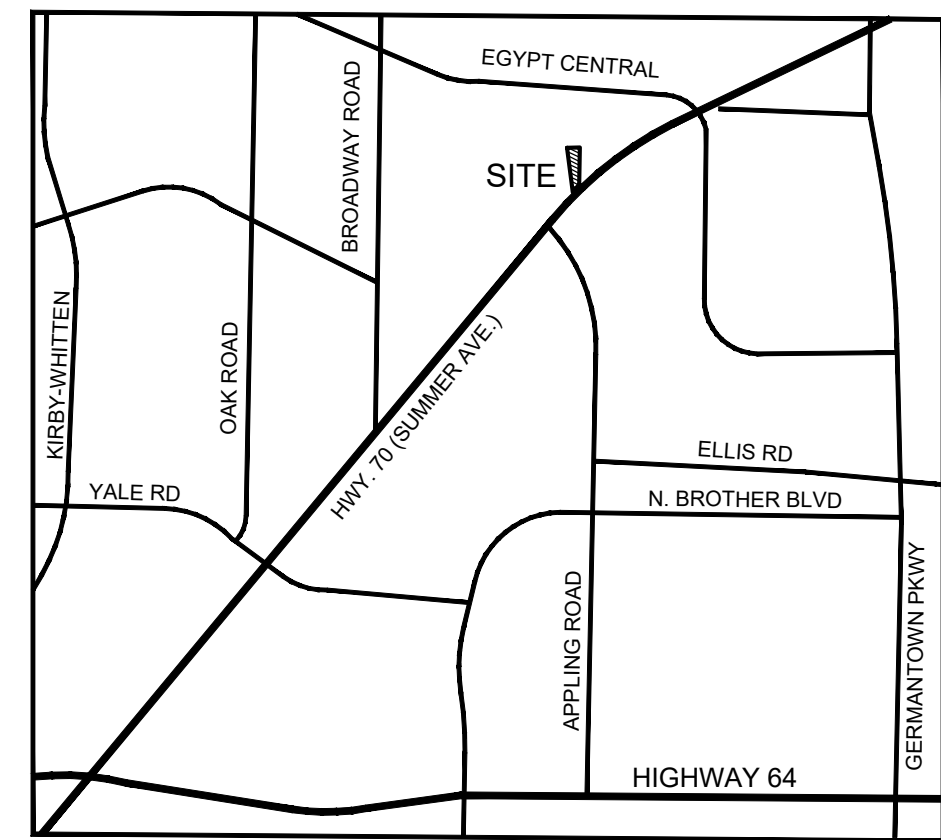
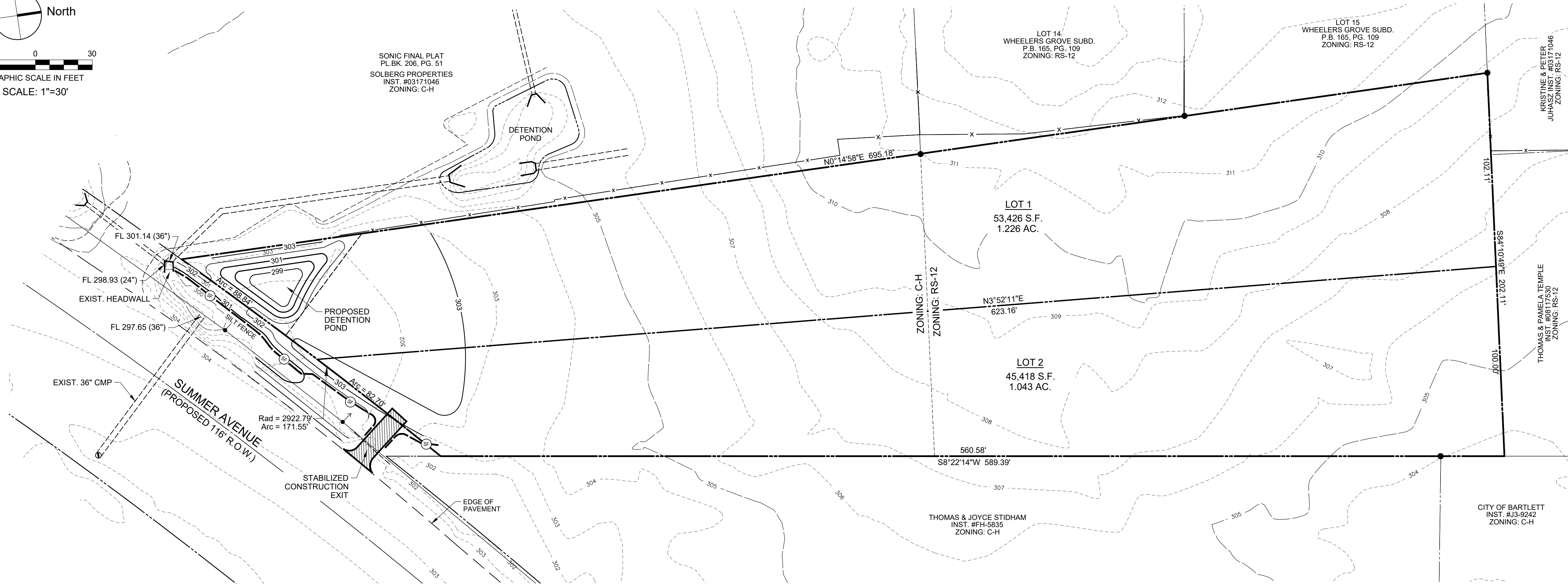
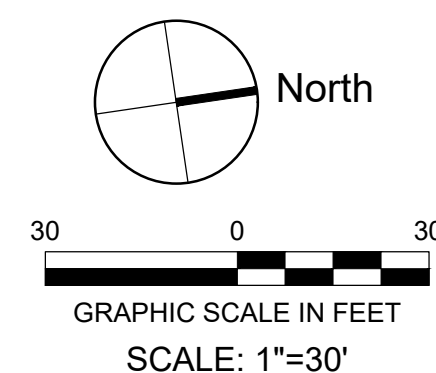
DIVISION OF ENGINEERING

GRADING and DRAINAGE PLAN
LOCATION: 7642 SUMMER AVENUE

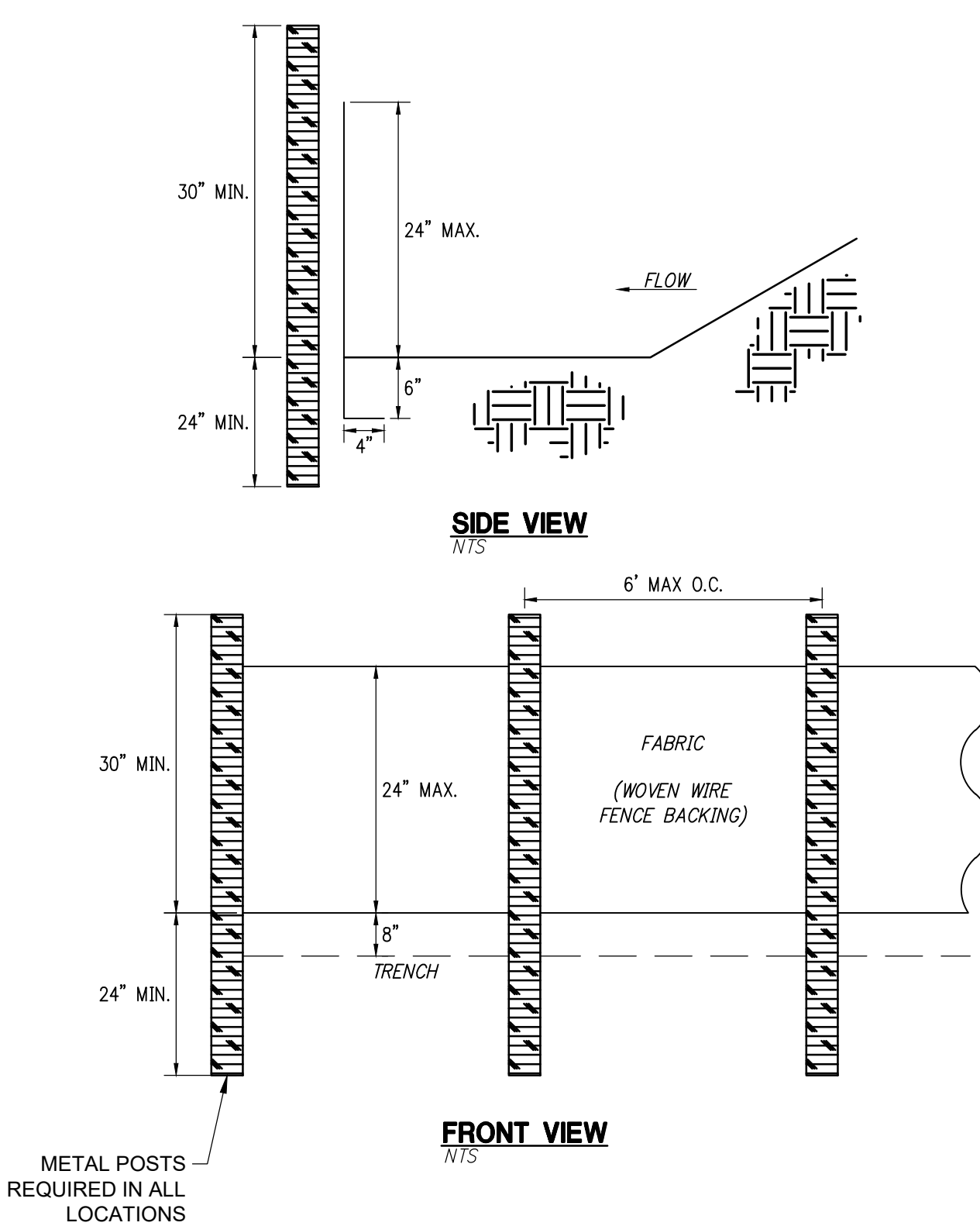
SURVEY	TRF	DATE	10/22	BOOK	
DRAFTED	EKM	DATE	2/23	SCALE	1"=30'
DESIGN BY	TRF	DATE	2/23	CHECKED	
				DATE	

CITY ENGINEER

DATE



VICINITY MAP

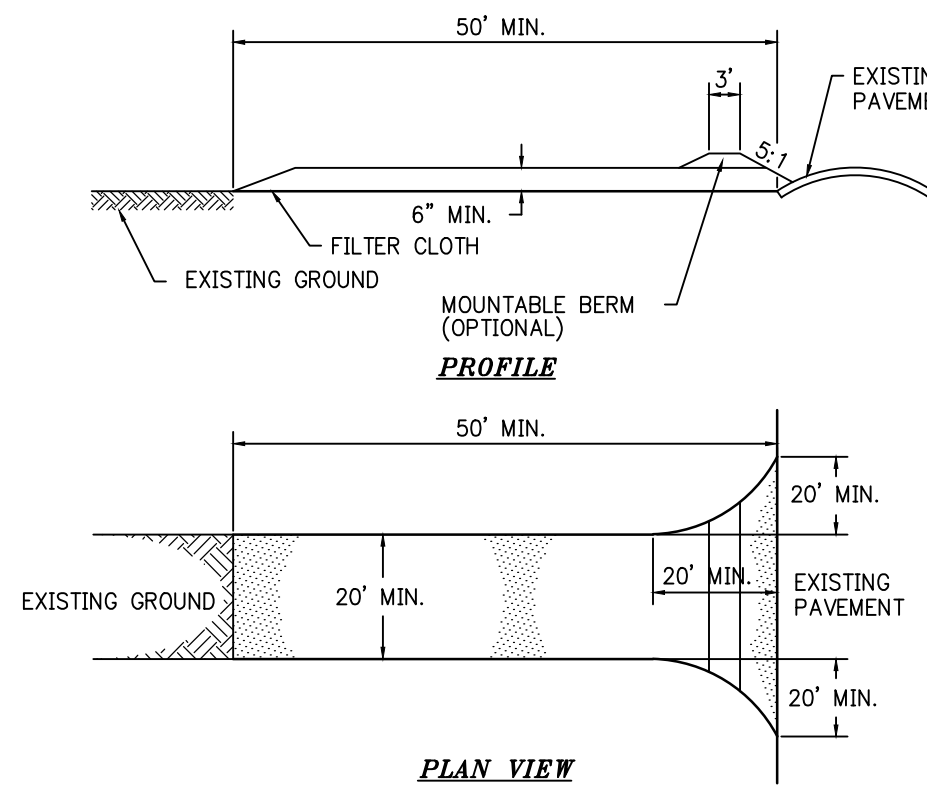
$$\pm 1'' = 3000$$


FABRIC SPECIFICATIONS

	TEST MATERIAL	WITH BACKING	WITHOUT BACKING
GEOTEXTILE FABRIC TYPE		WOVEN SLIT FILM	WOVEN MONOFILAMENT
APPARENT OPENING SIZE	ASTM D4751	#30 TO #70 STANDARD SIEVE	#70 TO #100 STANDARD SIEVE
WATER FLUX	ASTM D4491	≥4 GPM/FT ²	≥18 GMP/FT ²
TENSILE STRENGTH	ASTM D4632	≥120 LB. (WARP DIRECTION) 100 LB. (FILL DIRECTION)	≥310 LB. (WARP DIRECTION) 200 LB. (FILL DIRECTION)
UV STABILITY (AFTER 500 HRS)	ASTM D4355	≥70%	≥90%
ELONGATION	ASTM D4632	≤20% MAX.	---
BURST STRENGTH	ASTM D3786	≥250 PSI	≥400 PSI
PUNCTURE STRENGTH	ASTM D4833	≥60 LB.	≥105 LB.
TRAPEZOIDAL TEAR	ASTM D4533	≥50 LB. (WARP DIRECTION) 40 LB. (FILL DIRECTION)	≥100 LB. (WARP DIRECTION) 60 LB. (FILL DIRECTION)

POST SPECIFICATIONS

	MIN. LENGTH	TYPE	SIZE
TYPE A	4 Ft	SOFTWOOD OAK STEEL	3" DIA. OR 2x4 1.5" x 1.5" 1.3 LB/FT MIN
TYPE B	3 Ft	SOFTWOOD OAK STEEL	2" DIA. OR 2x2 1" x 1" 0.75 LB/FT MIN
TYPE C	4 Ft	STEEL	1.3 LB/FT MIN



STABILIZED CONSTRUCTION EXIT (SCE)
(NTS)

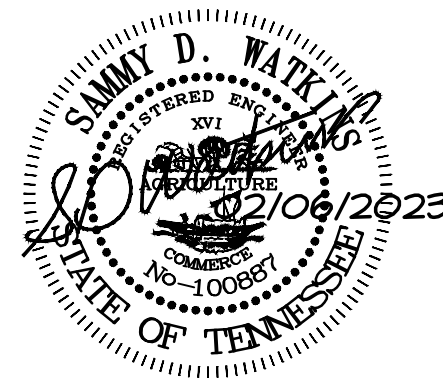
CONSTRUCTION SPECIFICATIONS

1. STONE SIZE - USE 2" STONE OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT, MUST CONFORM TO ASTM #1 STONE.
 2. LENGTH - AS REQUIRED BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
 3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
 4. WIDTH - TWENTY (20) FOOT BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
 6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCE SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PAVING OR SPRINKLING WITH GYRONTONE OR OTHER AVAILABLE SEDIMENT DEMAND AND DRAIN AND/OR CLEANOUT MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 8. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED IT SHALL BE DONE ON AN AREA OF EARTH WITH STONE OR WITH DROPPED ONTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- INSPECTIONS ARE REQUIRED AT LEAST TWICE A WEEK AND AT LEAST 72 HOURS APART.

NOTE:
THE LOCATION OF THE STABILIZED CONSTRUCTION
EXIT (SCE) IS PLACED AT A SUGGESTED LOCATION.
RELOCATION OF THE SCE IS PERMISSIBLE UPON
APPROVAL BY THE ENGINEER OF RECORD.

EROSION CONTROL NOTES:

- (a) Clearing and grubbing must be held to the minimum necessary for grading and equipment operation.
- (b) Construction must be sequenced to minimize the exposure time of cleared surface area.
- (c) Construction must be staged or phased for large projects. Areas of one phase must be stabilized before another phase can be initiated. Stabilization shall be accomplished by temporarily or permanently protecting the disturbed soil surface from rainfall impacts and runoff.
- (d) Erosion and sediment control measures must be in place and functional before initial moving operations begin. Sediment must be contained and minimized throughout the construction period. Temporary measures may be removed at the beginning of the work day, but must be replaced at the end of the work day.
- (e) All control measures shall be checked, and repaired as necessary, weekly in dry periods and within 24 hours after any rainfall of 0.5 inches within a 24 hour period. During prolonged rainfall, daily checking and repairing is necessary. The permittee shall maintain records of checks and repairs.
- (f) A specific individual must be designated to be responsible for erosion and sediment controls on each project site.
- (g) Pre-construction vegetative ground cover must not be destroyed, removed or disturbed more than 14 calendar days prior to grading or earth moving.
- (h) To the maximum extent feasible, appropriate cover shall be applied within seven days on areas that will remain unfinished for more than 14 calendar days. Examples of cover are grass, sod, straw, mulch, fabric mats, etc..
- (i) Permanent soil stabilization with perennial vegetation shall be applied as soon as practicable after final grading.
- (j) Erosion and sediment control measures shall be designed according to the size and slope of disturbed or drainage areas, to detain runoff and trap sediment.
- (k) Discharges from sediment basins and traps must be through a pipe or lined channel so that the discharge does not cause erosion.
- (l) Muddy water to be pumped from excavation and work areas must be held in settling basins or treated by filtration through an approved dewatering bag set-up prior to its discharge off-site. Into storm drains or surface waters. Silt fence in NOT ADEQUATE as a filter. Water must be discharged through a pipe or lined channel so that the discharge does not cause erosion and sedimentation. The discharge must contain an objectionable color contrast within the receiving stream.
- (m) There shall be no distinctly visible floating scum, oil or other material contained in the storm water discharge.
- (n) Areas where construction has ceased, either temporarily or permanently, must be stabilized within 14 days.
- (o) The storm water discharge must result in no materials in concentrations sufficient to be hazardous or otherwise detrimental to humans, livestock, wildlife, plant life, or fish and aquatic life in the receiving stream.
- (p) The ultimate responsibility for the proper functioning of the plan rests with the contractor. The contractor may alter or vary the schedule or plan as the situation or circumstances necessitates, based on good judgment and common sense, to maintain the plan's intended purpose. It is recommended that if any additional erosion or sediment control measures are required, that the contractor refer to the Current Edition of the *Tennessee Erosion and Sediment Control Handbook* for guidance.
- (q) Extra care will be needed to ensure that silt is not tracked out onto Summer Avenue.
- (r) Metal posts with wire backed fence are required on the proposed silt fences.

[illegible]

SHEET 1 of 1

DIVISION OF ENGINEERING

EROSION CONTROL PLAN

LOCATION: 7642 SUMMER AVENUE

SURVEY TRF DATE 10/22 BOOK _____
 DRAFTED EKM DATE 2/23 SCALE 1"=30'
 DESIGN BY TRF DATE 2/23 CHECKED _____ DATE _____

CITY ENGINEER

DATE _____

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Christine 24x36 Z:\2022\22-0193 7642 Summer Ave Carwash\05 Site Plan Development\Master Subd and Construction Plans\C4.0 ECP.dwg Feb 06, 2023 - 9:44am

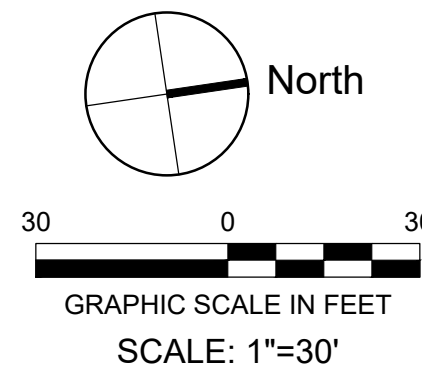
DEVELOPER:
ELEPHANT CARWASH, LLC
166 DANA DRIVE
COLLIERVILLE, TN
901-340-5050



EGY SUBDIVISION

DEVELOPER: ELEPHANT CARWASH, LLC
ENGINEER: THE REAVES FIRM, INC.

Chelmer 24x36 2/3/2022 22:01:13 7642 Summer Ave Carwash05 Site Plan DevelopmentMaster Sub and Construction Plans(Plan)A1 D Landscape.dwg Feb 06, 2023 - 9:44am



PLANTING NOTES

- Mulch all beds and tree rings with a minimum depth of 3" hardwood mulch
- Stake all b & b trees per detail
- Till top 6" of soil in all bed areas and amend with sand and peat to assure proper drainage and percolation
- Test pH of soil and amend all bed areas with chemicals and fertilizer to assure the best possible growth environment for the specified plant material
- Apply preemergents in all bed areas prior to planting to prevent weed growth
- Roll, water, and fertilize all sod areas to provide a smooth mowing surface free of gaps and irregular joints
- Contractor responsible for a permanent stand of turfgrass where seeding is specified. Seed as necessary to establish turf in all areas damaged by construction.
- Landscape architect retains the right to reject any plant material at any time if it does not meet the specifications on the plant materials list
- Prune plants after planting to assure consistency in growth habit
- Contractor to guarantee all plant material including sod for a period of one year after final acceptance. Replacements will also be guaranteed for a period of one year after installation
- Contractor is responsible for locating all underground utilities and shall avoid damage to utilities during the course of the work. Contractor is responsible for the repair of any damage to utilities, site structures, etc. Resulting from landscape construction.
- All plants must be vigorous, healthy material, free of pests and disease.
- All plants and trees must meet all requirements specified in the plant materials list, the details, and specifications
- Any material which dies or defoliates (prior to acceptance of the work) will be promptly removed and replaced.
- Standards set forth in "American Standard for Nursery Stock" represent general guideline specifications only and will constitute minimum quality requirements for plant material.
- Landscape contractor is to be responsible for maintaining all plant materials until substantial completion of the installation.

Botanical Name	Common Name	Quantity	Min. Height	Min. Caliper	Spread	Notes
TREES						
CERCIS CANADENSIS 'FOREST PANSY'	FOREST PANSY REDBUD	3		2"		WELL-BRNC'D.; STRAIGHT
GINKGO BILOBA 'AUTUMN GOLD'	GINKGO	2		2.5"		WELL-BRNC'D.; STRAIGHT
MAGNOLIA GRANDIFLORA 'LITTLE GEM'	'LITTLE GEM' MAGNOLIA	20	6'-8'		4'-6'	FULL TO GND.; WELL-BRNC'D
QUERCUS PALUSTRIS	PIN OAK	6		3"		WELL-BRNC'D.; STRAIGHT
SHRUBS						
DISTYLUM x 'CINNAMON GIRL'	CINNAMON GIRL DISTYLUM	21				3-GAL
ILEX CORNUTA 'BURFORDII NANA'	DWARF BURFORD HOLLY	14	24-28"		20-24"	3-GAL
ILEX CRENATA 'HELLERI'	HELLERI HOLLY	30			21"	3-GAL
LOROPETALUM CHINENSE 'SUZANNE'	SUZANNE FRINGE FLOWER	18	30"		30"	3-GAL
OTHER						
CYNODON DACTYLON 'TIFWAY'	'TIFWAY' BERMUDA SOD					
SEASONAL COLOR		84 SF				1st INSTALL. BY LS CONTRACTOR; SUBSEQUENT REPLACEMENTS UNDER MAINTENANCE AGREEMENT

Tree Density Units						
Name	Category	Number	Caliper	TV Factor	Total	
FOREST PANSY REDBUD		2	3	2	0.75	4.5
GINKGO		1	2	2.5	1	5
'LITTLE GEM' MAGNOLIA		2	20	1.5	0.75	22.5
PIN OAK		1	6	3	1	18
Proposed TDU:						50
Existing TDU:						715
					Total:	765

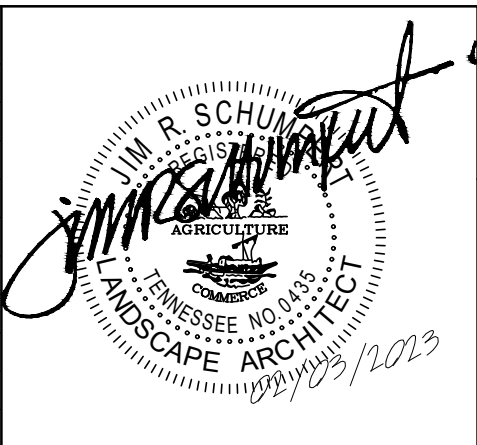
Site Area: 2.269
TDU required (20/ac): 45.38
TDU provided: 765

IRRIGATION WILL BE
PROVIDED BY CONTRACTOR

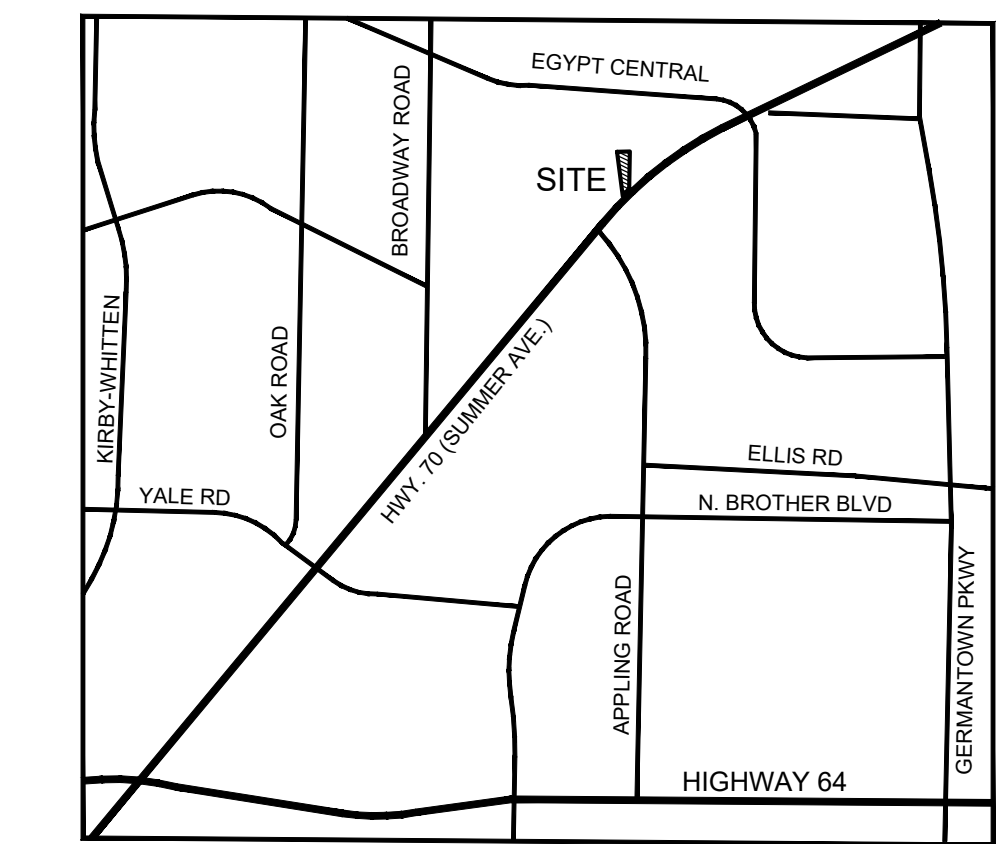
DEVELOPER:
ELEPHANT CARWASH, LLC
166 DANA DRIVE
COLLIERVILLE, TN
901-340-5050



ITEM No.	DESCRIPTION of CHANGE	APPROVAL DATE



EGY SUBDIVISION
DEVELOPER: ELEPHANT CARWASH, LLC
ENGINEER: THE REAVES FIRM, INC.



VICINITY MAP
±1"=3000'



KRISTINE & PETER
JUHASZ INST. #03171046
ZONING: RS-12

THOMAS & PAMELA TEMPLE
INST. #08177300
ZONING: RS-12

CITY OF BARTLETT
INST. #J3-9242
ZONING: C-H

SHEET 1 of 1

DIVISION OF ENGINEERING

LANDSCAPE PLAN
LOCATION: 7642 SUMMER AVENUE

SURVEY _____ TRF _____ DATE 10/22 _____ BOOK _____
DRAFTED _____ EKM _____ DATE 2/23 _____ SCALE 1"=30' _____
DESIGN BY _____ TRF _____ DATE 2/23 _____ CHECKED _____ DATE _____
REVIEWED _____

CITY ENGINEER _____ DATE _____

modified 0000 The Reeves Firm Incorporated

LA1.0



City of Bartlett, Tennessee Municipal Planning Commission Staff Report

Subdivision: Construction Plan

Joyce's Gardens Phase 2

DATE: March 6, 2023

STAFF: Kim Taylor, Planning Director; Sam Harris, Senior Planner; Leslie Brock, Planner; John Horne, Engineering Director; Erin Campbell, Assistant Engineering Director; Becky Bailey, Engineer; Dalan Hubbard, Engineer

SUBJECT: Construction Plan Application Review

APPLICANT: David Bray, The Bray Firm

DEVELOPER: Gary Blume, Liberty Properties

SITE LOCATION: South Side of New Brownsville Road between Ellendale and Rockyford

SITE ACREAGE: 6.36 acres

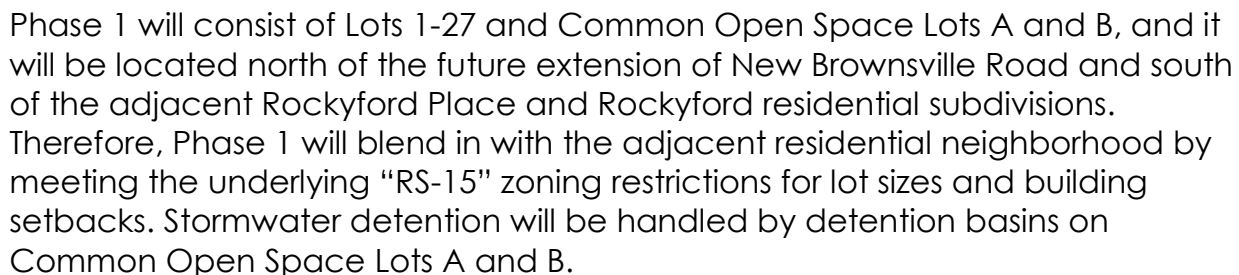
ZONING: "RS-15" Single Family Residential

LOTS: 15

INTRODUCTION:

Mr. David Bray with The Bray Firm is requesting Planning Commission approval of a Construction Plan for Joyce's Gardens Planned Development Phase 2. The subject property is located on the south side of New Brownsville Road between Ellendale Road and Rockyford Road, and it is within the "RS-15" Single Family Residential Zoning District.

On August 1, 2022, the Planning Commission approved a favorable recommendation for the Joyce's Gardens Planned Development that was forwarded to the Board of Mayor and Aldermen. On September 27, 2022, the Board of Mayor and Aldermen approved the Joyce's Gardens Planned Development. Joyce's Gardens Planned Development was approved as the subdivision of 27.107 acres of land into a 42 lot planned residential subdivision with 4 common open space lots. The lot sizes will range from 8,775-square feet to 36,974-square feet. The proposed development will occur in two phases.



Phase 2 will consist of Lots 28-42 and Common Open Space Lots C and D, and it will be located south of the future extension of New Brownsville Road and north of the existing Old Brownsville Road on property that is encumbered by an existing cemetery located between Lots 35 and 36. Therefore, Phase 2 will utilize reduced lot sizes and building setbacks. Although, only 5 lots of the proposed 15 lots within Phase 2 will have lot sizes less than the adjacent "RS-15" and "RS-12" single family residential zoning. Stormwater detention will be handled by a detention basin on Common Open Space Lot D.

DISCUSSION:

The specific request by the applicant is for the approval of a Construction Plan for Joyce's Gardens Planned Development Phase 2. The applicant is proposing to subdivide the existing 6.36 acre subject property into 15 lots identified as Lots 28-42 and Common Open Space Lots C and D. Phase 2 will be located south of the future extension of New Brownsville Road and north of the existing Old Brownsville Road on property that is encumbered by an existing cemetery located between Lots 35 and 36. The lot sizes will range in size from 8,775 to 28,252 square feet. The construction plans for Joyce's Gardens Planned Development Phase 2 include: a preliminary plat, a tree survey and tree protection plan, a grading and drainage plan, sediment and erosion control plan, a sanitary sewer plan, and a street plan and profiles for Joyce's Garden Lane. Access to the subdivision will be from two entrances on Joyce's Garden



Recommendation: Approval with conditions.

Engineering Conditions:

General:

1. A full subdivision contract will be required.
2. All new utilities shall be underground.
3. Handicap ramps are required at street corners.
4. Lots 28, 39, 40, 41, and 42 will be restricted from access to New Brownsville Road.
5. Lots 35, 34, and 33 will be restricted from access to Old Brownsville Road.
6. All mark-ups and corrections shall be addressed on the revised plans.
7. Construction access will not be permitted on New Brownsville until the roadway is finished and released to the City of Bartlett. It is scheduled to be completed by Fall 2023.
8. Tree survey is required.
9. Traffic Control Plan will be required.
10. Street signage shall be added to plans

Plat:

11. All COS shall be maintained by the Homeowners Association. This includes the detention basin and outlet structure.
12. Sidewalk table shall be added. Sidewalk on New Brownsville Road are 8 feet wide.
13. Sewer easement for alley needs to be shown.
14. Drainage easement needs to be extended to include the pipe and structure 3 into the detention basin as well as structure 1 and the pipe out of the detention basin.
15. The cemetery boundary shall be confirmed.
16. Show location of subdivision concrete monuments to be installed as required by the subdivision ordinance.

Erosion Control:

17. The engineer shall provide a copy of the SWPPP (Storm Water Pollution Prevention Plan) that has been or will be submitted to TDEC (Tennessee Department of Conservation).
18. Prior to any work being started, an NOC (Notice of Coverage) from TDEC must be received and a copy submitted to the City of Bartlett.

19. Metal posts with wire-backed fence are required on the proposed silt fences.
20. All inlets to be protected by erosion control measures. Inlet protection is required for existing inlet where detention basin is to be installed.
21. Silt fence or other appropriate EPSCs need to be installed in area of detention basin until basin is complete and stabilized.
22. Sediment basins may be required during construction.

Grading and Drainage:

23. The detention basins will be maintained by the HOA.
24. Applicant's engineer shall submit the stamped and signed detention calculations for the proposed detention basin and show the 'pre' and the 'post' runoff for the 2, 5, 10, 25, and 100 year storms. There should be one foot of freeboard above the top of the basin's wet storage elevation.
25. Pipe tables will be required and columns shall be provided for as-built data.
26. Drainage basins entering and exiting shall be shown on plan and any point drainage source entering or exiting the site should be connected via pipe.

Sanitary Sewer:

27. Sewer service detail shall be updated to current.
28. Sewer services for lots 33, 34 and 37 should be located by a property line to facilitate driveway installations.
29. Sewer service locations for lots 38, 39 and 40 need to be shown.
30. Area for as-built information shall be added.
31. Sewer basins shall be verified, and any adjacent properties that will require sewer to pass through Joyce's Garden shall have sewer stubs extended to the property line.

Water Plan:

32. Applicant shall provide a set of digital drawings showing the sanitary sewer lines, drainage lines, lot lines and all street improvements in AutoCAD format to Dalan Hubbard, dhubbard@cityofbartlett.org for use in the preparation of the Water Design Plan.

Street Plan & Profile:

33. Typical section; sidewalk cross slope shown as 1.75% where the standard is ¼" per foot (2%)
34. Typical section; grass strip cross slope shown at 2% where the standard is ½" per foot (4%)

35. Typical section; 8" soil cement shown where the standard is 6"
36. Off-street drainage and sewer shall be shown in profiles.

Planning Conditions:

1. The applicant shall rename the subdivision to Joyce's Gardens Planned Development since this development is being approved as a planned development in lieu of a standard subdivision.
2. The applicant will need to add a note to the plat to deny driveway access to New Brownsville Road for Lots 28, 39, 40, 41, and 42.
3. The applicant must attach the homeowners association bylaws instrument number and the covenants and restrictions instrument number to the final plat.
4. The applicant shall identify the 25' wide rear alley as private and obtain a hold harmless agreement with the Public Works Department to enable ingress/egress of Solid Waste vehicles for trash pickup along the privately maintained alley.
5. The applicant shall add a condition to the plat as well as within the restrictive covenants to prohibit parking on the private alley.
6. The applicant shall add a condition to the plat as well as within the restrictive covenants to prohibit RV, boat, trailer, and the like storage within Joyce's Gardens Planned Development.
7. The applicant shall provide within the restrictive covenants rules and restrictions concerning the style and placement of fences within Joyce's Gardens Planned Development.
8. The applicant shall submit a site plan application to the Design Review Commission for the common open space areas and the amenities to be installed in the common open space areas within Joyce's Gardens Planned Development Phase 2.
9. The applicant shall submit construction and final plans for Joyce's Gardens Planned Development Phase 1 to the Planning Commission. The applicant shall also submit a site plan application to the Design Review Commission for the common open space areas and the amenities to be installed in the common open space areas for Joyce's Gardens Planned Development Phase 1.
10. The owner/applicant shall be present at the meeting in order to make decisions relative to any changes that may be suggested by the Planning Commission.

Bartlett Planning and
Economic Development Department
6382 Stage Road, P.O. Box 341148
Bartlett, TN 38184-1148
901-385-6417 FAX 901-385-6419
www.cityofbartlett.org

Bartlett Planning Commission
Application for
Construction Plan Approval

Subdivision Name JOYCES GARDENS S/D, PHASE 2 No. of Lots 15
Subdivision Location SOUTH SIDE NEW BROWNSVILLE BETWEEN ELLIENORKE / ROCKY FORD

Owner/Developer Contact GARY BLUME Phone _____

Company Name LIBERTY PROPERTIES Fax _____

Address 808480 EAST ORCHARD # 1100, GREENWOOD VILLAGE, CO 80111 email _____

Architect Contact _____ Phone _____

Company Name _____ Fax _____

Address _____ email _____

Engineer Contact DAVID BLAY Phone 901.383.8668

Company Name THE BLAY FIRM Fax _____

Address 2950 STAGE PLAZA NORTH, BARTLETT 38134 email dbl@blay.com
comcast.net

Submitted by DAVID BLAY (printed name) [Signature] (signature) 02.06.2023 (date)

Email Address dbl@blay.com Phone 901.383.8668 Fax _____

- dbl Attach a checked-off "Construction Plan Checklist" and all items required therein.
- dbl Acknowledge (by initials in the blank to the left) that the "Application Instructions: Planning Commission" were obtained and read prior to submitting this application.
- dbl Provide 5-folded ($\pm 10"x13"$) sets of plans with a copy of the signed application attached to each set.
- dbl Provide an electronic PDF file of the plans. Note that an updated electronic file is required when plans are revised. The electronic file shall be labeled with the project name and accurately dated.
- dbl Include a fee of \$300.00 plus \$20.00 per lot with this application (check payable to the City of Bartlett).

I, the property owner(s) hereby authorize the filing of this application.

GARY BLUME (print name) [Signature] (signature) 2/6/2023 (date)

RECEIVED

FEB 06 2023

CITY OF BARTLETT

Construction Plan Checklist

The applicant shall either indicate that the following items have been completed by a check (✓) or that they are not applicable (n/a).

In addition to all the requirements of the Master Plan, the Construction Plan shall show

- ☒ Signature and Seal of Designer, a Professional Civil Engineer Registered in Tennessee
- ☒ * Grading Plan, existing & finished contours for the site and fifty (50) feet beyond property
- ☒ * Extent and elevation of land below the 100-year flood
- ☒ Detailed plan of sewer layouts
- ☒ Plan and profile sheets and engineering data for streets, storm drainage, controls for surface and ground water, water and sewer layouts
- ☒ Landscape plan and planting schedule as required
- ☒ Comprehensive drainage plan
- ☒ Construction traffic access plan

Certificates: (As applicable)

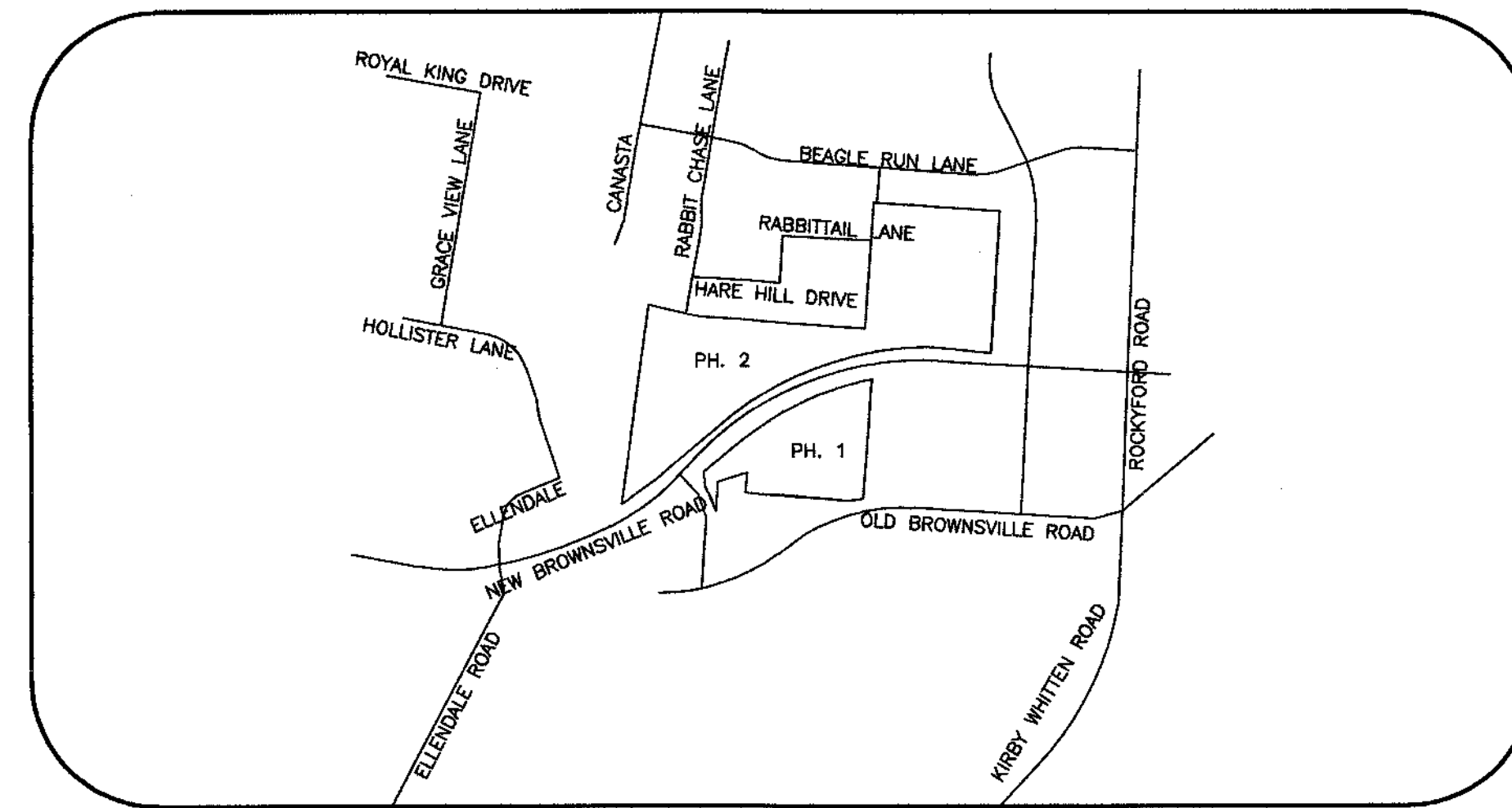
- ☒ Suitability of Soils for Septic Tanks
- ☒ Approval of Water and Sewerage Systems
- ☒ Accuracy of Engineering and Design
- ☒ Approval of Water and Sewer Lines
- ☒ Approval of Street and Drainage Improvements
- ☒ Quality of Construction
- ☒ Compliance with requirements of EPA
- ☒ Approval of Flood Administrator

In addition to the Construction Plan drawings, the following shall be provided:

- ☒ One PDF file of the pictorial portion of the Construction Plan sheets indicated above by an asterisk (*), for display at the Planning Commission meeting.

INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED

VICINITY MAP n.t.s.



CONSTRUCTION DRAWINGS PHASE 2 JOYCE'S GARDENS SUBDIVISION

BARTLETT, TENNESSEE

LIBERTY PROPERTIES
DEVELOPER

THE BRAY FIRM
ENGINEER

SCHEDULE OF DRAWINGS

COVER PAGE	1
FINAL PLAT (2 SHEETS)	2
CONSTRUCTION NOTES	4
EROSION CONTROL PLAN (3 SHEETS)	5
SANITARY SEWER PLAN	8
GRADING AND DRAINAGE PLAN	9
WATER PLAN (BY CITY OF BARTLETT)	10
TREE PLAN	11
JOYCES GARDEN LANE	12

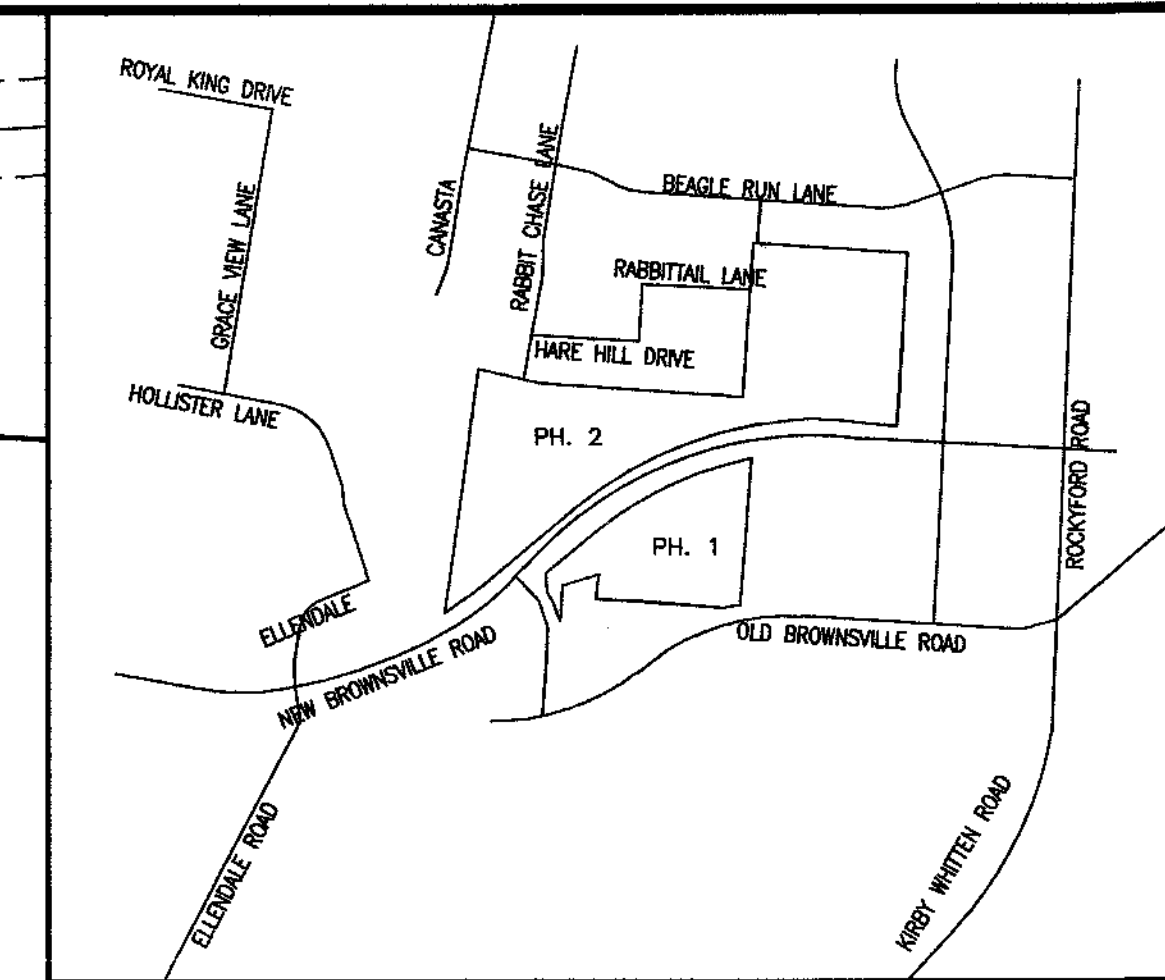
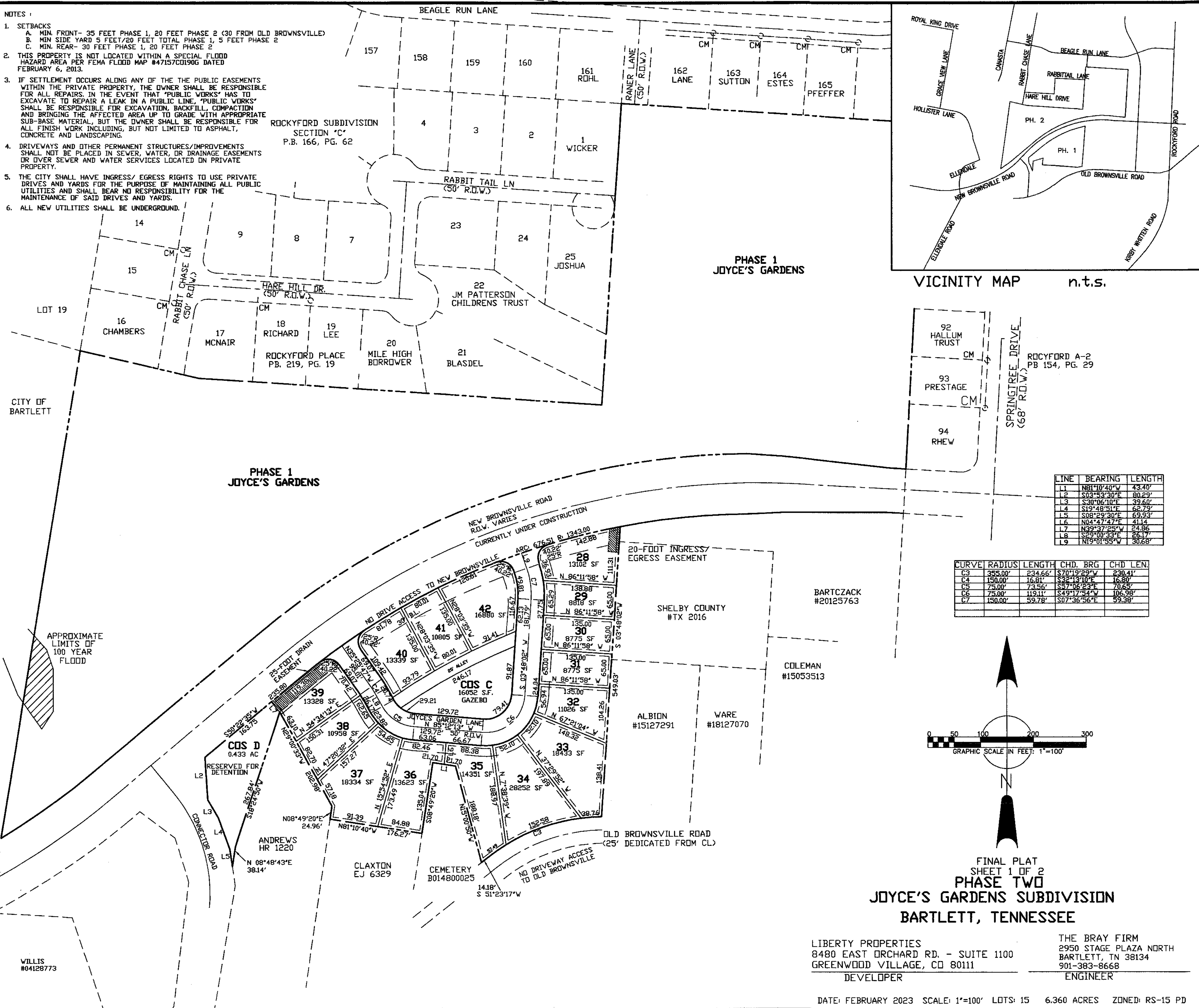
GENERAL NOTES

CONSTRUCTION NOTES:

1. PROPERTY LINES SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. GRADING, CLEARING AND THE ERECTION OR REMOVAL OF FENCES ALONG PROPERTY LINES SHALL BE FULLY COORDINATED WITH ADJACENT PROPERTY OWNERS.
2. THE CONTRACTOR SHALL VERIFY ANY EXISTING DATA AND REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ENGINEER.
3. THE CONTRACTOR SHALL NOT ENTER UPON, WORK UPON NOR CAUSE DAMAGE TO ANY ADJACENT PROPERTIES WITHOUT PRIOR PERMISSION FROM SAID PROPERTY OWNER.
4. LOCATION OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE AND ARE NOT NECESSARILY ALL OF SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE APPROPRIATE UTILITY COMPANY TO DETERMINE THE EXACT LOCATION OF ALL UTILITIES AND/OR UNDERGROUND STRUCTURES PRIOR TO THE INITIATION OF ANY CONSTRUCTION. CONTRACTOR SHALL ALSO ASSUME FULL RESPONSIBILITY FOR DAMAGE TO ANY EXISTING UTILITIES ENCOUNTERED WITHIN THE CONSTRUCTION PERIMETERS. FOR SITE LOCATION OF EXISTING UTILITIES INVOLVING M.L.G. & S. SOUTH CENTRAL BELL, AND/OR TEXAS GAS COMPANY, PLEASE CALL 1-800-351-1111. FOR SEWER SERVICE LOCATIONS, CALL 385-6499.
5. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES.
6. TYPICAL SIDE SLOPES TO BE 1 FOOT VERTICAL TO 4 FEET HORIZONTAL.
7. ALL AREAS IN CUT OR FILL WHERE VEGETATION HAS BEEN REMOVED SHALL BE SEEDED, MULCHED, FERTILIZED, AND/OR SODDED AS REQUIRED TO PREVENT EROSION.
8. 24 HOURS PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE CITY OF BARTLETT ENGINEER'S OFFICE AT 385-6499.
9. ALL CONSTRUCTION MATERIALS & PROCEDURES SHALL MEET STANDARD CITY OF BARTLETT SPECIFICATIONS.
10. ALL FILL AND/OR TRENCH BACKFILL SHALL BE COMPACTED (IN 6 INCH LIFTS) TO 95% STANDARD PROCTOR WITHIN 3% OF OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D698-70 LATEST REVISION (STANDARD PROCTOR).
11. THE CONTRACTOR SHALL INSTALL AND MAINTAIN A SILT FENCE AT THE TOP OF ALL DITCH BANKS FOR THE WIDTH OF THE CONSTRUCTION LIMITS AND CONTINUOUSLY ALONG THE "STREAMSIDE" CONSTRUCTION LIMIT.
12. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN EROSION CONTROL DURING CONSTRUCTION BY THE PLACEMENT OF SILT FENCES WHERE NECESSARY TO PREVENT DOWNSTREAM SILTATION OF ANY DITCHES, PIPES, DRAINAGE STRUCTURES OR ADJACENT PROPERTIES. THE CONTRACTOR SHALL PROVIDE ANY ADDITIONAL EROSION CONTROL AS NEEDED OR AS DIRECTED BY THE ENGINEER.
13. CONTRACTOR SHALL PROVIDE ALL NECESSARY EROSION CONTROL METHODS AS PER THE CITY OF BARTLETT, SHELBY COUNTY, AND STATE OF TENNESSEE REGULATIONS.
14. ENGINEER'S CERTIFICATE: THIS PROJECT HAS BEEN DESIGNED IN ACCORDANCE WITH THE CITY OF BARTLETT SUBDIVISION REGULATIONS AND SPECIFICATIONS.
15. LOT GRADING AND DRAINAGE:
FINISH GRADE SHALL BE SLOPED AWAY FROM THE FOUNDATION FOR DRAINAGE. THE FINISH GRADE MUST BEGIN AT LEAST 10 INCHES BELOW THE TOP OF THE FOUNDATION WALL OR THE GRADE OF THE CONCRETE SLAB AND FOUNDATION. THE MINIMUM GRADE AWAY FROM THE FOUNDATION WALL SHALL BE AT LEAST 5 PERCENT IN ALL DIRECTIONS. THE DRIVEWAY SHALL BE SLOPED DOWN AT 2 PERCENT FOR AT LEAST 8 FEET FROM THE STRUCTURE.
16. THE CITY OF BARTLETT SHALL HAVE INGRESS/EGRESS RIGHT TO USE PRIVATE DRIVES AND YARDS FOR THE PURPOSE OF MAINTAINING ALL PUBLIC UTILITIES AND SHALL BEAR NO RESPONSIBILITY FOR THE MAINTENANCE OF SAID DRIVES AND YARDS.

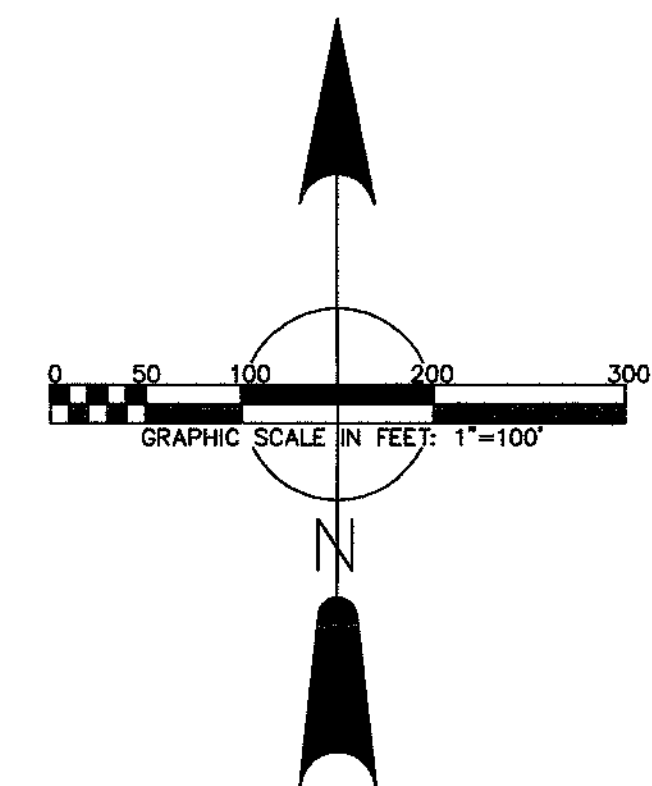
NOTES:

1. SETBACKS
A. MIN. FRONT- 35 FEET PHASE 1, 20 FEET PHASE 2 (30 FROM OLD BROWNSVILLE)
B. MIN. SIDE YARD 5 FEET/20 FEET TOTAL PHASE 1, 5 FEET PHASE 2
C. MIN. REAR- 30 FEET PHASE 1, 20 FEET PHASE 2
2. THIS PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA PER FEMA FLOOD MAP #47157C01906 DATED FEBRUARY 6, 2013.
3. IF SETTLEMENT OCCURS ALONG ANY OF THE THE PUBLIC EASEMENTS WITHIN THE PRIVATE PROPERTY, THE OWNER SHALL BE RESPONSIBLE FOR ALL REPAIRS. IN THE EVENT THAT "PUBLIC WORKS" HAS TO EXCAVATE TO REPAIR A LEAK IN A PUBLIC LINE, "PUBLIC WORKS" SHALL BE RESPONSIBLE FOR EXCAVATION, BACKFILL, COMPACTION AND BRINGING THE AFFECTED AREA UP TO GRADE WITH APPROPRIATE SUB-BASE MATERIAL, BUT THE OWNER SHALL BE RESPONSIBLE FOR ALL FINISH WORK INCLUDING, BUT NOT LIMITED TO ASPHALT, CONCRETE AND LANDSCAPING.
4. DRIVEWAYS AND OTHER PERMANENT STRUCTURES/IMPROVEMENTS SHALL NOT BE PLACED IN SEWER, WATER, OR DRAINAGE EASEMENTS OR OVER SEWER AND WATER SERVICES LOCATED ON PRIVATE PROPERTY.
5. THE CITY SHALL HAVE INGRESS/ EGRESS RIGHTS TO USE PRIVATE DRIVES AND YARDS FOR THE PURPOSE OF MAINTAINING ALL PUBLIC UTILITIES AND SHALL BEAR NO RESPONSIBILITY FOR THE MAINTENANCE OF SAID DRIVES AND YARDS.
6. ALL NEW UTILITIES SHALL BE UNDERGROUND.



LINE	BEARING	LENGTH
1	N81°10'40\"	43.40'
2	S02°53'30\"	80.29'
3	S30°06'10\"	39.60'
4	S19°48'51\"	66.79'
5	S08°19'30\"	69.93'
6	N04°47'47\"	41.14'
7	N33°37'25\"	24.86'
8	S82°00'29\"	24.17'
9	N19°01'59\"	30.65'

CURVE	RADIUS	LENGTH	CHD. BRG.	CHD. LEN.
C3	355.00'	234.66'	S70°19'29\"	230.41'
C4	150.00'	16.81'	S82°13'10\"	16.80'
C5	75.00'	73.36'	S87°06'22\"	70.65'
C6	75.00'	113.11'	S49°17'54\"	106.38'
C7	150.00'	59.78'	S07°36'56\"	59.38'



FINAL PLAT
SHEET 1 OF 2
PHASE TWO
JOYCE'S GARDENS SUBDIVISION
BARTLETT, TENNESSEE

LIBERTY PROPERTIES
8480 EAST ORCHARD RD. - SUITE 1100
GREENWOOD VILLAGE, CO 80111
DEVELOPER

THE BRAY FIRM
2950 STAGE PLAZA NORTH
BARTLETT, TN 38134
901-383-8668
ENGINEER

DATE: FEBRUARY 2023 SCALE: 1\"/>

CERTIFICATE OF ADEQUACY OF STORM DRAINAGE

I, DAVID GEAN BRAY, HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL CIVIL ENGINEER, AND THAT I HAVE DESIGNED ALL STORM WATER DRAINAGE FOR PH. 2, JOYCES GARDENS SUBDIVISION TO ASSURE THAT NEITHER SAID SUBDIVISION NOR ADJOINING PROPERTY WILL BE DAMAGED OR THE CHARACTER OF LAND USE BE AFFECTED BY THE VELOCITY AND VOLUME OF WATER ENTERING OR LEAVING SAME.

IN WITNESS WHEREOF, I, THE SAID PROFESSIONAL CIVIL ENGINEER HERETO SET OUT HAND AND AFFIX MY SEAL THIS _____ DAY OF _____, 2023

PROFESSIONAL CIVIL ENGINEER _____
STATE OF TENNESSEE CERTIFICATE NO. 110070

CERTIFICATE OF SURVEY:

I, _____, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HAVE SURVEYED THE LANDS EMBRACED WITHIN THE PLAT DESIGNATED AS PH. 2, JOYCES GARDENS SUBDIVISION A SUBDIVISION ALL LYING WITHIN THE CORPORATE LIMITS OF THE CITY OF BARTLETT, TENNESSEE, THAT SAID PLAT IS A TRUE AND CORRECT PLAT OF THE LANDS EMBRACED THEREIN, SHOWING THE SUBDIVISION THEREOF IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF BARTLETT, TENNESSEE. I FURTHER CERTIFY THAT THE SURVEY OF THE LANDS EMBRACED WITHIN SAID PLAT HAS BEEN CORRECTLY MONUMENTED IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF BARTLETT, TENNESSEE.

IN WITNESS WHEREOF, I , THE SAID, _____, SURVEYOR, HEREUNTO SET OUT HAND AND AFFIX MY SEAL THIS _____ DAY OF _____ 2023

LAND SURVEYOR
STATE OF TENNESSEE CERTIFICATE NO.

BOARD OF MAYOR AND ALDERMAN CERTIFICATE;

I, _____, HEREBY CERTIFY THAT ALL REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED OR THAT A PERFORMANCE BOND OR OTHER COLLATERAL IN SUFFICIENT AMOUNT TO ASSURE COMPLETION OF ALL REQUIRED IMPROVEMENTS HAS BEEN POSTED FOR THE SUBDIVISION SHOWN ON THIS PLAT AND ARE HEREBY APPROVED BY THE CITY OF BARTLETT, TENNESSEE.

DATE _____ MAYOR _____
CITY OF BARTLETT

PLANNING COMMISSION CERTIFICATE

I, _____, DO HEREBY CERTIFY THAT THE CITY OF BARTLETT PLANNING COMMISSION HAS APPROVED THIS PLAT OF SUBDIVISION FOR RECORDING.

DATE _____ SECRETARY _____
BARTLETT PLANNING COMMISSION

OWNER'S CERTIFICATE:

WE, LIBERTY PROPERTIES, OWNERS OF THE PROPERTY SHOWN HEREON, HEREBY ADOPT THIS PLAT AS OUR PLAN OF SUBDIVISION, AND DEDICATE THE STREETS, RIGHTS-OF-WAYS, EASEMENTS, AND RIGHTS OF ACCESS AS SHOWN AND /OR DESCRIBED TO THE PUBLIC USE FOREVER, AND HEREBY CERTIFY THAT WE ARE THE OWNERS IN FEE SIMPLE, DULY AUTHORIZED TO ACT AND THAT SAID PROPERTY IS UNENCUMBERED BY ANY TAXES WHICH HAVE BECOME DUE AND PAYABLE.

LIBERTY PROPERTIES _____ DATE _____

STATE OF TENNESSEE
COUNTY OF SHELBY

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC, IN AND FOR SAID STATE AND COUNTY AT MEMPHIS, DULY COMMISSIONED AND QUALIFIED, PERSONALLY APPEARED WITH WHOM I AM PERSONALLY ACQUAINTED AND WHO UPON OATH ACKNOWLEDGED THAT HE EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED AS HIS OWN FREE ACT AND DEED.

WITNESS MY HAND AND NOTARIAL SEAL, THIS _____DAY OF _____,2023.

MY COMMISSION EXPIRES _____
_____,NOTARY PUBLIC

MORTGAGEE'S CERTIFICATE

WE, THE UNDERSIGNED, MORTGAGEE OF THE PROPERTY SHOWN HEREON, HEREBY ADOPT THIS PLAT AS OUR PLAN OF SUBDIVISION AND DEDICATE THE STREETS, RIGHTS-OF-WAY, EASEMENTS, AND RIGHTS OF ACCESS AS SHOWN TO THE PUBLIC USE FOREVER, AND HEREBY CERTIFY THAT WE ARE THE MORTGAGEE DULY AUTHORIZED SO TO ACT AND THAT SAID PROPERTY IS UNENCUMBERED BY ANY TAXES WHICH HAVE BECOME DUE AND PAYABLE.

NAME _____ TITLE _____ INSTITUTION _____ DATE _____

STATE OF TENNESSEE
COUNTY OF SHELBY

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC, IN AND FOR SAID STATE AND COUNTY AT MEMPHIS, DULY COMMISSIONED AND QUALIFIED, PERSONALLY APPEARED WITH WHOM I AM PERSONALLY ACQUAINTED AND WHO UPON OATH ACKNOWLEDGED HIMSELF TO BE _____ OF _____ AND HE AS SUCH _____ EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSE THERIN CONTAINED BY SIGNING HIS NAME AS REPRESENTATIVE OF THE MORTGAGEE.

WITNESS MY HAND AND NOTARIAL SEAL, THIS _____DAY OF _____,2023.

MY COMMISSION EXPIRES _____
_____,NOTARY PUBLIC

RESTRICTIVE COVENANTS AND SIMILAR DOCUMENTS ARE PRIVATE IN SCOPE AND NOT SUBJECT TO GOVERNMENTAL APPROVAL AND ENFORCEMENT. PROTECTIVE COVENANTS FOR THIS SUBDIVISION HAVE BEEN FILED PRIOR TO THE RECORDING OF THIS PLAT IN THE SHELBY COUNTY REGISTERS OFFICE AND CAN BE FOUND IN INSTRUMENT NUMBER _____.

FINAL PLAT
SHEET 2 OF 2
PHASE TWO
JOYCE'S GARDENS SUBDIVISION
BARTLETT, TENNESSEE

LIBERTY PROPERTIES
8480 EAST ORCHARD RD. - SUITE 1100
GREENWOOD VILLAGE, CO 80111
DEVELOPER

THE BRAY FIRM
2950 STAGE PLAZA NORTH
BARTLETT, TN 38134
901-383-8668
ENGINEER

DATE: FEBRUARY 2023 SCALE: 1"=100' LOTS: 15 6.360 ACRES ZONED: RS-15 PD

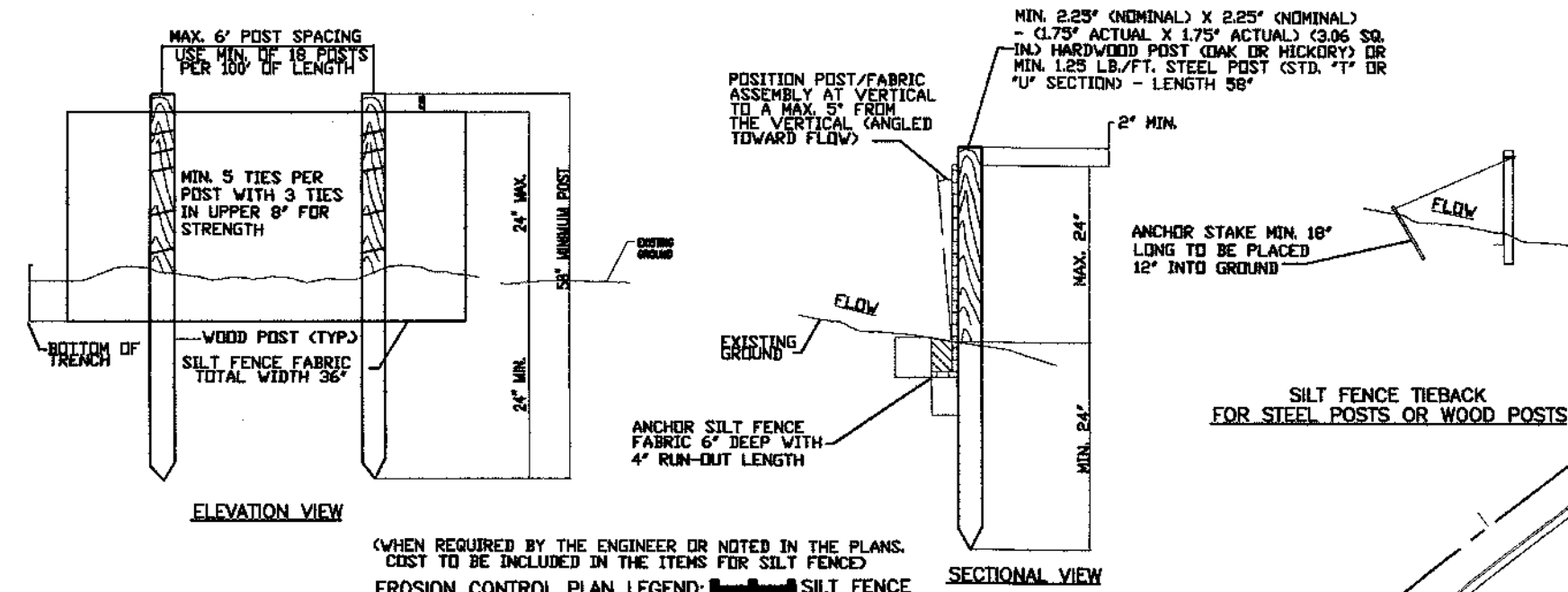
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10. ALL FILL AND/OR TRENCH BACKFILL SHALL BE COMPACTED (IN 6 INCH LIFTS) TO 95% STANDARD PROCTOR WITHIN 3% OF OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D690-78 LATEST REVISION (STANDARD PROCTOR).
11. THE CONTRACTOR SHALL INSTALL AND MAINTAIN A SILT FENCE PARALLELLED WITH HAY BALES AT THE TOP OF ALL DITCH BANKS FOR THE WIDTH OF THE CONSTRUCTION LIMITS AND CONTINUOUSLY ALONG THE "STREAMSIDE" CONSTRUCTION LIMIT.
12. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN EROSION CONTROL DURING CONSTRUCTION BY THE PLACEMENT OF SILT FENCES AND HAY BALES WHERE NECESSARY TO PREVENT DOWNSTREAM SILTATION OF ANY DITCHES, PIPES, DRAINAGE STRUCTURES OR ADJACENT PROPERTIES. THE CONTRACTOR SHALL PROVIDE ANY ADDITIONAL EROSION CONTROL AS NEEDED OR AS DIRECTED BY THE ENGINEER.
13. CONTRACTOR SHALL PROVIDE ALL NECESSARY EROSION CONTROL METHODS AS PER THE CITY OF BARTLETT, SHELBY COUNTY, AND STATE OF TENNESSEE REGULATIONS.
14. ENGINEER'S CERTIFICATE: THIS PROJECT HAS BEEN DESIGNED IN ACCORDANCE WITH THE CITY OF BARTLETT SUBDIVISION REGULATIONS AND SPECIFICATIONS.
15. LOT GRADING AND DRAINAGE:
 - FINISH GRADE SHALL BE SLOPED AWAY FROM THE FOUNDATION FOR DRAINAGE. THE FINISH GRADE MUST BEGIN AT LEAST 10 INCHES BELOW THE TOP OF THE FOUNDATION WALL OR THE GRADE OF THE CONCRETE SLAB AND FOUNDATION. THE MINIMUM GRADE AWAY FROM THE FOUNDATION WALL SHALL BE AT LEAST 5 PERCENT IN ALL DIRECTIONS. THE DRIVEWAY SHALL BE SLOPED DOWN AT 2 PERCENT FOR AT LEAST 8 FEET FROM THE STRUCTURE.
16. THE CITY OF BARTLETT SHALL HAVE INGRESS/EGRESS RIGHT TO USE PRIVATE DRIVES AND YARDS FOR THE PURPOSE OF MAINTAINING ALL PUBLIC UTILITIES AND SHALL BEAR NO RESPONSIBILITY FOR THE MAINTENANCE OF SAID DRIVES AND YARDS.

1. CONTRACTOR SHALL ENSURE UNINTERRUPTED SEWER SERVICE ON EXISTING SEWER AND SERVICE CONNECTIONS BY PROVIDING AMPLE TEMPORARY WASTEWATER PUMPING AND/OR BYPASSING.
2. ALL SEWER MANHOLE LIDS IN OPEN AREAS ARE TO BE CONSTRUCTED 1.5' ABOVE PROPOSED GRADE. IN BACKYARDS, MANHOLE LIDS ARE TO BE 2.0' ABOVE THE INITIAL GRADE, 0.5' ABOVE FINAL GRADE, OR A MINIMUM 1.5' ABOVE THE 100-YEAR FLOOD ELEVATION (A.T. SEALED COVER & VENT STACK).
3. SANITARY SEWER INCLUDING SERVICE CONNECTION, WHICH HAS LESS THAN 1.5' CLEARANCE (OUTSIDE OF PIPES) WITH DRAINAGE OR IN FILE AREAS SHALL BE CLASS 50 DIP OR CONCRETE ENCASED , 10' BOTH SIDES OF CROSSING. ALL DUCTILE IRON PIPE SHALL BE POLYETHYLENE LINED OR SHALL BE TREATED WITH PROTECTO 401 OR APPROVED EQUIVALENT.
4. SERVICE CONNECTIONS SHALL BE FIELD LOCATED, AND CONTRACTOR SHALL ASSURE THAT ALL EXISTING SERVICE CONNECTIONS EXTENDING TO RIGHT-OF-WAY SHALL BE RECONNECTED TO NEW SEWER LINES.
5. ALL SEWER MANHOLES SHALL BE 4 FEET IN DIAMETER UNLESS OTHERWISE NOTED.
6. ALL SANITARY SEWER TO BE CONSTRUCTED AS PER CITY OF BARTLETT STANDARD CONSTRUCTION SPECIFICATIONS. ALL SANITARY SEWER SERVICE CONNECTIONS TO BE INSTALLED AS PER CITY OF BARTLETT DETAIL.
7. ALL 6 INCH AND 8 INCH SANITARY SEWER PIPE SHALL BE SDR-26 PVC UNLESS OTHERWISE NOTED.
8. THE CITY OF BARTLETT SHALL HAVE INGRESS/EGRESS RIGHTS TO USE PRIVATE DRIVES AND YARDS FOR THE PURPOSE OF MAINTAINING ALL PUBLIC UTILITIES AND SHALL BEAR NO RESPONSIBILITY FOR THE MAINTENANCE OF SAID PRIVATE DRIVES AND YARDS.
9. ALL LARGE TREES, SHRUBS, PERMANENT STRUCTURES OR OTHER UTILITIES (EXCEPT FOR CROSSINGS) WILL BE ALLOWED WITHIN THE SANITARY SEWER EASEMENT.
10. DAMAGED OR BROKEN CURB SHALL BE REPAIRED CONSISTENT WITH THE CITY OF BARTLETT POLICY PRIOR TO RELEASE, ACCEPTANCE, OR BOND REDUCTION.
11. ALL FILL AND/OR TRENCH BACKFILL AREAS SHALL BE COMPACTED IN 6' LIFTS TO 95% STANDARD PROCTOR WITHIN 3% OF OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D698-78 LATEST REVISION (STANDARD PROCTOR).

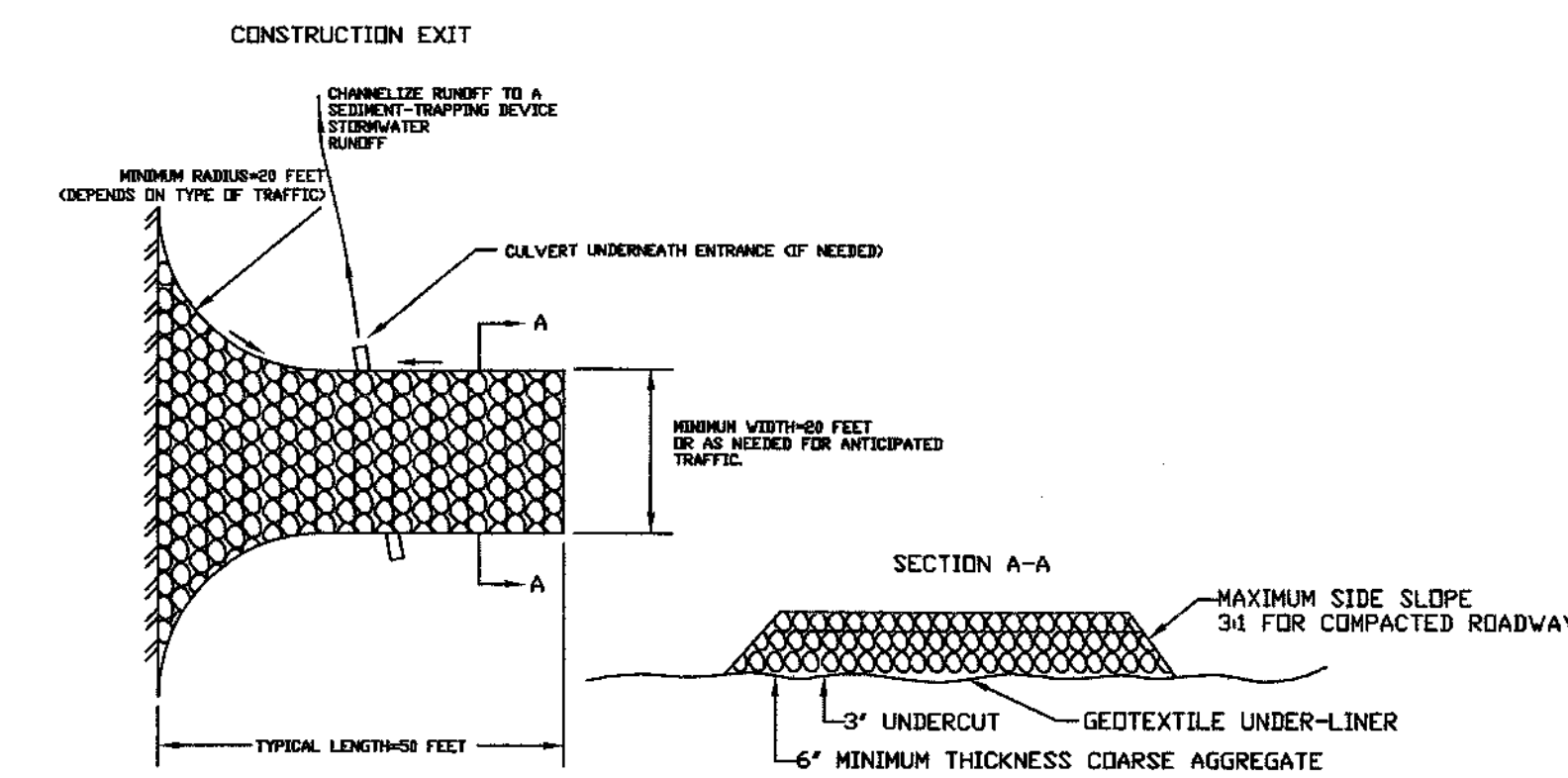
1. EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE AND FUNCTIONAL PRIOR TO COMMENCEMENT OF EARTH MOVING OPERATIONS.
2. ALL EROSION AND SEDIMENT CONTROL MEASURES MUST BE PROPERLY CONSTRUCTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
3. CHECK ALL EROSION AND SEDIMENT CONTROL MEASURES WEEKLY AND AFTER EACH RAINFALL. DAILY CHECKING IS REQUIRED DURING PROLONGED RAINFALL. MAINTAIN A PERMANENT LOG OF CHECKS AND MAINTENANCE MEASURES.
4. KEEP CONSTRUCTION DEBRIS FROM ENTERING STORM SEWERS.
5. PROMPTLY BACKFILL AND STABILIZE TRENCHES AND/OR PITS.
6. DESIGNATE A SPECIFIC INDIVIDUAL TO BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROLS AND TO KEEP THE PERMANENT LOG.
7. EROSION CONTROLS ARE NOT LIMITED TO THE SPECIFIED PRACTICES, HOWEVER, ALTERNATIVE MEASURES MUST BE AT LEAST AS EFFECTIVE IN CONTROLLING EROSION AND SEDIMENTATION.
8. RE-VEGETATION OF EXPOSED GROUND SHOULD BEGIN AS SOON AS CONSTRUCTION PERMITS.
9. INSTALL STAKED AND ENTRENCHED STRAW BALES AND/OR SILT FENCE ALONG THE BASE OF ALL BACKFILLS AND CUTS, ON THE DOWNHILL SIDE OF STOCKPILED SOIL, AND ALONG DITCH BANKS IN CLEARED AREAS TO PREVENT EROSION INTO DITCHES, DO NOT PLACE SILT FENCE IN FLOWING DITCH.

[illegible]

CITY ENGINEER DATE SHEET 4 OF 12



SILT FENCE DETAIL
 SCALE: NONE



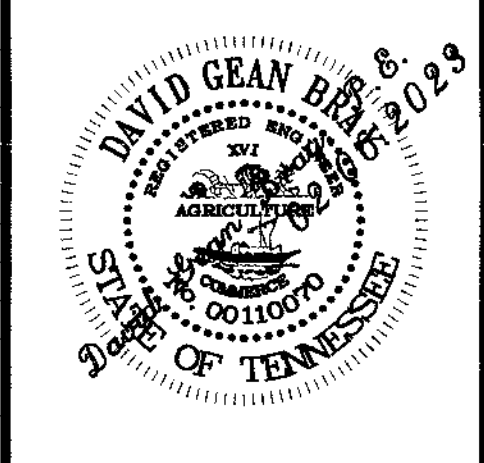
EROSION CONTROL MEASURES ON THIS SHEET TO BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION.

DISTURBED AREA: 5.1 ACRES
 NOTE TO DEVELOPER AND CONTRACTOR:
 1. STATE NPDES PERMITS ARE REQUIRED PRIOR TO LAND DISTURBANCE.
 2. IF FULL IMPLEMENTATION OF THIS PLAN DOES NOT PROVIDE EFFECTIVE SEDIMENT CONTROL AND EROSION PROTECTION, ADDITIONAL MEASURES MAY BE REQUIRED.

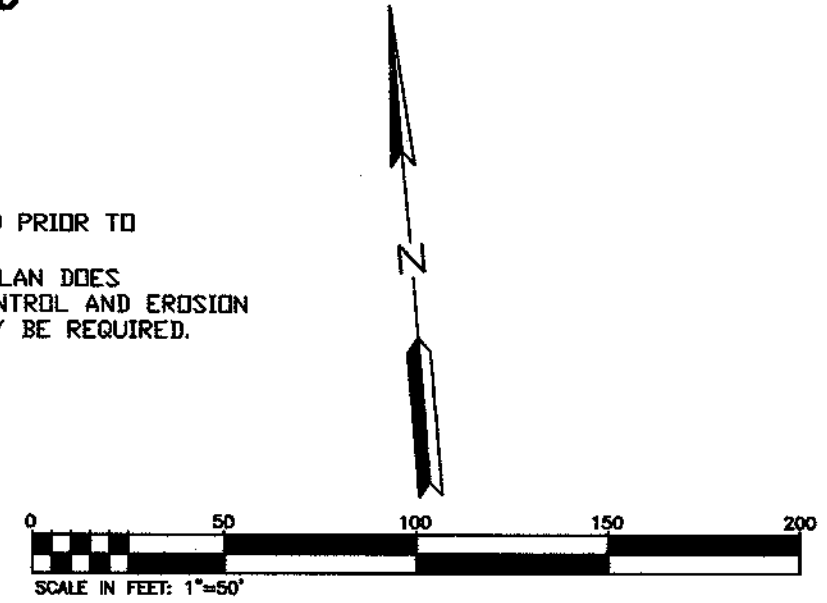
NOTE: THIS PROPERTY DOES NOT LIE WITHIN THE 100 YEAR FLOOD HAZARD PER F.E.M.A. MAP NUMBER 47157CD190G AND 47157CD190G DATED FEBRUARY 6, 2013

- EROSION CONTROL NOTES:**
1. EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE AND FUNCTIONAL PRIOR TO COMMENCEMENT OF EARTH MOVING OPERATIONS.
 2. ALL EROSION AND SEDIMENT CONTROL MEASURES MUST BE PROPERLY CONSTRUCTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
 3. CHECK ALL EROSION AND SEDIMENT CONTROL MEASURES PER TDEC TWICE WEEKLY AT LEAST 72 HOURS APART. DAILY CHECKING IS REQUIRED DURING PROLONGED RAINFALL. MAINTAIN A PERMANENT LOG OF CHECKS AND MAINTENANCE MEASURES.
 4. KEEP CONSTRUCTION DEBRIS FROM ENTERING STORM SEWER.
 5. PROMPTLY BACKFILL AND STABILIZE TRENCHES AND/OR PITS.
 6. DESIGNATE A SPECIFIC INDIVIDUAL (MUST BE TDEC LEVEL 1 CERTIFIED) TO BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROLS AND TO KEEP THE PERMANENT LOG.
 7. EROSION CONTROLS ARE NOT LIMITED TO THE SPECIFIED PRACTICES, HOWEVER, ALTERNATIVE MEASURES MUST BE AT LEAST AS EFFECTIVE IN CONTROLLING EROSION AND SEDIMENTATION.
 8. RE-VEGETATION OF EXPOSED GROUND SHOULD BEGIN AS SOON AS CONSTRUCTION IS COMPLETED.
 9. INSTALL STAKED AND ENTRENCHED SILT FENCE ALONG THE BASE OF ALL BACKFILLS AND CUTS, ON THE DOWNHILL SIDE OF STOCKPILED SOIL, AND ALONG DITCH BANKS IN CLEARED AREAS TO PREVENT EROSION INTO DITCHES, DO NOT PLACE SILT FENCE IN FLOWING DITCH.

REVISIONS		
ITEM NO.	DESCRIPTION OF CHANGE	DATE APPROVED

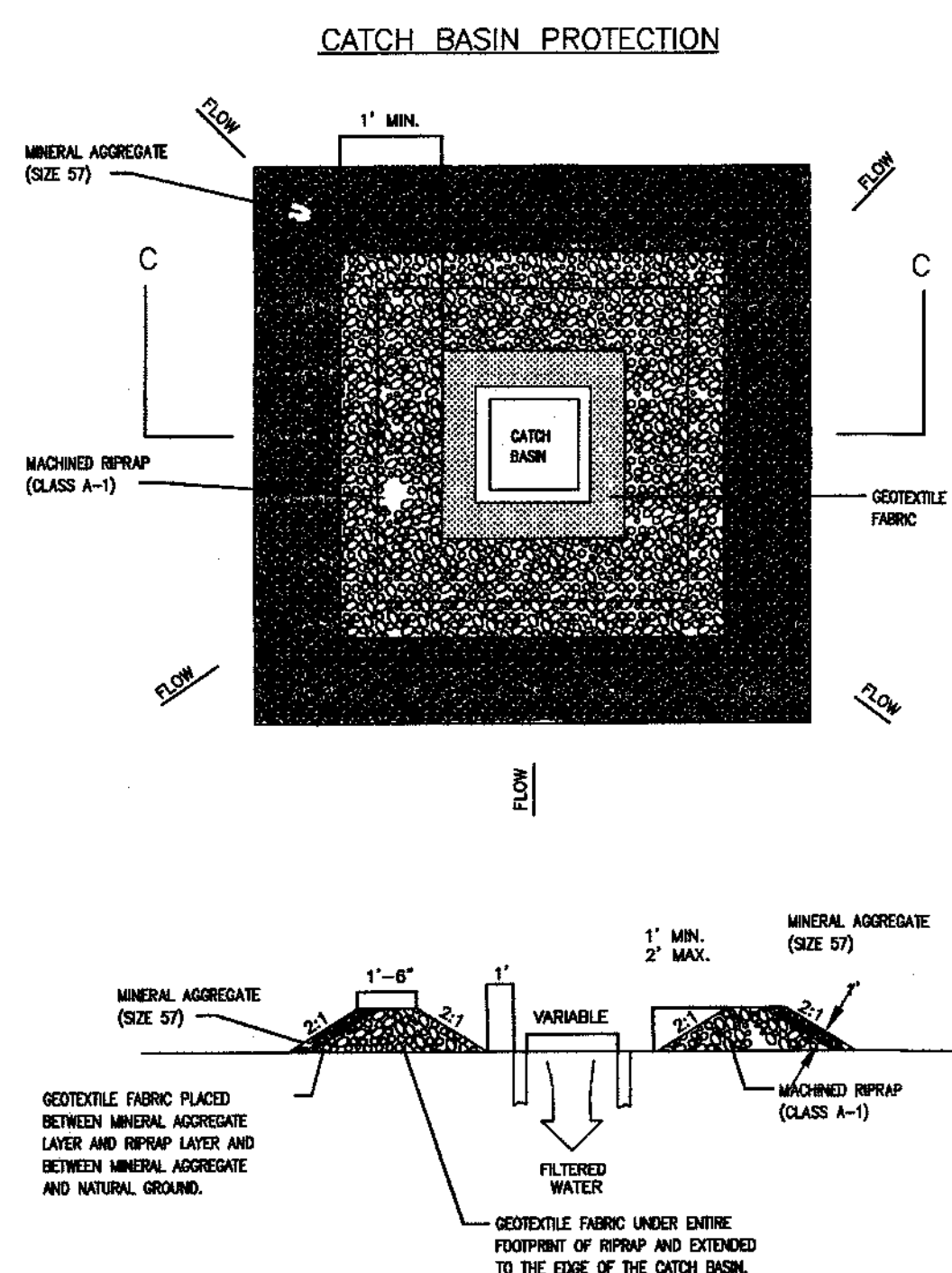
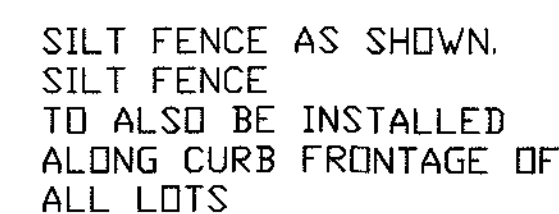
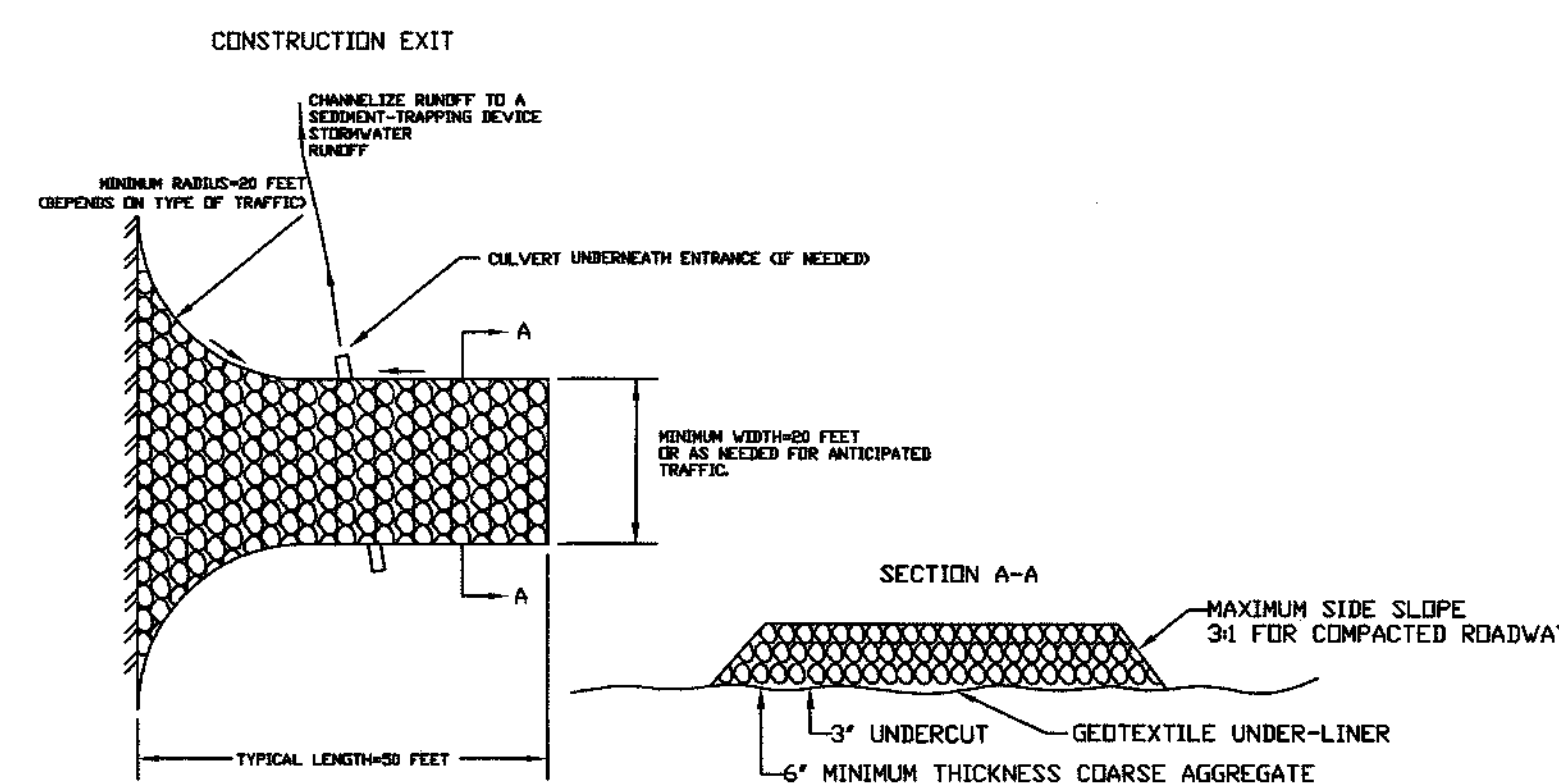
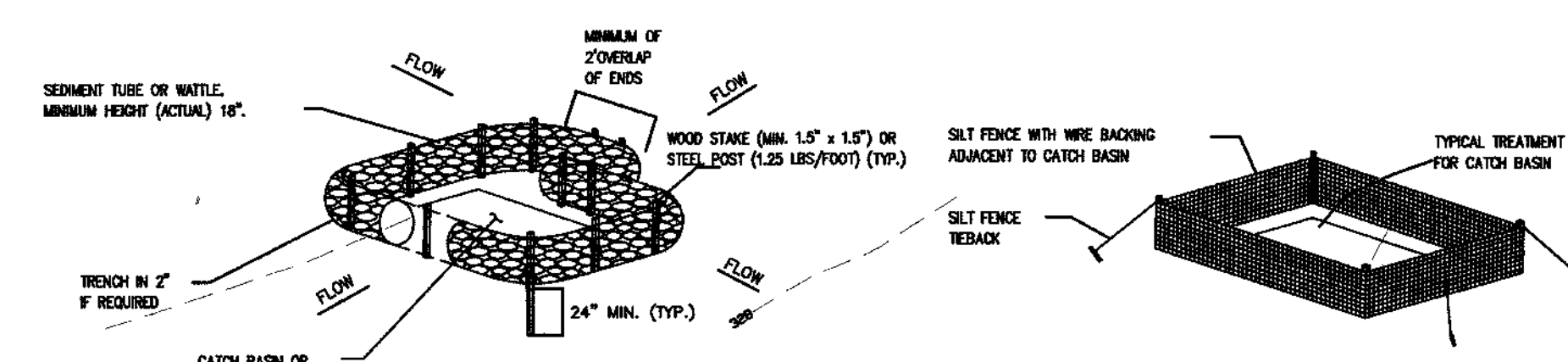
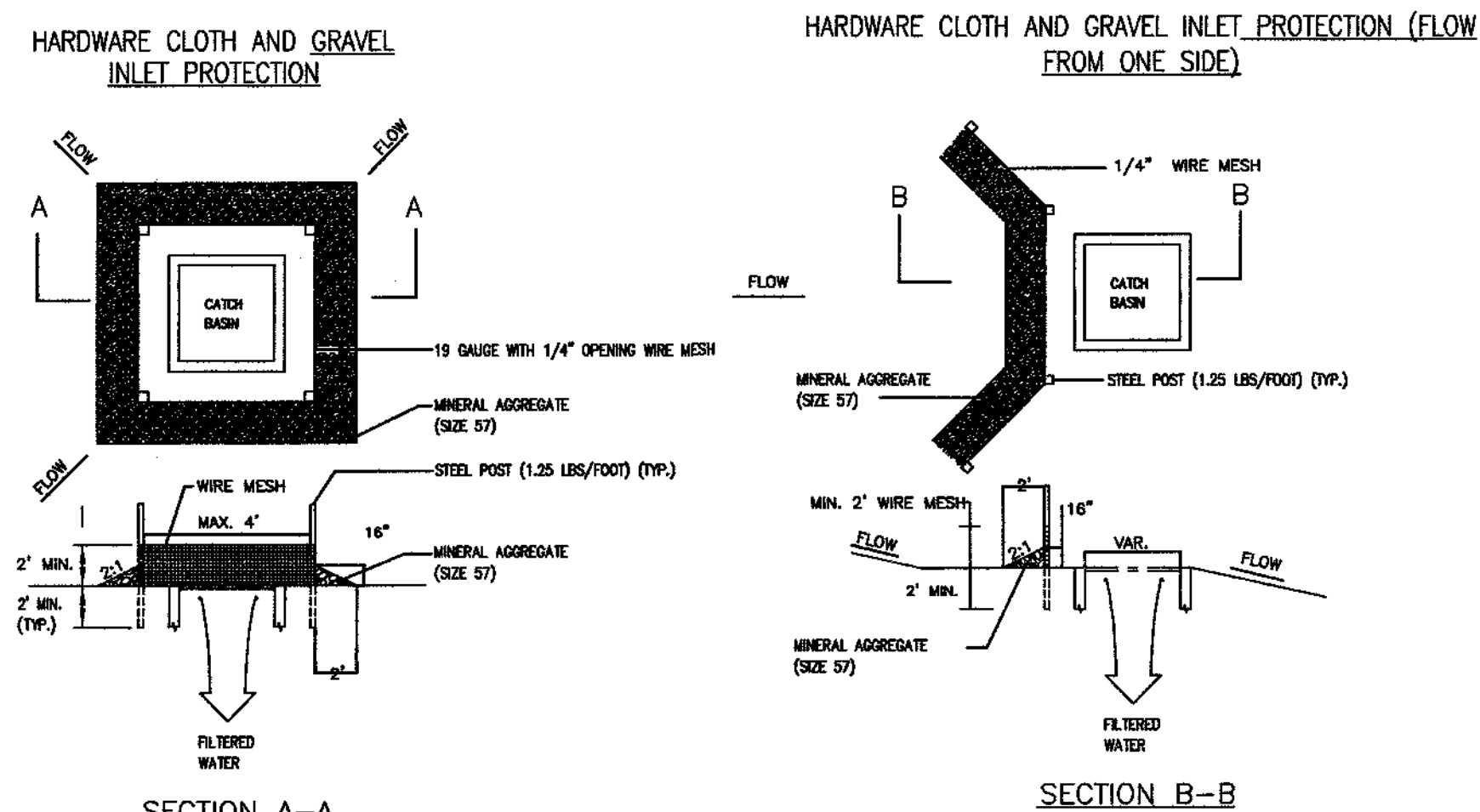


PHASE TWO
JOYCE'S GARDENS SUBDIVISION
 DEVELOPER: LIBERTY PROPERTIES
 ENGINEER: THE BRAY FIRM



SHEET 1 OF 1
 DEPARTMENT OF ENGINEERING
EROSION CONTROL PLAN
PHASE 1
BARTLETT, TENNESSEE

SURVEY: TBF DATE: 2022 BOOK: _____
 DESIGN: TBF DATE: 1-2023 SCALE: 1"=50' HORIZ./ 1"=5' VERTICAL
 REVIEWED



SECTION C-C

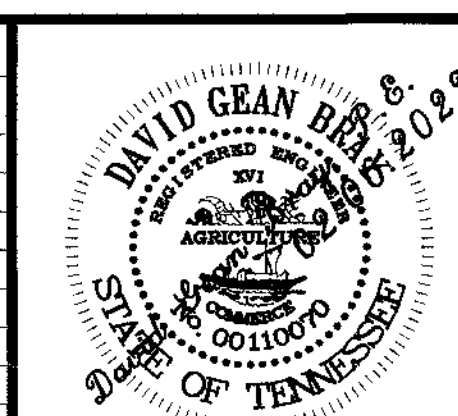
EROSION CONTROL NOTES:

1. EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE AND FUNCTIONAL PRIOR TO COMMENCEMENT OF EARTH MOVING OPERATIONS;
2. ALL EROSION AND SEDIMENT CONTROL MEASURES MUST BE PROPERLY CONSTRUCTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS;
3. CHECK ALL EROSION AND SEDIMENT CONTROL MEASURES PER TDEC TWICE WEEKLY AT LEAST 72 HOURS APART. DAILY CHECKING IS REQUIRED DURING ANY PERIOD OF RAINFALL. MAINTAIN A PERMANENT LOG OF CHECKS AND MAINTENANCE MEASURES.
4. KEEP CONSTRUCTION DEBRIS FROM ENTERING STORM SEWER.
5. PREVENT EROSION AND SEDIMENT FROM ENTERING DITCHES AND/OR PITS.
6. DESIGNATE A SPECIFIC INDIVIDUAL (MUST BE TDEC LEVEL 1 CERTIFIED) TO BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROLS AND TO KEEP THE PERMANENT LOG.
7. EROSION CONTROLS ARE NOT LIMITED TO THE SPECIFIED PRACTICES, HOWEVER, ALTERNATE MEASURES MUST BE AT LEAST AS EFFECTIVE IN CONTROLLING EROSION AND SEDIMENTATION.
8. RE-VEGETATION OF EXPOSED GROUND SHOULD BEGIN AS SOON AS CONSTRUCTION IS COMPLETED.
9. INSTALL STAKED AND ENTRENCHED SILT FENCE ALONG THE BASE OF ALL BACKFILLS AND CUTS, ON THE DOWNHILL SIDE OF STOCKPILED MATERIAL AND ALONG DITCH BANKS IN CULVERTS TO PREVENT EROSION INTO DITCHES. DO NOT PLACE SILT FENCE IN FLOWING DITCH.

NOTE: THIS PROPERTY DOES NOT LIE WITHIN
THE 100 YEAR FLOOD HAZARD PER F.E.M.A.
MAP NUMBER 47157C0190G AND 47157C0190G
DATED FEBRUARY 6, 2013

[illegible]

PHASE TWO
JOYCE'S GARDENS SUBDIVISION
DEVELOPER: LIBERTY PROPERTIES
ENGINEER: THE BRAY FIRM



SHEET 1 OF 1
DEPARTMENT OF ENGINEERING

EROSION CONTROL PLAN
PHASE 2
BARTLETT, TENNESSEE

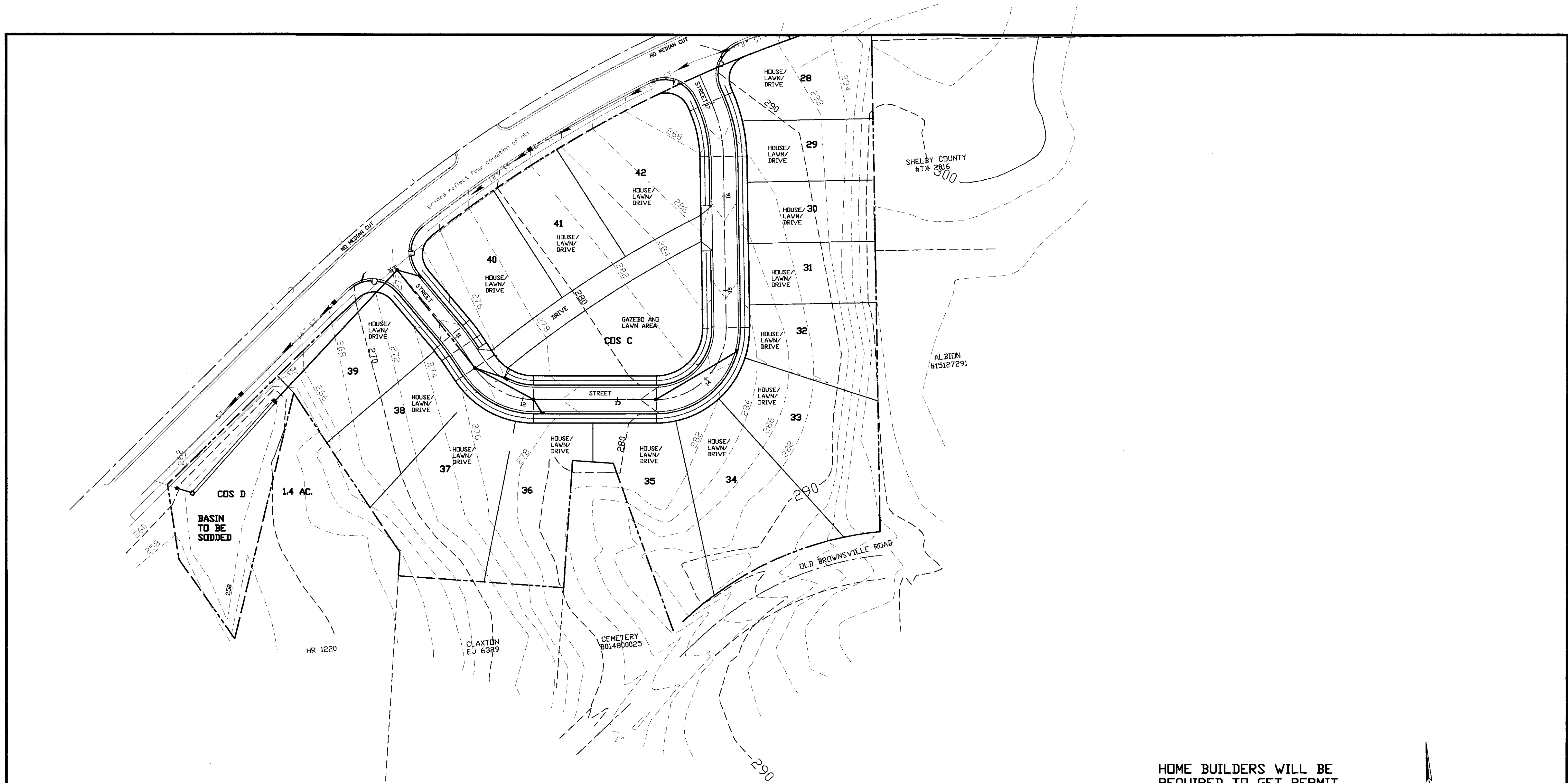
SURVEY: TBF DATE: 2022 BOOK: _____

DESIGN: TBF DATE: 1-2023 SCALE: 1"=50' HORIZ./
1"=5' VERTICAL

REVIEWED

CITY ENGINEER _____ DATE _____

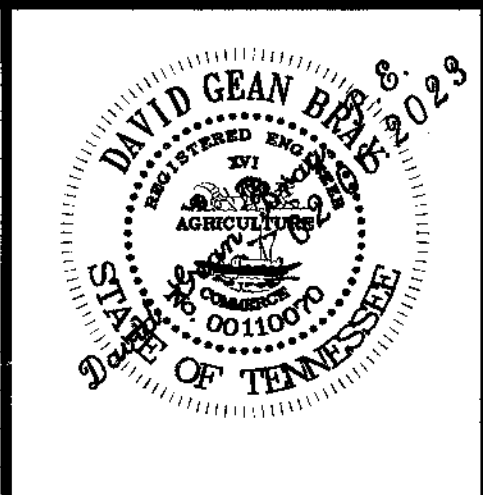
SHEET 6 of 12



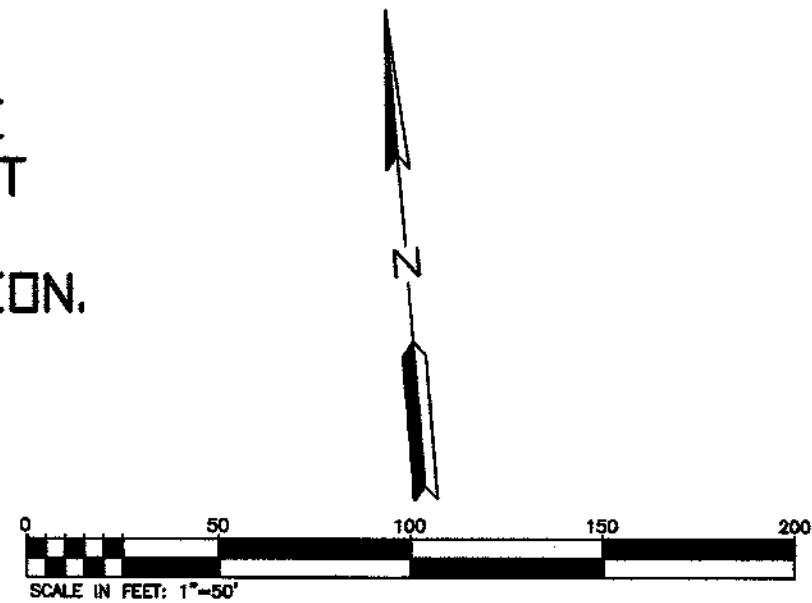
HOME BUILDERS WILL BE
REQUIRED TO GET PERMIT
COVERAGE FOR EACH
HOME UNDER CONSTRUCTION.

NOTE: THIS PROPERTY DOES NOT LIE WITHIN
THE 100 YEAR FLOOD HAZARD PER F.E.M.A.
MAP NUMBER 47157CD190G AND 47157CD190G
DATED FEBRUARY 6, 2013

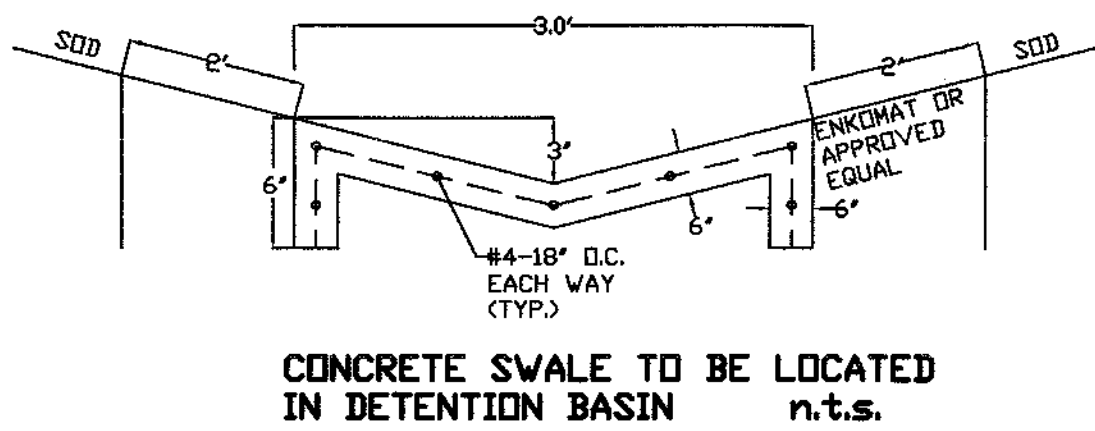
REVISIONS		
ITEM NO.	DESCRIPTION OF CHANGE	DATE APPROVED



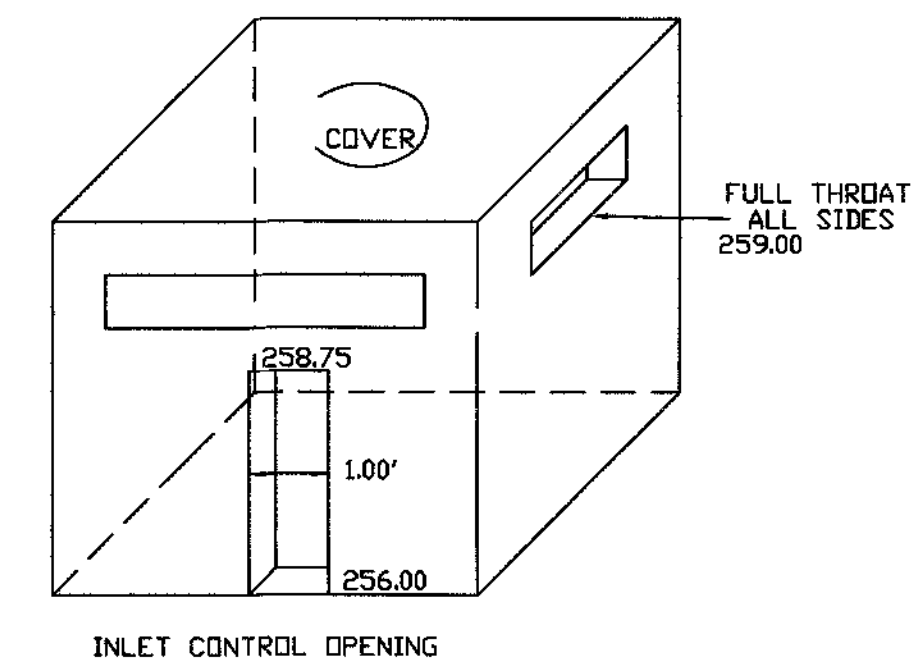
PHASE TWO
JOYCE'S GARDENS SUBDIVISION
DEVELOPER: LIBERTY PROPERTIES
ENGINEER: THE BRAY FIRM



SHEET 1 OF 1
DEPARTMENT OF ENGINEERING
EROSION CONTROL PLAN
PHASE 3
BARTLETT, TENNESSEE
SURVEY: TBF DATE: 2022 BOOK: _____
DESIGN: TBF DATE: 1-2023 SCALE: 1"=50' HORIZ./
REVIEWED 1"=5' VERTICAL
CITY ENGINEER DATE SHEET 7 of 12



DETENTION BASIN SUMMARY - CDS II				
RETENTION AREA: 5.4 AC.				
Cpre=0.35 Tc=10 min Cpost=0.60 Tc=10 min				
	ALLOWABLE	ACTUAL		
RETURN	FLOW	OUTFLOW	STORAGE	W.S.E.
INRS	0.0	0.0	0.0	0.0
5	9.5	5.9	902.7	257.71
6	10.7	7.2	1092.7	257.95
7	12.5	8.0	1257.7	258.09
10	13.3	9.1	1430.2	258.23
15	15.8	11.2	1790.1	258.25

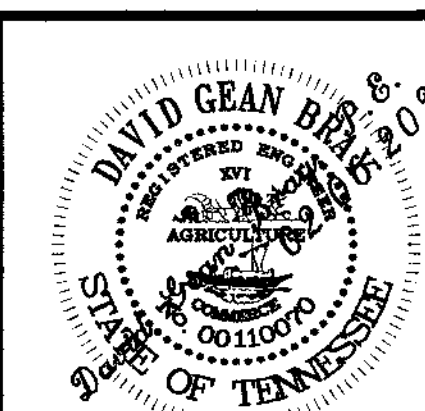


STRUCTURE	AREA	Q25	Qin	ITEM	
#	TYPE	a.c.	cfs	cfs	
1	Convert TDDT Inlet to DMH	N/A	N/A	N/A	Exist. 24' 18" IN TOP 252.0 252.5 260.0
2	3x3 INLET see detail	5.4	9.1*	9.1*	18" THROAT 252.6 259.0
3	Type D HW	N/A	N/A	N/A	18" TOP 257.3 260.0
4	DMH	N/A	N/A	N/A	18" OUT 15" IN 262.6 262.8
5	6-72 INLET	1.0	3.5	3.5	15" 263.7
6	DMH	N/A	N/A	N/A	15' IN/OUT 267.5
7	6-72 INLET	0.6	2.1	2.1	15" 268.7
8	DMH	N/A	N/A	N/A	15' IN/OUT 270.0
9	6-72 INLET	1.1	3.9	3.9	15" 270.6
10	DMH	N/A	N/A	N/A	15' IN/OUT 275.1
11	6-72 INLET	1.3	4.6	4.6	15" 278.6

* Detained flow

PUBLIC STORM DRAINAGE PIPE DATA									
FROM	TO	DIA.	LENGTH	SLOPE	AREA	Q25	Qc	V2	Vc
#	#	in.	ft.	%	sq. ft.	cfs	cfs	f/s	f/s
2	252.66	1	252.50	18'	7	1.00	5.7	9.15	10.5
4	262.62	3	257.30	18'	190	2.80	4.0	13.2	17.5
5	263.75	4	262.87	15'	25	3.50	1.0	3.5	12.0
6	267.59	4	266.87	15'	133	3.50	3.0	10.2	12.0
7	268.76	6	267.53	15'	35	3.50	0.6	2.1	12.0
8	270.02	6	267.53	15'	71	3.50	2.4	8.3	12.0
9	270.62	8	270.02	15'	17	3.50	1.1	3.9	12.0
10	275.14	9	270.62	15'	129	3.50	1.3	4.6	12.0
11	278.64	10	275.14	15'	100	3.50	1.3	4.6	12.0

NOTE: THIS PROPERTY DOES NOT LIE WITHIN
THE 100 YEAR FLOOD HAZARD PER F.E.M.A.
MAP NUMBER 47157CD190G AND 47157CD190G
DATED FEBRUARY 6, 2013

[illegible]

PHASE TWO
JOYCE'S GARDENS SUBDIVISION
DEVELOPER: LIBERTY PROPERTIES
ENGINEER: THE BRAY FIRM

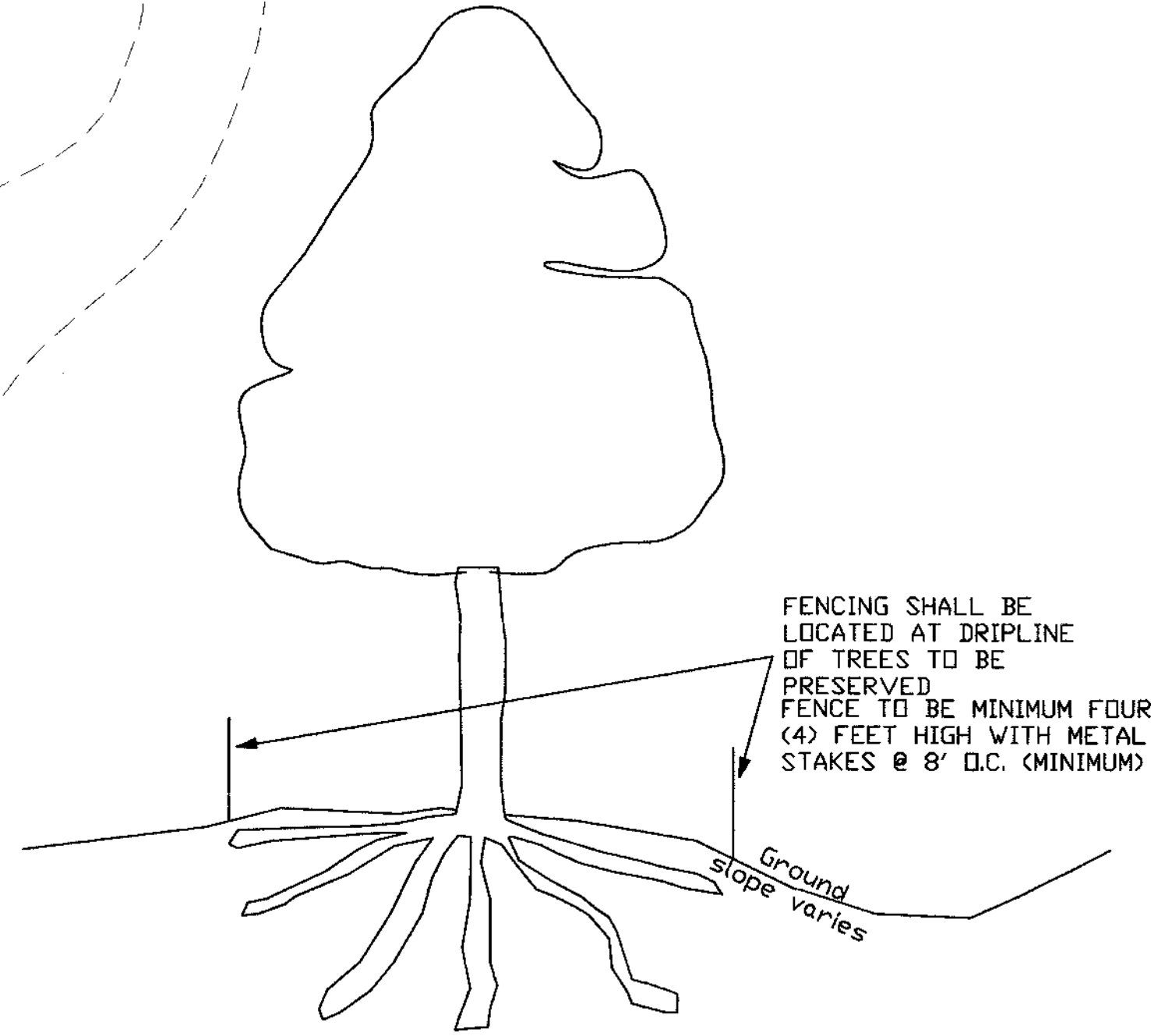
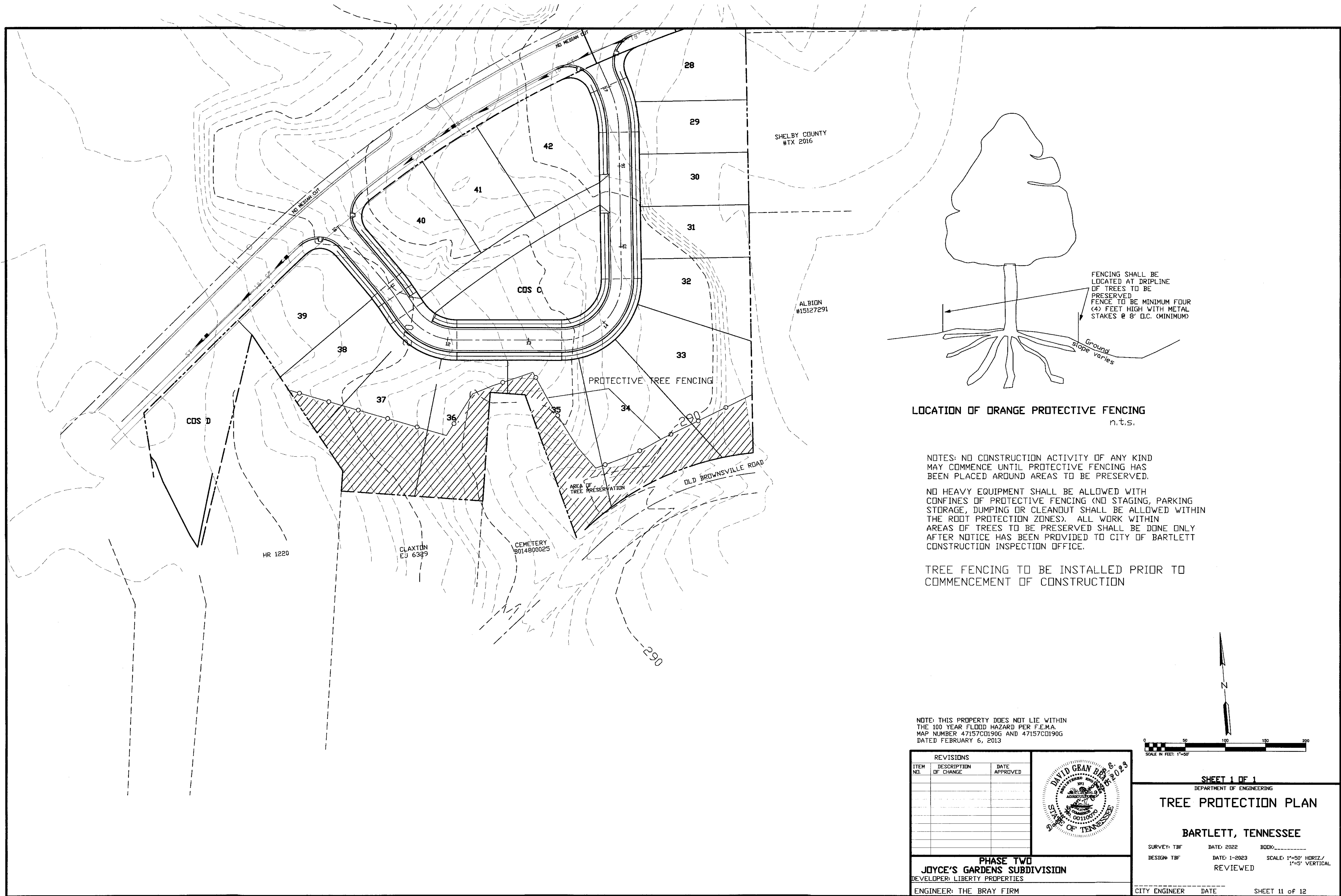
0 50 100 150 200

SCALE IN FEET: 1"=50'

SHEET 1 OF 1
DEPARTMENT OF ENGINEERING
GRADING AND DRAINAGE
PLAN
BARTLETT, TENNESSEE

SURVEY: TBF DATE: 2022 BOOK: _____
DESIGN: TBF DATE: 1-2023 SCALE: 1"=50' HORIZ./
 REVIEWED 1"=5' VERTICAL

CITY ENGINEER DATE SHEET 9 of 12



LOCATION OF ORANGE PROTECTIVE FENCING
n.t.s.

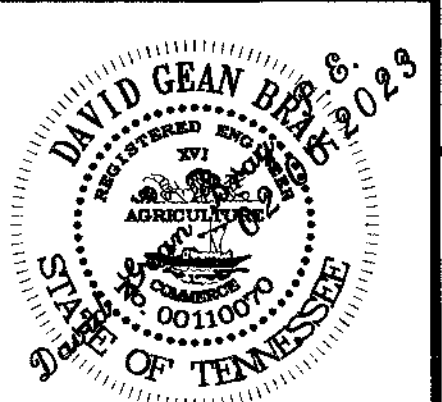
NOTES: NO CONSTRUCTION ACTIVITY OF ANY KIND MAY COMMENCE UNTIL PROTECTIVE FENCING HAS BEEN PLACED AROUND AREAS TO BE PRESERVED.

NO HEAVY EQUIPMENT SHALL BE ALLOWED WITHIN CONFINES OF PROTECTIVE FENCING (NO STAGING, PARKING, STORAGE, DUMPING OR CLEANOUT SHALL BE ALLOWED WITHIN THE ROOT PROTECTION ZONES). ALL WORK WITHIN AREAS OF TREES TO BE PRESERVED SHALL BE DONE ONLY AFTER NOTICE HAS BEEN PROVIDED TO CITY OF BARTLETT CONSTRUCTION INSPECTION OFFICE.

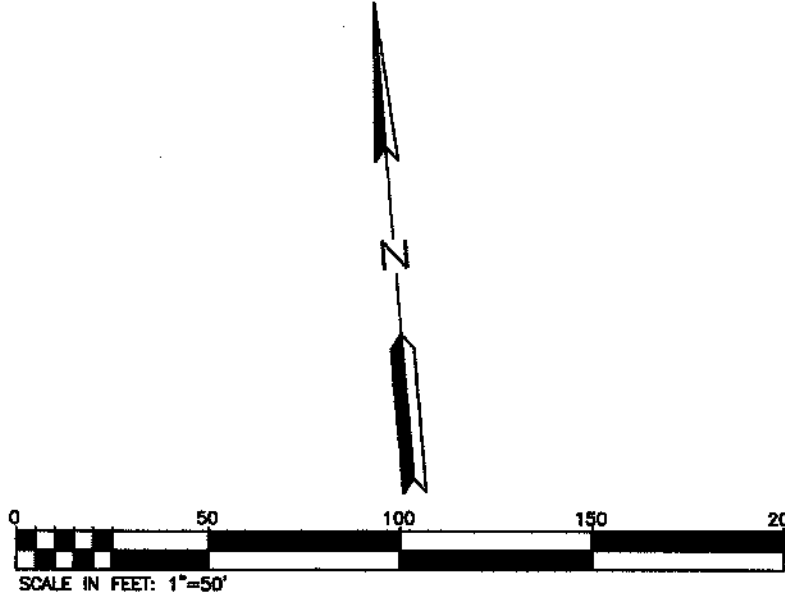
TREE FENCING TO BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION

NOTE: THIS PROPERTY DOES NOT LIE WITHIN THE 100 YEAR FLOOD HAZARD PER F.E.M.A. MAP NUMBER 47157C0190G AND 47157C0190G DATED FEBRUARY 6, 2013

REVISIONS		
ITEM NO.	DESCRIPTION OF CHANGE	DATE APPROVED



PHASE TWO
JOYCE'S GARDENS SUBDIVISION
DEVELOPER: LIBERTY PROPERTIES
ENGINEER: THE BRAY FIRM



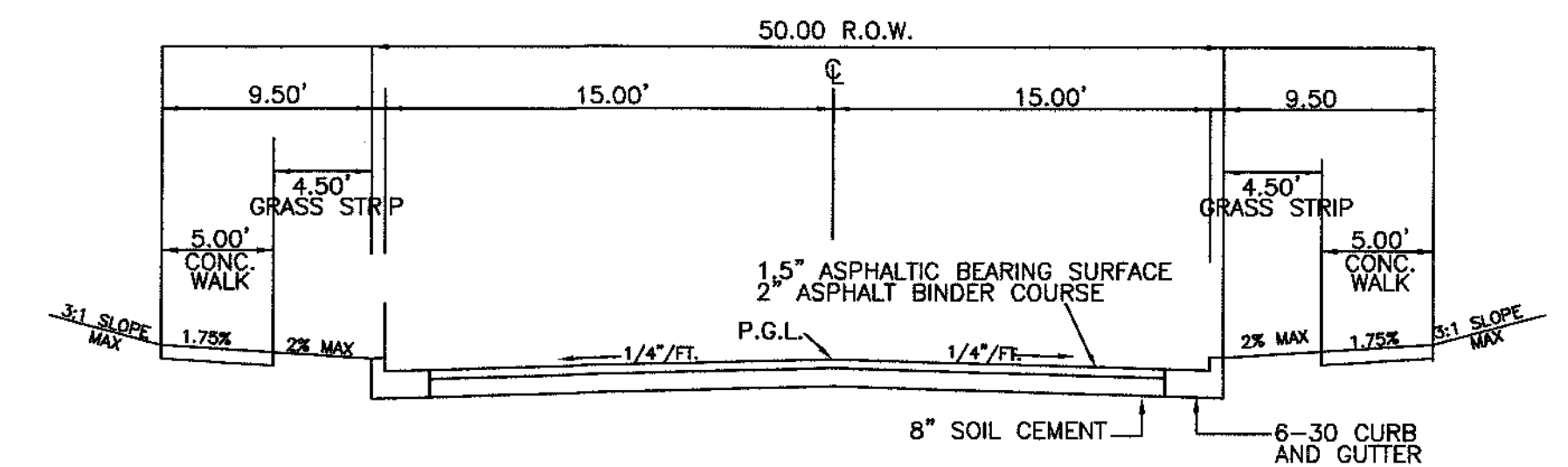
SHEET 1 OF 1
DEPARTMENT OF ENGINEERING

TREE PROTECTION PLAN

BARTLETT, TENNESSEE

SURVEY: TBF DATE: 2022 BOOK: _____
DESIGN: TBF DATE: 1-2023 SCALE: 1"=50' HORIZ./ 1"=5' VERTICAL
REVIEWED

CITY ENGINEER DATE SHEET 11 of 12



PUBLIC DRAINAGE STRUCTURE INFORMATION

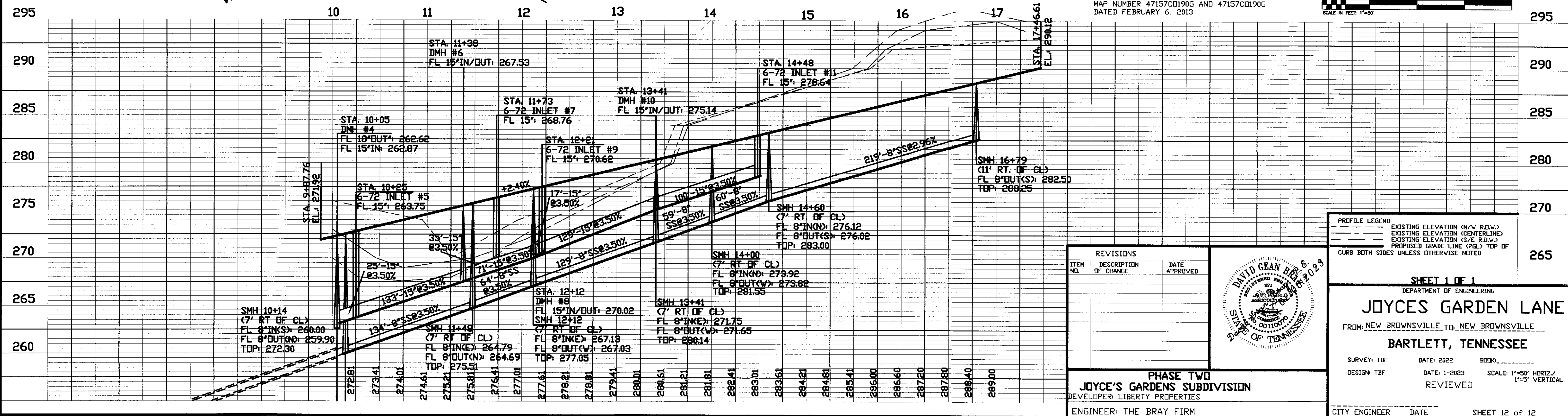
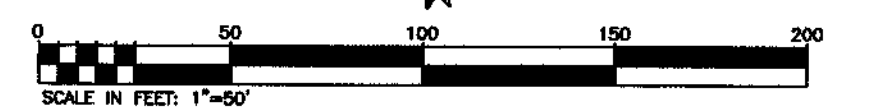
STRUCTURE #	TYPE	AREA a.c.	Q25 cfs	Qin cfs	ITEM	
1	Convert TDOT Inlet to DMH	N/A	N/A	N/A	Exist. 24" 18" IN TOP	252.00 252.50 260.00
2	3x3 INLET see detail	5.4	9.1*	9.1*	18" THROAT	252.66 259.00
3	Type D HW	N/A	N/A	N/A	18" TOP	257.30 260.00
4	DMH	N/A	N/A	N/A	18" OUT 15" IN	262.62 262.87
5	6-72 INLET	1.0	3.5	3.5	15"	263.75
6	DMH	N/A	N/A	N/A	15" IN/OUT	267.53
7	6-72 INLET	0.6	2.1	2.1	15"	268.76
8	DMH	N/A	N/A	N/A	15" IN/OUT	270.02
9	6-72 INLET	1.1	3.9	3.9	15"	270.62
10	DMH	N/A	N/A	N/A	15" IN/OUT	275.14
11	6-72 INLET	1.3	4.6	4.6	15"	278.64

* Detained flow

PUBLIC STORM DRAINAGE PIPE DATA

FROM #	TO #	DIA.	LENGTH	SLOPE	AREA	Q25	Qc	V25
		in.	ft.	%	a.c.	cfs	cfs	f/s
2	252.66	1	252.50	16	5.4	9.1*	10.5	5.9
4	262.62	3	257.30	18	4.0	13.2	17.5	9.9
5	263.75	4	262.87	15	25	3.50	1.0	3.5
6	267.53	4	262.87	15	133	3.50	3.0	10.2
7	268.76	6	267.53	15	35	3.50	0.6	2.1
8	270.02	6	267.53	15	71	3.50	2.4	8.3
9	270.62	8	270.02	15	17	3.50	1.1	3.9
10	275.14	9	270.62	15	129	3.50	1.3	4.6
11	278.64	10	275.14	15	100	3.50	1.3	4.6

NOTE: THIS PROPERTY DOES NOT LIE WITHIN THE 100 YEAR FLOOD HAZARD PER F.E.M.A. MAP NUMBER 47157CD190G AND 47157CD190G DATED FEBRUARY 6, 2013



REVISIONS

ITEM NO.	DESCRIPTION OF CHANGE	DATE	APPROVED



PROFILE LEGEND
 --- EXISTING ELEVATION (N/V R.O.W.)
 --- EXISTING ELEVATION (CENTERLINE)
 --- EXISTING ELEVATION (S/E R.O.W.)
 --- PROPOSED GRADE LINE (P.O.) TOP OF CURB BOTH SIDES UNLESS OTHERWISE NOTED

SHEET 1 OF 1
 DEPARTMENT OF ENGINEERING
JOYCE'S GARDEN LANE
 FROM NEW BROWNSVILLE TO NEW BROWNSVILLE
BARTLETT, TENNESSEE

SURVEY: TBF DATE: 2022 BOOK: _____
 DESIGN: TBF DATE: 1-2023 SCALE: 1"=50' HORIZ./1"=5' VERTICAL
 REVIEWED: _____
 CITY ENGINEER DATE: _____ SHEET 12 OF 12

PHASE TWO
JOYCE'S GARDENS SUBDIVISION
 DEVELOPER: LIBERTY PROPERTIES
 ENGINEER: THE BRAY FIRM



City of Bartlett, Tennessee Municipal Planning Commission Staff Report

Subdivision: Final Plan

Joyce's Gardens Phase 2

DATE: March 6, 2023

STAFF: Kim Taylor, Planning Director; Sam Harris, Senior Planner; Leslie Brock, Planner; John Horne, Engineering Director; Erin Campbell, Assistant Engineering Director; Becky Bailey, Engineer; Dalan Hubbard, Engineer

SUBJECT: Final Plan Application Review

APPLICANT: David Bray, The Bray Firm

DEVELOPER: Gary Blume, Liberty Properties

SITE LOCATION: South Side of New Brownsville Road between Ellendale and Rockyford

SITE ACREAGE: 6.36 acres

ZONING: "RS-15" Single Family Residential

LOTS: 15

INTRODUCTION:

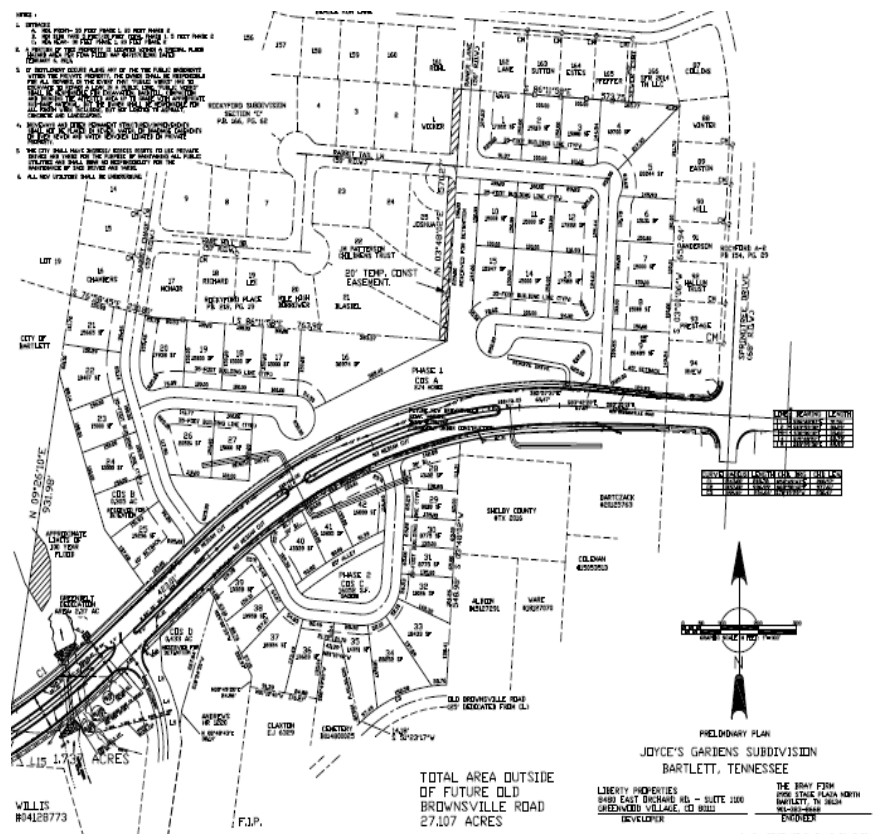
Mr. David Bray with The Bray Firm is requesting Planning Commission approval of a Final Plan for Joyce's Gardens Planned Development Phase 2. The subject property is located on the south side of New Brownsville Road between Ellendale Road and Rockyford Road, and it is within the "RS-15" Single Family Residential Zoning District.

BACKGROUND:

On August 1, 2022, the Planning Commission approved a favorable recommendation for the Joyce's Gardens Planned Development that was forwarded to the Board of Mayor and Aldermen. On September 27, 2022, the Board of Mayor and Aldermen approved the Joyce's Gardens Planned Development. Joyce's Gardens Planned Development was approved as the subdivision of 27.107 acres of land into a 42 lot planned residential subdivision with 4 common open space lots. The lot sizes will range from 8,775-square feet to 36,974-square feet. The proposed development will occur in two phases.

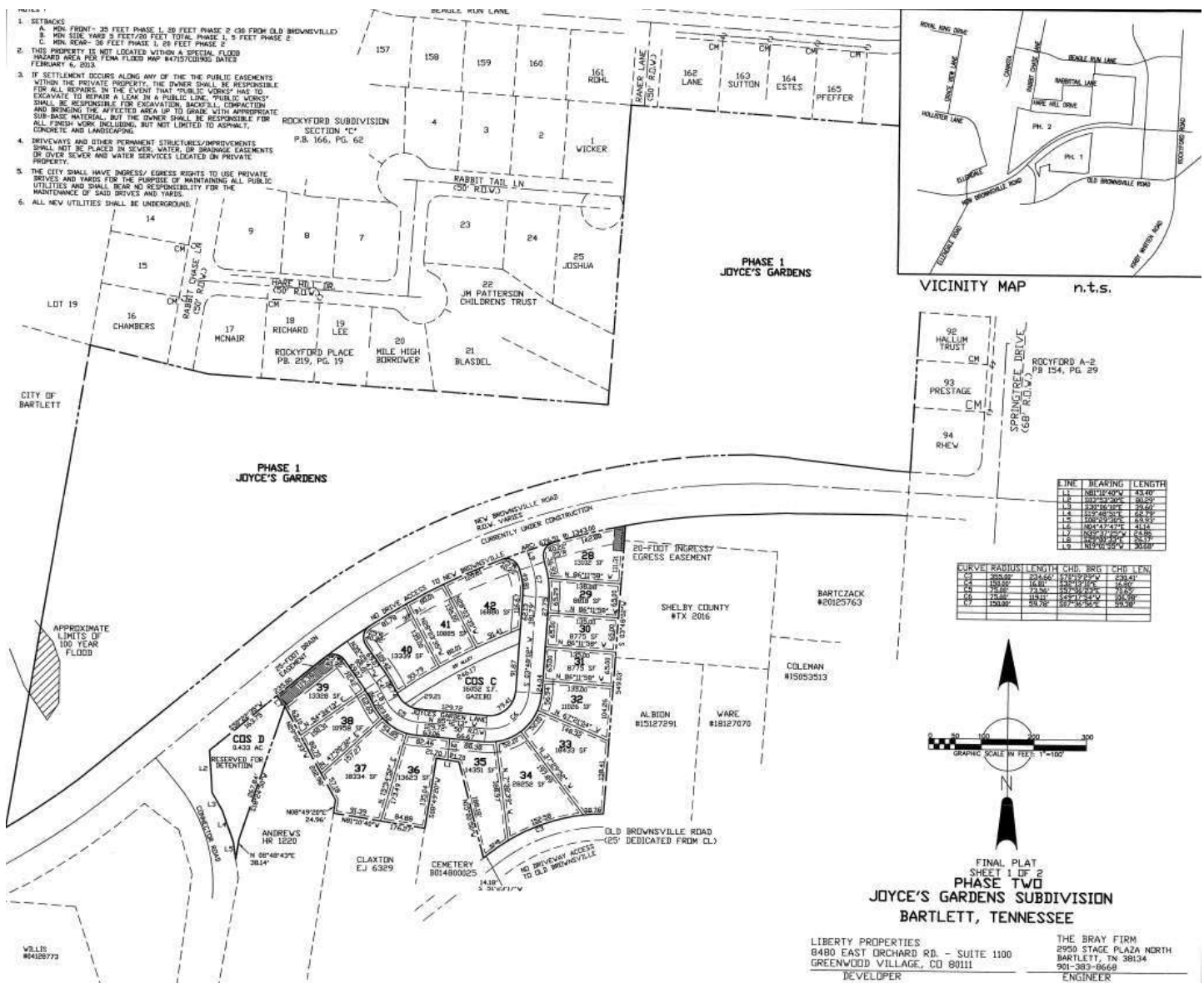
Phase 1 will consist of Lots 1-27 and Common Open Space Lots A and B, and it will be located north of the future extension of New Brownsville Road and south of the adjacent Rockyford Place and Rockyford residential subdivisions. Therefore, Phase 1 will blend in with the adjacent residential neighborhood by meeting the underlying "RS-15" zoning restrictions for lot sizes and building setbacks. Stormwater detention will be handled by detention basins on Common Open Space Lots A and B.

Phase 2 will consist of Lots 28-42 and Common Open Space Lots C and D, and it will be located south of the future extension of New Brownsville Road and north of the existing Old Brownsville Road on property that is encumbered by an existing cemetery located between Lots 35 and 36. Therefore, Phase 2 will utilize reduced lot sizes and building setbacks. Although, only 5 lots of the proposed 15 lots within Phase 2 will have lot sizes less than the adjacent "RS-15" and "RS-12" single family residential zoning. Stormwater detention will be handled by a detention basin on Common Open Space Lot D.



DISCUSSION:

The specific request by the applicant is for the approval of a Final Plan for Joyce's Gardens Planned Development Phase 2. The applicant is proposing to subdivide the existing 6.36 acre subject property into 15 lots identified as Lots 28-42 and Common Open Space Lots C and D. Phase 2 will be located south of the future extension of New Brownsville Road and north of the existing Old Brownsville Road on property that is encumbered by an existing cemetery located between Lots 35 and 36. The lot sizes will range in size from 8,775 to 28,252 square feet. Access to the subdivision will be from two entrances on Joyce's Garden Lane from New Brownsville Road.



Recommendation: Approval with conditions.

Engineering Conditions:

General:

1. A full subdivision contract will be required.
2. All new utilities shall be underground.
3. Handicap ramps are required at street corners.
4. Lots 28, 39, 40, 41, and 42 will be restricted from access to New Brownsville Road.
5. Lots 35, 34, and 33 will be restricted from access to Old Brownsville Road.
6. All mark-ups and corrections shall be addressed on the revised plans.
7. Construction access will not be permitted on New Brownsville until the roadway is finished and released to the City of Bartlett. It is scheduled to be completed by Fall 2023.

Plat:

8. All COS shall be maintained by the Homeowners Association. This includes the detention basin and outlet structure.
9. Sidewalk table shall be added. Sidewalk on New Brownsville Road are 8 feet wide.
10. Sewer easement for alley needs to be shown.
11. Drainage easement needs to be extended to include the pipe and structure 3 into the detention basin as well as structure 1 and the pipe out of the detention basin.
12. The cemetery boundary shall be confirmed.
13. Show location of subdivision concrete monuments to be installed as required by the subdivision ordinance.

Planning Conditions:

1. The applicant shall rename the subdivision to Joyce's Gardens Planned Development since this development is being approved as a planned development in lieu of a standard subdivision.
2. The applicant will need to add a note to the plat to deny driveway access to New Brownsville Road for Lots 28, 39, 40, 41, and 42.
3. The applicant must attach the home owners association bylaws instrument number and the covenants and restrictions instrument number to the final plat.

4. The applicant shall identify the 25' wide rear alley as private and obtain a hold harmless agreement with the Public Works Department to enable ingress/egress of Solid Waste vehicles for trash pickup along the privately maintained alley.
5. The applicant shall add a condition to the plat as well as within the restrictive covenants to prohibit parking on the private alley.
6. The applicant shall add a condition to the plat as well as within the restrictive covenants to prohibit RV, boat, trailer, and the like storage within Joyce's Gardens Planned Development.
7. The applicant shall provide within the restrictive covenants rules and restrictions concerning the style and placement of fences within Joyce's Gardens Planned Development.
8. The applicant shall submit a site plan application to the Design Review Commission for the common open space areas and the amenities to be installed in the common open space areas within Joyce's Gardens Planned Development Phase 2.
9. The applicant shall submit construction and final plans for Joyce's Gardens Planned Development Phase 1 to the Planning Commission. The applicant shall also submit a site plan application to the Design Review Commission for the common open space areas and the amenities to be installed in the common open space areas for Joyce's Gardens Planned Development Phase 1.
10. The owner/applicant shall be present at the meeting in order to make decisions relative to any changes that may be suggested by the Planning Commission.

PLANNING CONDITIONS:

Bartlett Planning and
Economic Development Department
6382 Stage Road, P.O. Box 341148
Bartlett, TN 38184-1148
901-385-6417 FAX 901-385-6419
www.cityofbartlett.org

Bartlett Planning Commission
Application for Final Subdivision Plan/Plat
Approval

Subdivision Name TOYONS GARDENS S/D, PHASE 2 No. of Lots 15
Subdivision Location SOUTH SIDE NEW BRIDGESVILLE BETWEEN BLENDALE / ROCKY FORD
Owner/Developer Contact GARY BLUME Phone _____
Company Name LIBERTY PROPERTIES Fax _____
Address 8480 EAST MICHAEL #1100, GREENWOOD VILLAGE, CO 80111
Email Address _____
Architect Contact _____ Phone _____
Company Name _____ Fax _____
Address _____
Email Address _____
Engineer Contact DAVID BLAY Phone 901.383.8668
Company Name THE BLAY FIRM Fax _____
Address 2950 STAGE PLAZA NORTH, BARTLETT, TN 38134
Email Address dbl@comcast.net

Submitted by DAVID G. BLAY [Signature] 02.06.2023
(printed name) (signature) (date)
Email Address dbl@comcast.net Phone 901.383.8668 Fax _____

- dbl Acknowledge (by initials in the blank to the left) that the "Application Instructions: Planning Commission" were obtained and read prior to submitting this application.
- dbl The "Final Subdivision Plan Checklist" has been completed and required all items have been provided. (See reverse page/or attached checklist)
- dbl Provide 18-folded ($\pm 10" \times 13"$) sets of plans with a copy of the signed application attached to each set.
- dbl Provide an electronic PDF file of the plans. Note that an updated electronic file is required when plans are revised.
- dbl Include a fee of \$300.00 plus \$20.00 per lot with this application (check payable to the City of Bartlett). The fee is not refundable.

I, the property owner(s) hereby authorize the filing of this application.

GARY BLUME [Signature] 2/6/2023
(print name) (signature)

RECEIVED

Final Subdivision Plan/Plat Checklist

The applicant shall either indicate that the following items have been completed by a check (✓) or that they are not applicable (n/a).

- ☒ Drawn in ink on 20" x 24" mylar, at a scale of 1" = 100'.
- ☒ Bearing and length of every street line, lot line, boundary line, block line and building line whether curved or straight.
- ☒ Subdivision name and location
- ☒ Location sketch map
- ☒ Date
- ☒ "Grid" or "true" north point
- ☒ Name of adjoining landowners, developments
- ☒ Written boundary survey
- ☒ Location and description of a clearly identified and verifiable point of beginning for the survey
- ☒ Buildings setback lines
- ☒ Reservations for all easements
- ☒ Areas dedicated for public use
- ☒ Areas of non-residential use
- ☒ Areas of flood hazard
- ☒ Lots numbered in numerical order

- ☒ Landscaped buffer strips
- ☒ Street names
- ☒ Restrictive covenants

The following, with dimensions to nearest one hundredth (1/100th) of a foot and angles or true or grid bearings to the nearest twenty seconds of arc (20"):

- ☒ Lot lines
- ☒ Street & road lines
- ☒ Alley lines

The following completed certificates where applicable:

- ☒ Owner
- ☒ Surveyor or Engineer
- ☒ Storm drainage
- ☒ Board of Mayor and Aldermen
- ☒ Planning Commission
- ☒ Mortgagee

In addition to the Final Plan drawing, the following shall be provided:

- ☒ One PDF file of the pictorial portion of the Final Plan, for display at the Planning Commission meeting.

INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED

CERTIFICATE OF ADEQUACY OF STORM DRAINAGE

I, DAVID GEAN BRAY, HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL CIVIL ENGINEER, AND THAT I HAVE DESIGNED ALL STORM WATER DRAINAGE FOR PH. 2, JOYCES GARDENS SUBDIVISION TO ASSURE THAT NEITHER SAID SUBDIVISION NOR ADJOINING PROPERTY WILL BE DAMAGED OR THE CHARACTER OF LAND USE BE AFFECTED BY THE VELOCITY AND VOLUME OF WATER ENTERING OR LEAVING SAME.

IN WITNESS WHEREOF, I, THE SAID PROFESSIONAL CIVIL ENGINEER HERETO SET OUT HAND AND AFFIX MY SEAL THIS _____ DAY OF _____, 2023

PROFESSIONAL CIVIL ENGINEER _____
STATE OF TENNESSEE CERTIFICATE NO. 110070

CERTIFICATE OF SURVEY:

I, _____, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HAVE SURVEYED THE LANDS EMBRACED WITHIN THE PLAT DESIGNATED AS PH. 2, JOYCES GARDENS SUBDIVISION A SUBDIVISION ALL LYING WITHIN THE CORPORATE LIMITS OF THE CITY OF BARTLETT, TENNESSEE, THAT SAID PLAT IS A TRUE AND CORRECT PLAT OF THE LANDS EMBRACED THEREIN, SHOWING THE SUBDIVISION THEREOF IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF BARTLETT, TENNESSEE. I FURTHER CERTIFY THAT THE SURVEY OF THE LANDS EMBRACED WITHIN SAID PLAT HAS BEEN CORRECTLY MONUMENTED IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF BARTLETT, TENNESSEE.

IN WITNESS WHEREOF, I, THE SAID, _____, SURVEYOR, HEREUNTO SET OUT HAND AND AFFIX MY SEAL THIS _____ DAY OF _____ 2023

LAND SURVEYOR
STATE OF TENNESSEE CERTIFICATE NO.

BOARD OF MAYOR AND ALDERMAN CERTIFICATE:

I, _____, HEREBY CERTIFY THAT ALL REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED OR THAT A PERFORMANCE BOND OR OTHER COLLATERAL IN SUFFICIENT AMOUNT TO ASSURE COMPLETION OF ALL REQUIRED IMPROVEMENTS HAS BEEN POSTED FOR THE SUBDIVISION SHOWN ON THIS PLAT AND ARE HEREBY APPROVED BY THE CITY OF BARTLETT, TENNESSEE.

DATE _____ MAYOR
CITY OF BARTLETT

PLANNING COMMISSION CERTIFICATE

I, _____, DO HEREBY CERTIFY THAT THE CITY OF BARTLETT PLANNING COMMISSION HAS APPROVED THIS PLAT OF SUBDIVISION FOR RECORDING.

DATE _____ SECRETARY
BARTLETT PLANNING COMMISSION

OWNER'S CERTIFICATE:

WE, LIBERTY PROPERTIES, OWNERS OF THE PROPERTY SHOWN HEREON, HEREBY ADOPT THIS PLAT AS OUR PLAN OF SUBDIVISION, AND DEDICATE THE STREETS, RIGHTS-OF-WAYS, EASEMENTS, AND RIGHTS OF ACCESS AS SHOWN AND /OR DESCRIBED TO THE PUBLIC USE FOREVER, AND HEREBY CERTIFY THAT WE ARE THE OWNERS IN FEE SIMPLE, DULY AUTHORIZED TO ACT AND THAT SAID PROPERTY IS UNENCUMBERED BY ANY TAXES WHICH HAVE BECOME DUE AND PAYABLE.

LIBERTY PROPERTIES _____ DATE _____

STATE OF TENNESSEE
COUNTY OF SHELBY

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC, IN AND FOR SAID STATE AND COUNTY AT MEMPHIS, DULY COMMISSIONED AND QUALIFIED, PERSONALLY APPEARED _____ WITH WHOM I AM PERSONALLY ACQUAINTED AND WHO UPON OATH ACKNOWLEDGED THAT HE EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED AS HIS OWN FREE ACT AND DEED.

WITNESS MY HAND AND NOTARIAL SEAL, THIS _____ DAY OF _____, 2023.

MY COMMISSION EXPIRES _____

_____, NOTARY PUBLIC

MORTGAGEE'S CERTIFICATE

WE, THE UNDERSIGNED, _____, MORTGAGEE OF THE PROPERTY SHOWN HEREON, HEREBY ADOPT THIS PLAT AS OUR PLAN OF SUBDIVISION AND DEDICATE THE STREETS, RIGHTS-OF-WAY, EASEMENTS, AND RIGHTS OF ACCESS AS SHOWN TO THE PUBLIC USE FOREVER, AND HEREBY CERTIFY THAT WE ARE THE MORTGAGEE DULY AUTHORIZED SO TO ACT AND THAT SAID PROPERTY IS UNENCUMBERED BY ANY TAXES WHICH HAVE BECOME DUE AND PAYABLE.

NAME _____ TITLE _____ INSTITUTION _____ DATE _____

STATE OF TENNESSEE
COUNTY OF SHELBY

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC, IN AND FOR SAID STATE AND COUNTY AT MEMPHIS, DULY COMMISSIONED AND QUALIFIED, PERSONALLY APPEARED _____ WITH WHOM I AM PERSONALLY ACQUAINTED AND WHO UPON OATH ACKNOWLEDGED HIMSELF TO BE _____ OF _____ AND HE AS SUCH _____ EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSE THERIN CONTAINED BY SIGNING HIS NAME AS REPRESENTATIVE OF THE MORTGAGEE.

WITNESS MY HAND AND NOTARIAL SEAL, THIS _____ DAY OF _____, 2023.

MY COMMISSION EXPIRES _____

_____, NOTARY PUBLIC

RESTRICTIVE COVENANTS AND SIMILAR DOCUMENTS ARE PRIVATE IN SCOPE AND NOT SUBJECT TO GOVERNMENTAL APPROVAL AND ENFORCEMENT. PROTECTIVE COVENANTS FOR THIS SUBDIVISION HAVE BEEN FILED PRIOR TO THE RECORDING OF THIS PLAT IN THE SHELBY COUNTY REGISTERS OFFICE AND CAN BE FOUND IN INSTRUMENT NUMBER _____

FINAL PLAT
SHEET 2 OF 2
PHASE TWO
JOYCE'S GARDENS SUBDIVISION
BARTLETT, TENNESSEE

LIBERTY PROPERTIES
8480 EAST ORCHARD RD. - SUITE 1100
GREENWOOD VILLAGE, CO 80111
DEVELOPER

THE BRAY FIRM
2950 STAGE PLAZA NORTH
BARTLETT, TN 38134
901-383-8668
ENGINEER