



City of Bartlett
David Parsons, Mayor

Municipal Planning Commission

AGENDA

Monday, April 3, 2023 — 7:00

Bartlett City Hall Assembly Chamber

Opening Prayer

****Official Business of the Day****

Minutes of the Monday, March 6, 2023 Meeting

NEW BUSINESS

Master Plan

1. Shamali Subdivision, 7771 Highway 70 (David Bray, The Bray Firm)

The property is not currently a legal lot of record and must undergo the subdivision process to gain legal lot status and to be eligible for a building permit. The plan includes a preliminary plat and lot layout with dimensions.

2. Re-subdivision of Part of Lot 8 of Ferguson Subdivision, 2821-2835 Bartlett Road (David Bray, The Bray Firm)

The property is not currently a legal lot of record and must undergo the subdivision process to gain legal lot status and to be eligible for a building permit. The plan includes a preliminary plat and lot layout with dimensions.

Construction Plan

3. Joyce's Gardens Phase 1B, North Side of New Brownsville Road and West of Springtree Drive (David Bray, The Bray Firm)

Joyce's Gardens is a proposed single-family residential subdivision that is a Planned Development that was approved by the Board of Mayor and

Aldermen in 2022. It is located north and south of the New Brownsville Road extension adjacent to the Rockyford subdivision. The plan includes a construction traffic access plan, grading plan, comprehensive drainage plan, detailed plan of sewer layouts, and the appropriate engineering certificates.

Final Plan

4. Joyce's Gardens Phase 1B, North Side of New Brownsville Road and West of Springtree Drive (David Bray, The Bray Firm)

Joyce's Gardens is a proposed single-family residential subdivision that is a Planned Development that was approved by the Board of Mayor and Aldermen in 2022. It is located north and south of the New Brownsville Road extension adjacent to the Rockyford subdivision. The Final Plan/Plat includes building setback lines, a written boundary survey, reservations for all easements, and street names. This is the document that will be recorded with the Shelby County Register of Deeds if approved by the Planning commission.

Discussion

Adjourn



City of Bartlett, Tennessee Municipal Planning Commission Staff Report

Subdivision: Master Plan

Shamali Subdivision

DATE: April 3, 2023

STAFF: Kim Taylor, Planning Director; Sam Harris, Senior Planner; Leslie Brock, Planner; John Horne, Engineering Director; Erin Campbell, Assistant Engineering Director; Becky Bailey, Engineer; Dalan Hubbard, Engineer

SUBJECT: Master Plan Application Review

APPLICANT: David Bray, the Bray Firm

DEVELOPER: Marwan & Haneen Shamali

SITE LOCATION: 7771 Highway 70

SITE ACREAGE: 1.05 acres

ZONING: "C-H" Highway Business

LOTS: 2

INTRODUCTION:

Mr. David Bray with The Bray Firm is requesting Planning Commission approval of a Master Plan for the Shamali Subdivision. The subject property is located at 7771 Highway 70. The subject property is located within the "C-H" Highway Business Zoning District.

BACKGROUND:

The subject property is not a legal lot of record (created after March 6, 1956) and is less than 4-acres (not exempt from subdivision regulations). In order to make the lot eligible for a building permit, it must be within a Planning Commission approved and legally recorded subdivision.

DISCUSSION:

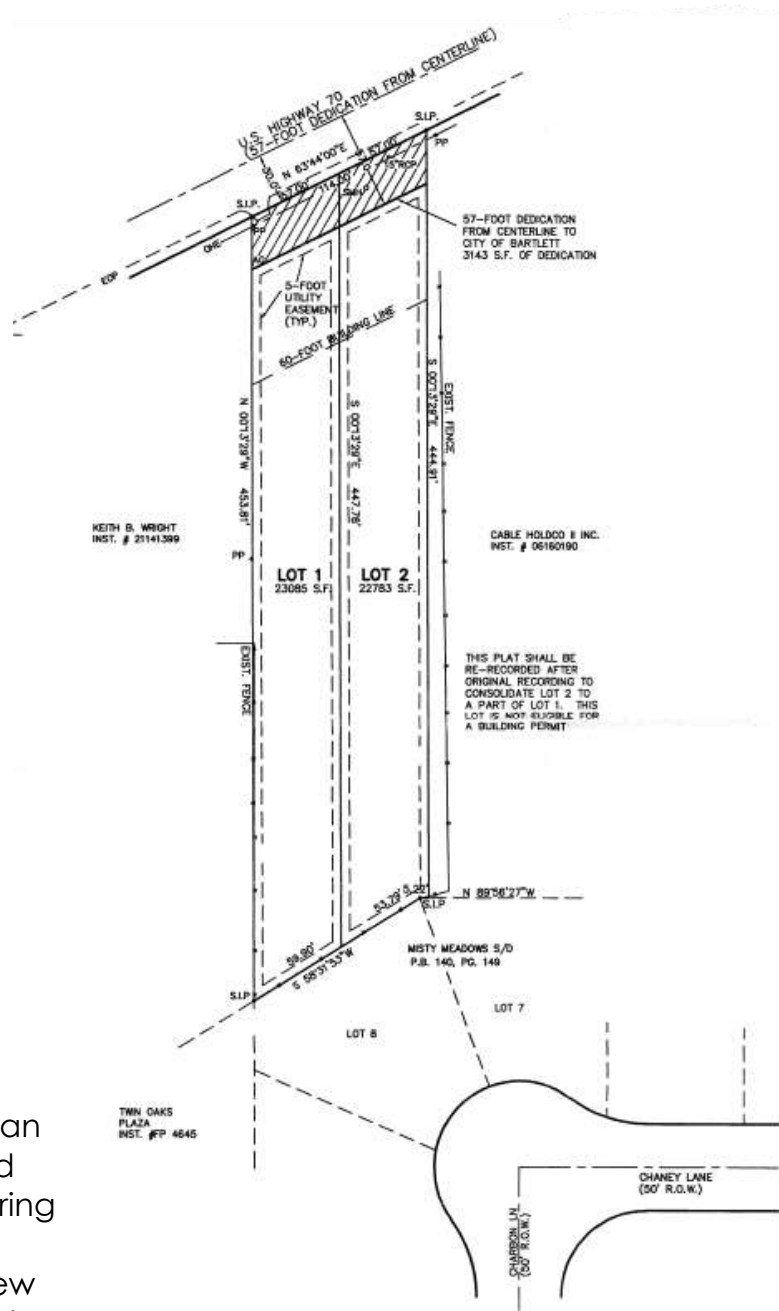
The specific request by the applicant is for the approval of the Master Plan for the Shamali Subdivision. The applicant is proposing to subdivide the existing 1.05 acre subject property into two lots. Lot 1 is proposed to be 23,085 square feet, and Lot 2 is proposed to be 22,783 square feet. Once Lots 1 and 2 are recorded on the plat, the applicant will re-record the plat to combine Lots 1 and 2 to create one legal lot of record that is eligible for a building permit. Access to the subdivision will be from a new curb cut on Highway 70.

Recommendation: Approval with conditions.

Engineering Conditions:

General:

1. A Commercial Subdivision Plan contract will be required and will be prepared by Engineering and submitted to the developer/engineer for review to cover the fees to be paid to the City of Bartlett. The Developer's name on the Construction Plans must match the Developer's name on the Bond & Contract.



2. All new utilities shall be underground.
3. All mark-ups and corrections shall be addressed on the revised plans.

Plat:

4. A Final Plan application will be required as this parcel is not a legal lot of record.
5. ROW dedication of 57' from the centerline will be required, this shall be called out as "To be dedicated to the City of Bartlett."
6. Any public easements for utilities shall also be shown

Site Plan:

7. Construction plans will be required.
8. ROW dedication of 57' from the centerline will be required dedication for HWY 70.
9. Construction of a paved shoulder of an additional 10' wide will be required on HWY 70. This additional asphalt section shall be full depth pavement, consistent with the existing roadway, and must conform to TDOT standards. This shall be added to the construction plans with TDOT approval. This shall be coordinated with TDOT as this is a state route.
10. The driveway on HWY 70 will require a TDOT permit. A construction detail shall be added to the plans.
11. Utility work in HWY 70 will require a TDOT permit.

Sewer Plan:

12. No Sewer Plan has been submitted but will be required to show the sewer service connection.
13. There is an existing sewer line along HWY 70, the Developer's engineer is responsible for insuring that the sewer is deep enough to provide sewer service for the desired building's location.
14. Since this project is located in the Fletcher Creek Sewer Basin new tap approval is dependent on developer receiving written approval from the City of Memphis for sewer connection. Developer's engineer will be responsible for establishing if an existing tap is in place. If no tap exists then the developers engineer shall work with City of Memphis on holding tank design and approval.

Water Plan:

15. Developer's engineer will be responsible for establishing if an existing tap is in place. If not, a new 2" Water Service will be required. Applicant must request and purchase a Water Meter. The water tap will need to be a reverse tap.

16. An 8" water line is available across the street and/or directly behind the property. It may be necessary to loop these for the required Fire flows. This would require HWY 70 to be bored. In addition, a 12" waterline will need to be installed across the entire frontage on Hwy 70. Certified as-builts will be required on the public water.
17. An additional fire hydrant may be required on site.
18. Fire protection must be approved by the City of Bartlett Fire Marshall.

Grading and Drainage and Detention Plan:

19. Detention will be required.
20. Applicant's engineer shall submit the stamped and signed detention calculations for the proposed detention basin and show the 'pre' and the 'post' runoff for the 2, 5, 10, 25-year storms.
21. A structure table and pipe table must be labeled to show public and private drainage lines.
22. There is an existing blue line stream along the south property line. The stream water ordinance requires a minimum buffer of 30' from the stream in all locations with an overall average of 60'. This stream buffer shall be drawn in and hatched as non-buildable area on both sides of the existing blue line stream.

Erosion Control Plan:

23. The Engineer shall prepare and submit a SWPPP to TDEC with a copy sent to the City of Bartlett Engineering Department.
24. Once TDEC has issued the Notice of Coverage (NOC), a copy shall be sent to the City of Bartlett Engineering Department.
25. Metal posts with wired backed fence are required on the proposed silt fences.

Planning Comments:

1. The subject property received a variance from the Board of Zoning Appeals in February 2023 for the lot width of the proposed Lots 1 and 2 along the Highway 70 frontage. The "C-H" zoning district requires 80 linear feet of lot frontage. Lots 1 and 2 will have 57 linear feet of lot width along Highway 70 for the limited time they are recorded as two separate lots before being consolidated and re-recorded as one lot of record thus removing the need for a lot width variance.

Planning Conditions:

1. The applicant must add Landscape Plate 23D to the plat along the southern property line that borders Misty Meadows Subdivision.
2. The commercial property owner will be responsible for landscape maintenance of the entire lot and the fence adjacent to the residential neighbors in perpetuity.
3. The applicant must obtain Final Plan and Site Plan approval from the Planning Commission.
4. The applicant must obtain Site Plan approval from the Design Review Commission.
5. The applicant shall be present at the meeting in order to make decisions relative to any changes that may be suggested by the Planning Commission.

Bartlett Planning and
Economic Development Department
6382 Stage Road, P.O. Box 341148
Bartlett, TN 38184-1148
901-385-6417 FAX 901-385-6419
www.cityofbartlett.org

Bartlett Planning Commission
Application for Master Subdivision Plan
Approval

Subdivision Name SHAMALI SUBDIVISION No. of Lots 2
Subdivision Location 7771 U.S. HIGHWAY 70 (1 BOUNDABLE, 1 COS)
Owner/Developer Contact MARWAN : HANEEN SHAMALI Phone _____
Company Name — Fax _____
Address 7899 JILLS CREEK DR. BARTLETT 38133
Email Address _____
Architect Contact — Phone _____
Company Name _____ Fax _____
Address _____
Email Address _____
Engineer Contact DAVID BRAY Phone _____
Company Name THE BRAY FIRM Fax _____
Address 2950 STAGE PLAZA NORTH BARTLETT 38135
Email Address dgbray @ comcast.net

Submitted by DAVID BRAY [Signature] 11.07.22
(printed name) (signature) (date)

Email Address dgbray @ comcast.net Phone 901.383.8668 Fax _____

- dyb Acknowledge (by initials in the blank to the left) that the "Application Instructions: Planning Commission" were obtained and read prior to submitting this application.
- dyb The "Master Subdivision Plan Checklist" has been completed and required all items have been provided. (See reverse page/or attached checklist)
- dyb Provide 18-folded ($\pm 10'' \times 13''$) sets of plans with a copy of the signed application attached to each set.
- dyb Provide an electronic PDF file of the plans. Note that an updated electronic file is required when plans are revised. The electronic file shall be labeled with the project name and accurately dated.
- dyb Include a fee of \$300.00 plus \$20.00 per lot with this application (check payable to the City of Bartlett). **The fee is not refundable.**

I, the property owner(s) hereby authorize the filing of this application.

Marwan Shamali
(print name)

[Signature]
(signature)

RECEIVED 11/07/2022
(date)

NOV 07 2022

Master Subdivision Plan Checklist

The applicant shall either indicate that the following items have been completed by a check (✓) or that they are not applicable (n/a):

- ☒ Date, north point and scale
- ☒ Location sketch map
- ☒ Boundary survey, showing location of point of beginning, true or grid bearing and length of each line, and area in acres
- ☒ Name and addresses of adjoining owners on gum labels. (one set)

Existing and Proposed:

- ☒ Tree Survey with Tree Table
- ☒ Tree Protection Plan with Tree Table
- ☒ Existing Survey/Conditions Plan
- ☒ Site Plan/Layout of development with areas reserved for detention/retention
- ☒ Grading/Drainage Plan showing all drain manholes, inlets, and drainage areas picked up
- ☒ Contour intervals
- ☒ Streets
- ☒ Structures
- ☒ Water courses
- ☒ Rights-of-way
- ☒ Sewers
- ☒ Bridges
- ☒ Culverts
- ☒ Springs (water)
- ☒ Water mains
- ☒ Easements for drainage, water, sewer, landscape, and signage
- ☒ Utility lines including utility easements along property lines

- ☒ Location and extent of all land subject to flooding

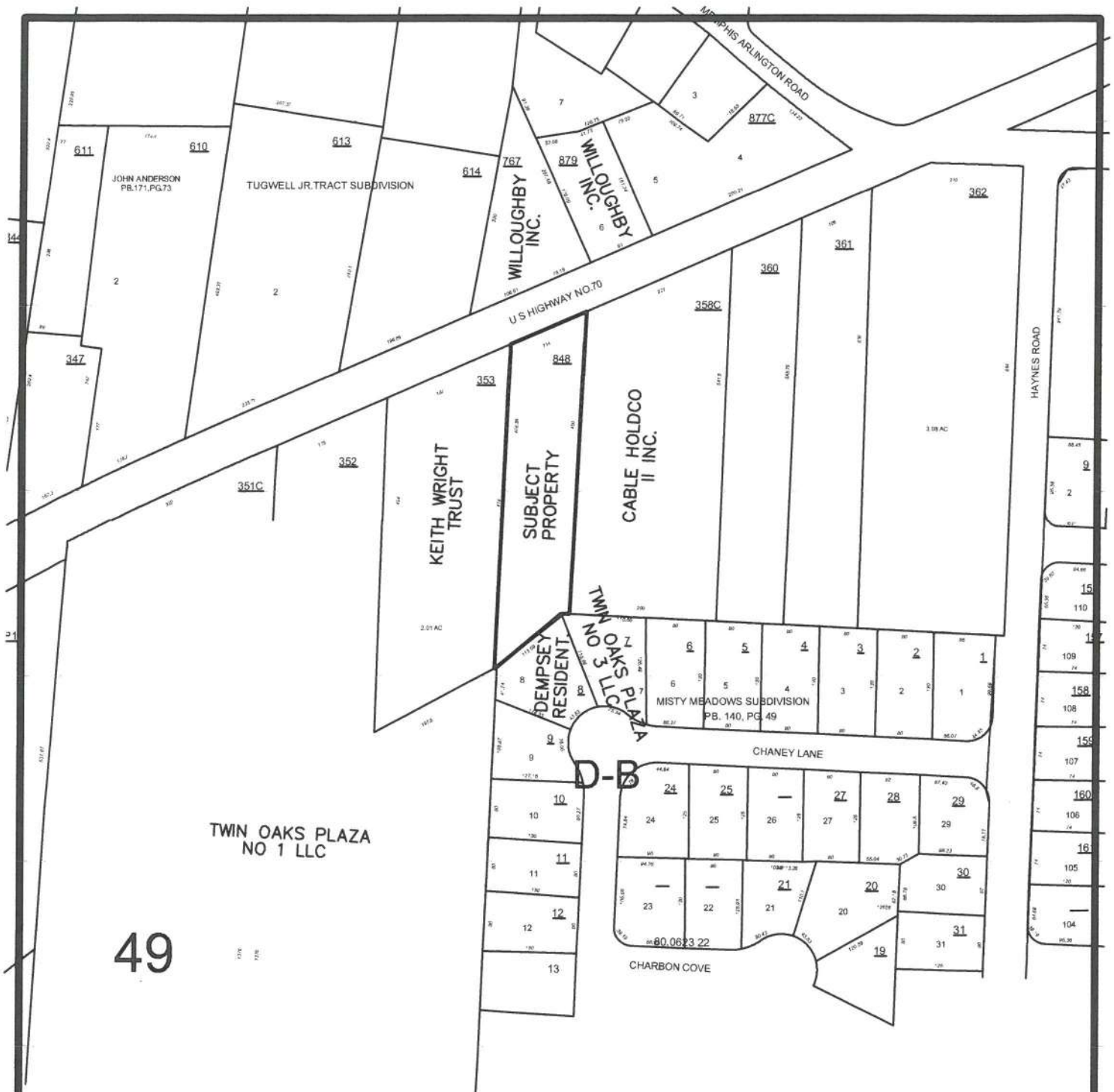
Proposed:

- ☒ Plat with signature blocks and notes
 - ☒ Lot or parcel layout plan with dimensions and area
 - ☒ Street rights-of-way
 - ☒ Erosion Control Plan with phasing
 - ☒ Traffic Control Plan with phasing and notes
 - ☒ Landscape Plan
 - ☒ Drainage improvements study
 - ☒ Drainage Pipe Table with all inlets and capacities and Q25 design
 - ☒ Detention Basin Calculations for 2, 5, 10, 25, 50, and 100 year design
 - ☒ Sediment Basin Design and Calculations
 - ☒ Flood hazard area details
 - ☒ Floodways
 - ☒ Utility Plan with size of meters required and location of fire sprinkler room
 - ☒ Plan and Profile of all streets
 - ☒ Sewer Plan and Profile
 - ☒ Setback lines
- Zoning Classification:
- ☒ Site (with area indicated)
 - ☒ Adjoining land

In addition to the Master Plan drawing, the following shall be provided:

- ☒ One PDF file of the pictorial portion of the Master Plan, for display at the Planning Commission meeting.

INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED



**SHAMALI SUBDIVISION
DEVELOPER— MARWAN SHAMALI**

BARTLETT, TENNESSEE

PREPARED BY THE BRAY FIRM
LAND DEVELOPMENT SERVICES

2950 STAGE PLAZA NORTH
BARTLETT, TENNESSEE
NOVEMBER 7. 2022

TELEPHONE 901-383-8668
E-MAIL dgbray@comcast.net
SCALE 1"=200'

RECEIVED

NOV 07 2022

CITY OF BARTLETT

7771 U.S. Highway 70
Page 1 of 1

Marwan Shamali
7899 Jills Creek Dr.
Bartlett, TN 38133

The Bray Firm
2950 Stage Plaza North
Bartlett, TN 38134

Owner

Engineer

Keith B Wright Trust
3349 Bent Laurel Ln W
Arlington, TN 38002-5885

Twin Oaks Plaza No 1 LLC
P.O. Box 123
Ellendale, TN 38029-0123

Dempsey Residential LLC
7797 Charbon Cv.
Memphis, TN 38133-2079

Twin Oaks Plaza No 3 LLC
8499 Deadfall Rd.
Millington, TN 38053-5736

Cable Holdco II Inc.
1 Comcast Center
32nd Floor
Philadelphia, PA 19103-2855

Willoughby Inc.
600 Pickwick St.
Savannah, TN 38372-3007

RECEIVED

NOV 07 2022

CITY OF BARTLETT

CERTIFICATE OF SURVEY:

I, TIMOTHY A. SULLIVAN, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND I HAVE SURVEYED THE LANDS EMBRACED WITHIN THE PLAT DESIGNATED AS SHAMALI SUBDIVISION, A SUBDIVISION ALL LYING WITHIN THE CORPORATE LIMITS OF THE CITY OF BARTLETT, TENNESSEE, THAT SAID PLAT IS A TRUE AND CORRECT PLAT OF THE LANDS EMBRACED THEREIN, SHOWING THE SUBDIVISION THEREOF IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF BARTLETT, TENNESSEE. I FURTHER CERTIFY THAT THE SURVEY OF THE LANDS EMBRACED WITHIN SAID PLAT HAS BEEN CORRECTLY MONUMENTED IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF BARTLETT, TENNESSEE.

IN WITNESS WHEREOF, I, THE SAID TIMOTHY A. SULLIVAN, SURVEYOR, HEREUNTO SET OUT HAND AND AFFIX MY SEAL THIS 22ND DAY OF NOVEMBER, 2022. *Timothy A. Sullivan* R.L.S.

LAND SURVEYOR
STATE OF TENNESSEE CERTIFICATE NO. 2160

CERTIFICATE OF ADEQUACY OF STORM DRAINAGE

I, DAVID GEAN BRAY, HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL CIVIL ENGINEER, AND THAT I HAVE DESIGNED ALL STORM WATER DRAINAGE FOR SHAMALI SUBDIVISION TO ASSURE THAT NEITHER SAID SUBDIVISION NOR ADJOINING PROPERTY WILL BE DAMAGED OR THE CHARACTER OF LAND USE BE AFFECTED BY THE VELOCITY AND VOLUME OF WATER ENTERING OR

IN WITNESS WHEREOF, I, THE SAID PROFESSIONAL CIVIL ENGINEER HERETO SET OUT HAND AND AFFIX MY SEAL THIS 16TH DAY OF JANUARY, 2023

PROFESSIONAL CIVIL ENGINEER
STATE OF TENNESSEE CERTIFICATE NO. 00110070



KEITH B. WRIGHT
INST. # 21141399

TWIN OAKS
PLAZA
INST. #FP 4645

OWNER'S CERTIFICATE:

I, _____, OWNER OF THE PROPERTY SHOWN HEREON, HEREBY ADOPT THIS PLAT AS MY PLAN OF SUBDIVISION, AND DEDICATE THE STREETS, RIGHTS-OF-WAYS, EASEMENTS, AND RIGHTS OF ACCESS AS SHOWN AND /OR DESCRIBED TO THE PUBLIC USE FOREVER, AND HEREBY CERTIFY THAT I AM THE OWNER IN FEE SIMPLE, DULY AUTHORIZED TO ACT AND THAT SAID PROPERTY IS UNENCUMBERED BY ANY TAXES WHICH HAVE BECOME DUE AND PAYABLE.

MARWAN AND HANEEN SHAMALI

DATE

BOARD OF MAYOR AND ALDERMAN CERTIFICATE:

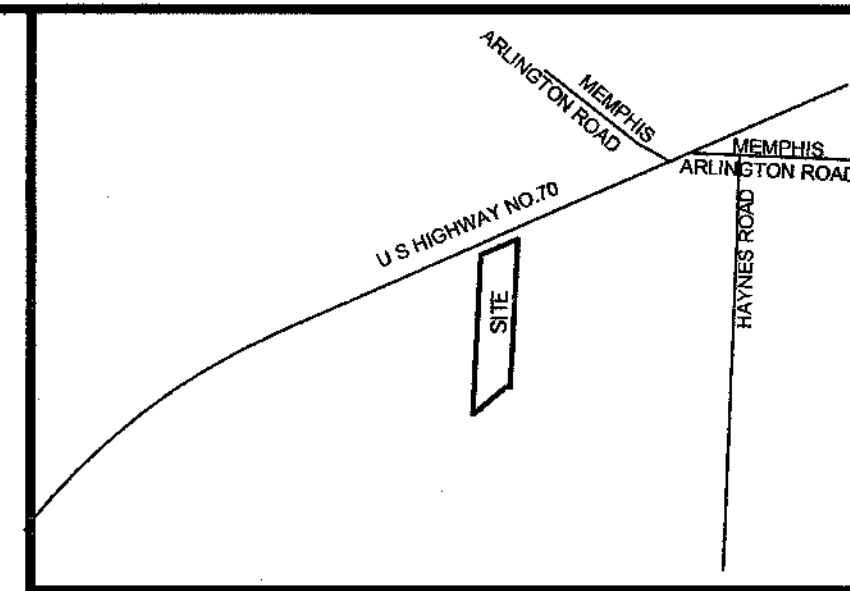
I, _____, HEREBY CERTIFY THAT ALL REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED OR THAT A PERFORMANCE BOND OR OTHER COLLATERAL IN SUFFICIENT AMOUNT TO ASSURE COMPLETION OF ALL REQUIRED IMPROVEMENTS HAS BEEN POSTED FOR THE SUBDIVISION SHOWN ON THIS PLAT AND ARE HEREBY APPROVED BY THE CITY OF BARTLETT, TENNESSEE.

DATE _____ MAYOR
CITY OF BARTLETT

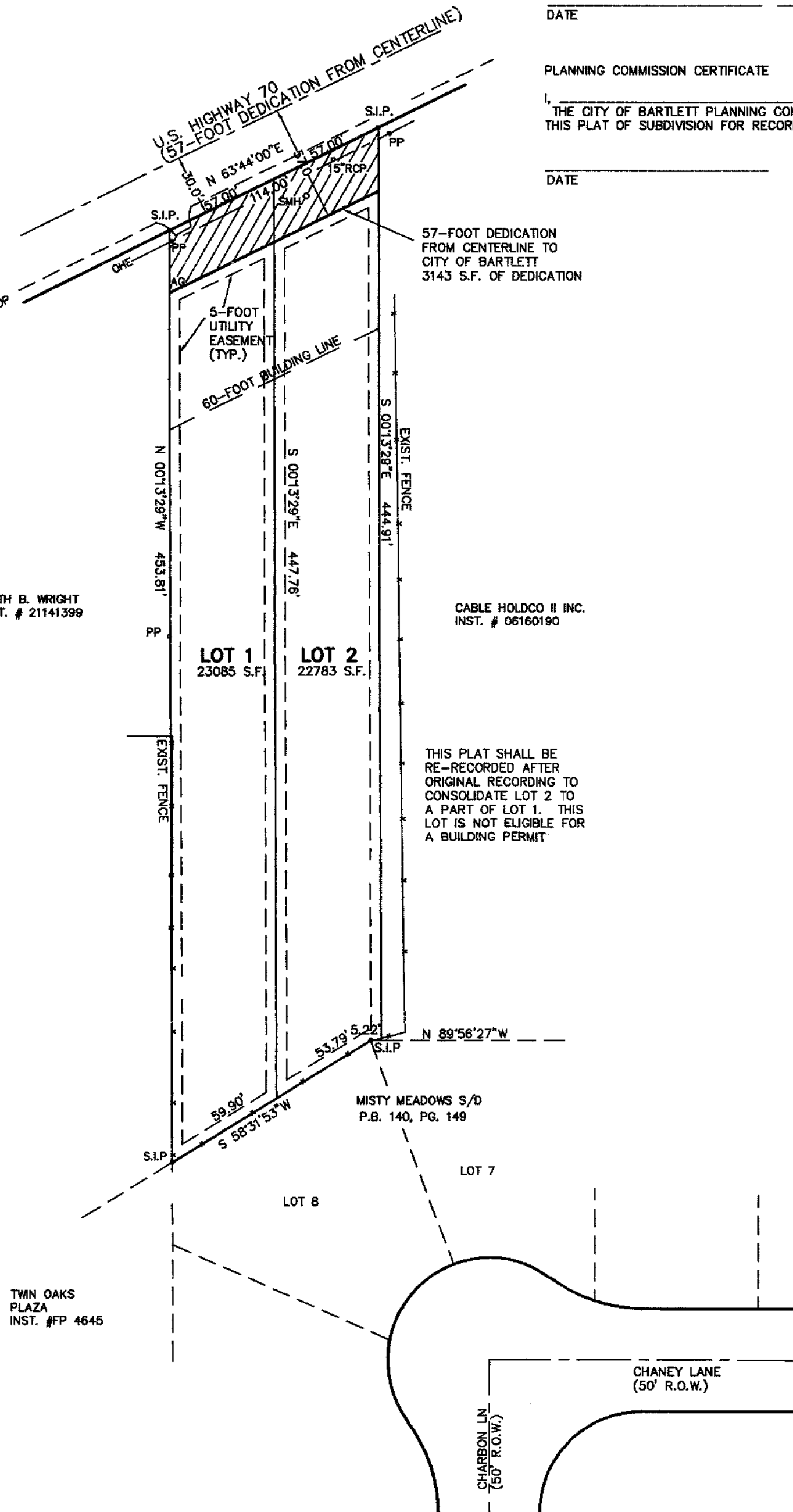
PLANNING COMMISSION CERTIFICATE

I, _____ DO HEREBY CERTIFY THAT THE CITY OF BARTLETT PLANNING COMMISSION HAS APPROVED THIS PLAT OF SUBDIVISION FOR RECORDING.

DATE _____ SECRETARY
BARTLETT PLANNING COMMISSION



VICINITY MAP, N.T.S.



THIS PLAT SHALL BE RE-RECORDED AFTER ORIGINAL RECORDING TO CONSOLIDATE LOT 2 TO A PART OF LOT 1. THIS LOT IS NOT ELIGIBLE FOR A BUILDING PERMIT

CABLE HOLDCO II INC.
INST. # 06160190

MISTY MEADOWS S/D
P.B. 140, PG. 149

CHANNEY LANE
(50' R.O.W.)

CHARBON LN
(60' R.O.W.)

STATE OF TENNESSEE
COUNTY OF SHELBY

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC, IN AND FOR SAID STATE AND COUNTY AT MEMPHIS, DULY COMMISSIONED AND QUALIFIED, PERSONALLY APPEARED _____ WITH WHOM I AM PERSONALLY ACQUAINTED AND WHO UPON OATH ACKNOWLEDGED THAT HE EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED AS HIS OWN FREE ACT AND DEED.

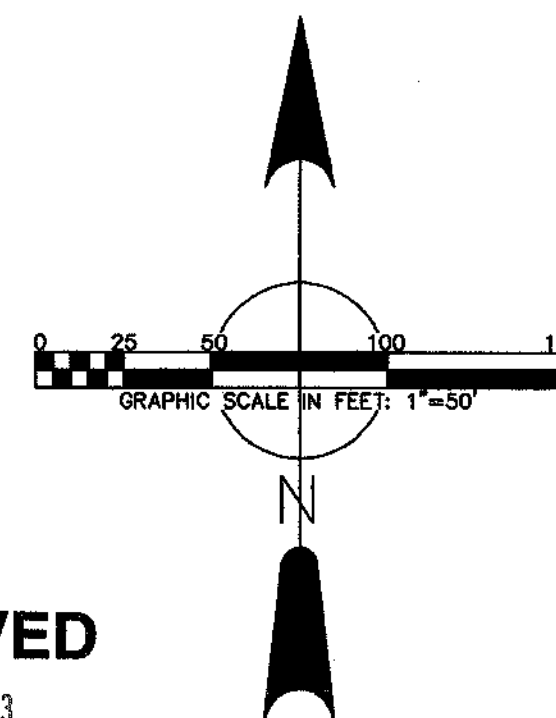
WITNESS MY HAND AND NOTARIAL SEAL, THIS _____ DAY OF _____, 2023.

MY COMMISSION EXPIRES _____

NOTARY PUBLIC

NOTES :

- SETBACKS
 - MIN. FRONT- 60 FEET
 - MIN. SIDE YARD- NONE
 - MIN. REAR- 20 FEET
- THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA PER FEMA FLOOD MAP #47157C0270F SEPTEMBER 28, 2007.
- IF SETTLEMENT OCCURS ALONG ANY OF THE THE PUBLIC EASEMENTS WITHIN THE PRIVATE PROPERTY, THE OWNER SHALL BE RESPONSIBLE FOR ALL REPAIRS. IN THE EVENT THAT "PUBLIC WORKS" HAS TO EXCAVATE TO REPAIR A LEAK IN A PUBLIC LINE, "PUBLIC WORKS" SHALL BE RESPONSIBLE FOR EXCAVATION, BACKFILL, COMPACTION AND BRINGING THE AFFECTED AREA UP TO GRADE WITH APPROPRIATE SUB-BASE MATERIAL, BUT THE OWNER SHALL BE RESPONSIBLE FOR ALL FINISH WORK INCLUDING, BUT NOT LIMITED TO ASPHALT, CONCRETE AND LANDSCAPING.
- DRIVEWAYS AND OTHER PERMANENT STRUCTURES/IMPROVEMENTS SHALL NOT BE PLACED IN SEWER, WATER, OR DRAINAGE EASEMENTS OR OVER SEWER AND WATER SERVICES LOCATED ON PRIVATE PROPERTY.
- THE CITY SHALL HAVE INGRESS/ EGRESS RIGHTS TO USE PRIVATE DRIVES AND YARDS FOR THE PURPOSE OF MAINTAINING ALL PUBLIC UTILITIES AND SHALL BEAR NO RESPONSIBILITY FOR THE MAINTENANCE OF SAID DRIVES AND YARDS.
- ALL NEW UTILITIES SHALL BE UNDERGROUND.



RECEIVED

MAR 06 2023

CITY OF BARTLETT

SHEET 1 OF 1
PRELIMINARY PLAT/FINAL PLAT

SHAMALI SUBDIVISION

BARTLETT, TENNESSEE

MARWAN AND HANEEN SHAMALI
7899 JILLS CREEK DRIVE
BARTLETT, TENNESSEE 38133

OWNER/DEVELOPER

THE BRAY FIRM
2950 STAGE PLAZA NORTH
BARTLETT, TN 38134
901-383-8668

ENGINEER

DATE: JANUARY 2023 SCALE: 1"=50' LOTS: 2 1.05 ACRES ZONED: C-H



City of Bartlett, Tennessee Municipal Planning Commission Staff Report

Subdivision: Master Plan

Re-subdivision of Part of Lot 8 of Ferguson Subdivision

DATE: April 3, 2023

STAFF: Kim Taylor, Planning Director; Sam Harris, Senior Planner; Leslie Brock, Planner; John Horne, Engineering Director; Erin Campbell, Assistant Engineering Director; Becky Bailey, Engineer; Dalan Hubbard, Engineer

SUBJECT: Master Plan Application Review

APPLICANT: David Bray, the Bray Firm

DEVELOPER: Umar Yusuf

SITE LOCATION: 2821-2835 Bartlett Road

SITE ACREAGE: 0.997 acres

ZONING: "CG-MS" General Business District with Main Street Overlay

LOTS: 3

INTRODUCTION:

Mr. David Bray with The Bray Firm is requesting Planning Commission approval of a Master Plan for the re-subdivision of part of Lot 8 of the Ferguson Subdivision. The subject property is located at 2821-2835 Bartlett Road along the west side of Bartlett Road. The parcel is zoned "CG-MS" General Business District with Main Street Overlay.

BACKGROUND:

The subject property is not a legal lot of record (created after March 6, 1956) and is less than 4 acres (not exempt from subdivision regulations). In order to make the lot eligible for a building permit, it must be within a Planning Commission approved and legally recorded subdivision. Lot 1 is the existing location of a strip center, which houses a beauty shop, barbershop, nutrition store and alteration shop. Lot 2 currently has a 4 bay carwash. Lot 3 has an existing office building.

DISCUSSION:

The specific request by the applicant is for the approval of a Master plan to subdivide the .997 acres into 3 buildable commercial lots. Lot 1 will be .415 acres, Lot 2 will be .332 acres, and Lot 3 will be .249 acres. Access to the subdivision will be from existing driveways on Bartlett Road.

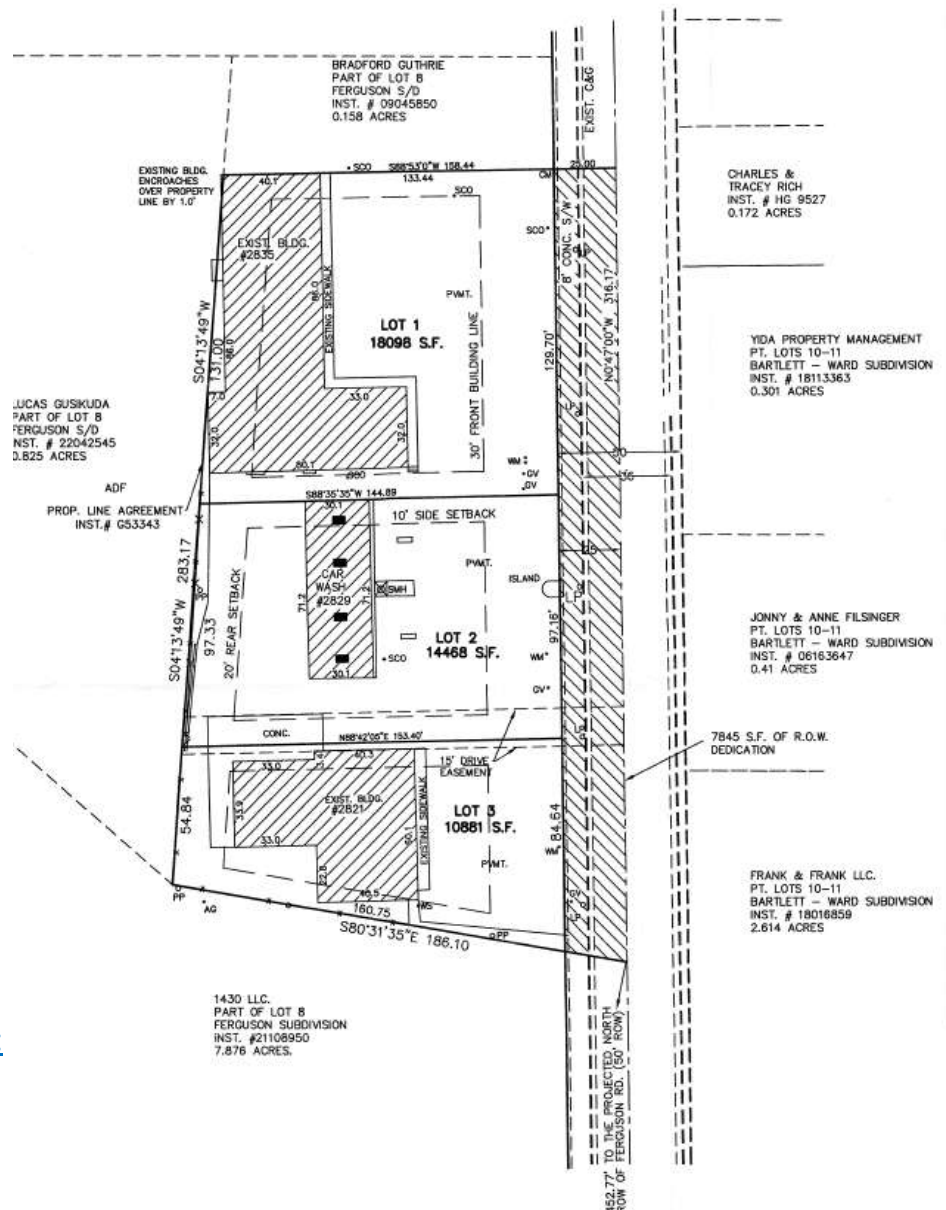
Recommendation:

Approval with conditions.

Engineering Conditions:

General:

1. A Commercial Subdivision Plan contract may be required and will be prepared by Engineering and submitted to the developer/engineer for review to cover the fees to be paid to the City of Bartlett. The Developer's name on the Construction Plans must match the Developer's name on the Bond & Contract.



2. The existing sewer services currently cross lot lines, both within the area being recorded and to neighboring businesses. Each lot must be separately and appropriately serviced and connected as part of this contract.
3. All new utilities shall be underground.
4. All mark-ups and corrections shall be addressed on the revised plans.

Plat:

5. A Final Plan application will be required.
6. Any public easements for utilities shall also be shown.
7. ROW dedication of 25' from the centerline will be required; this shall be called out as "To be dedicated to the City of Bartlett."

Site Plan:

8. Construction plans will be required.

Sewer Plan:

9. No Sewer Plan has been submitted but will be required to show the sewer service connections. These are marked on-site.
10. The existing sewer services currently cross lot lines, both within the area being recorded and to neighboring businesses. Each lot must be separately and appropriately serviced and connected as part of this contract.

Water Plan:

11. Developer's engineer will be responsible for establishing if existing water services currently cross lot lines. Each lot must be separately and appropriately serviced and connected as part of this contract.
12. The existing fire hydrant on the east side of Bartlett Road shall be shown.
13. Fire protection must be approved by the City of Bartlett Fire Marshall.

Planning Conditions:

1. The applicant shall revise plat to utilize the Main Street Commercial Overlay building setbacks (Article VI.26) and 5-foot utility easements and comply with Zoning Ordinance.
2. Should the applicant add on to an existing structure or construct new buildings, the applicant shall use the Main Street Commercial Overlay for the Planning Commission and Design Review Commission site plans.
3. The applicant shall make application for Construction and Final Plans to legally record this subdivision.
4. The applicant shall be present at the meeting in order to make decisions relative to any changes that may be suggested by the Planning Commission.

Bartlett Planning and
Economic Development Department
6382 Stage Road, P.O. Box 341148
Bartlett, TN 38184-1148
901-385-6417 FAX 901-385-6419
www.cityofbartlett.org

Bartlett Planning Commission
Application for Master Subdivision Plan
Approval

Subdivision Name 20-SUB OF PART OF LOT 9, FINAL SAN S/D No. of Lots 3

Subdivision Location 2821-2835 BARTLETT ROAD

Owner/Developer Contact UMAR YUSOF Phone _____

Company Name _____ Fax _____

Address 8376 WILLOWDALE DR BARTLETT, TN 38137

Email Address _____

Architect Contact _____ Phone _____

Company Name _____ Fax _____

Address _____

Email Address _____

Engineer Contact DAVID BRAY Phone _____

Company Name THE BRAY FIRM Fax _____

Address 2950 STAGE PLACE N, BARTLETT, TN 38154

Email Address dbray@comcast.net

Submitted by David Bray [Signature] 03.06.23
(printed name) (signature) (date)

Email Address dbray@comcast.net Phone 901.383.8668 Fax _____

[Initials] Acknowledge (by initials in the blank to the left) that the "Application Instructions: Planning Commission" were obtained and read prior to submitting this application.

[Initials] The "Master Subdivision Plan Checklist" has been completed and required all items have been provided. (See reverse page/or attached checklist)

[Initials] Provide 18-folded ($\pm 10'' \times 13''$) sets of plans with a copy of the signed application attached to each set.

[Initials] Provide an electronic PDF file of the plans. Note that an updated electronic file is required when plans are revised. The electronic file shall be labeled with the project name and accurately dated.

[Initials] Include a fee of \$300.00 plus \$20.00 per lot with this application (check payable to the City of Bartlett). **The fee is not refundable.**

I, the property owner(s) hereby authorize the filing of this application.

Umar Yusof
(print name)

[Signature]
(signature)

RECEIVED 3-6-23
(date)

Master Subdivision Plan Checklist

The applicant shall either indicate that the following items have been completed by a check (✓) or that they are not applicable (n/a):

- ✓ Date, north point and scale
- ✓ Location sketch map
- ✓ Boundary survey, showing location of point of beginning, true or grid bearing and length of each line, and area in acres
- ✓ Name and addresses of adjoining owners on gum labels. (one set)

Existing and Proposed:

- Tree Survey with Tree Table
- Tree Protection Plan with Tree Table
- Existing Survey/Conditions Plan
- ✓ Site Plan/Layout of development with areas reserved for detention/retention (NO DETENTION AS EXISTING)
- ✓ Grading/Drainage Plan showing all drain manholes, inlets, and drainage areas picked up
- ✓ Contour intervals
- ✓ Streets
- ✓ Structures
- ✓ Water courses
- ✓ Rights-of-way
- ✓ Sewers
- ✓ Bridges
- ✓ Culverts
- ✓ Springs (water)
- ✓ Water mains
- ✓ Easements for drainage, water, sewer, landscape, and signage
- ✓ Utility lines including utility easements along property lines

- ✓ Location and extent of all land subject to flooding

Proposed:

- ✓ Plat with signature blocks and notes
- ✓ Lot or parcel layout plan with dimensions and area
- ✓ Street rights-of-way
- n/a Erosion Control Plan with phasing
- n/a Traffic Control Plan with phasing and notes
- n/a Landscape Plan
- n/a Drainage improvements study
- n/a Drainage Pipe Table with all inlets and capacities and Q25 design
- n/a Detention Basin Calculations for 2, 5, 10, 25, 50, and 100 year design
- n/a Sediment Basin Design and Calculations
- n/a Flood hazard area details
- n/a Floodways
- EXISTING Utility Plan with size of meters required and location of fire sprinkler room
- NOISE Plan and Profile of all streets
- NOISE Sewer Plan and Profile
- ✓ Setback lines

Zoning Classification:

- ✓ Site (with area indicated)
- ✓ Adjoining land

In addition to the Master Plan drawing, the following shall be provided:

- ✓ One PDF file of the pictorial portion of the Master Plan, for display at the Planning Commission meeting.

INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED

Umar Yusuf
8376 Windersville Rd.
Bartlett, TN 38133

The Bray Firm
2950 Stage Plaza North
Bartlett, TN 38134

Owner

Engineer

Lucas Gusikuda
7464 Dove Field Cove
Germantown, TN 38138

Bradford Guthrie
2845 Bartlett Rd.
Bartlett, TN 38134

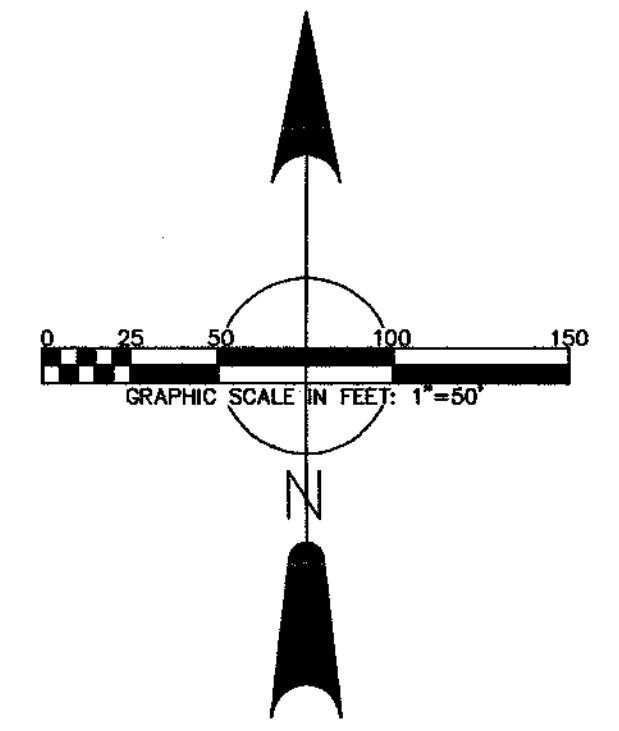
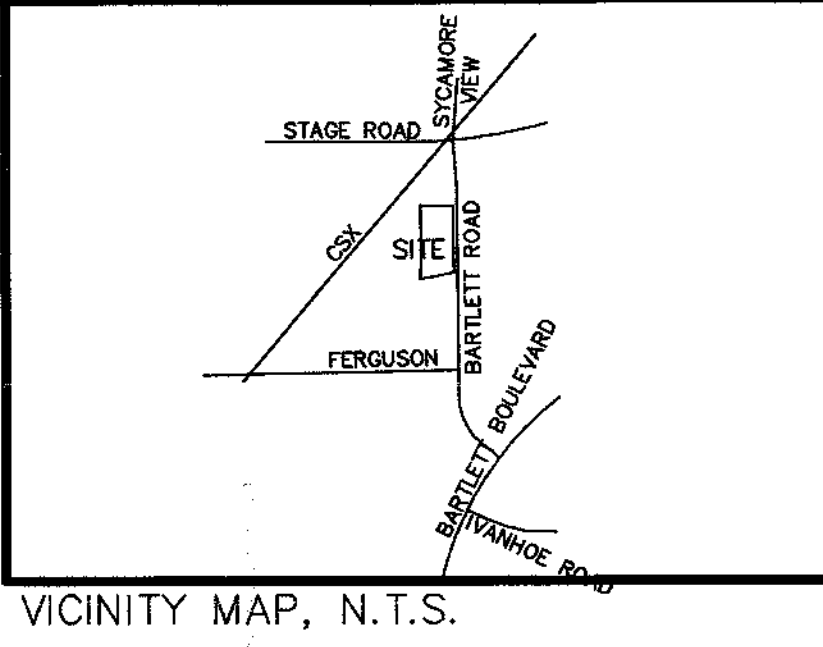
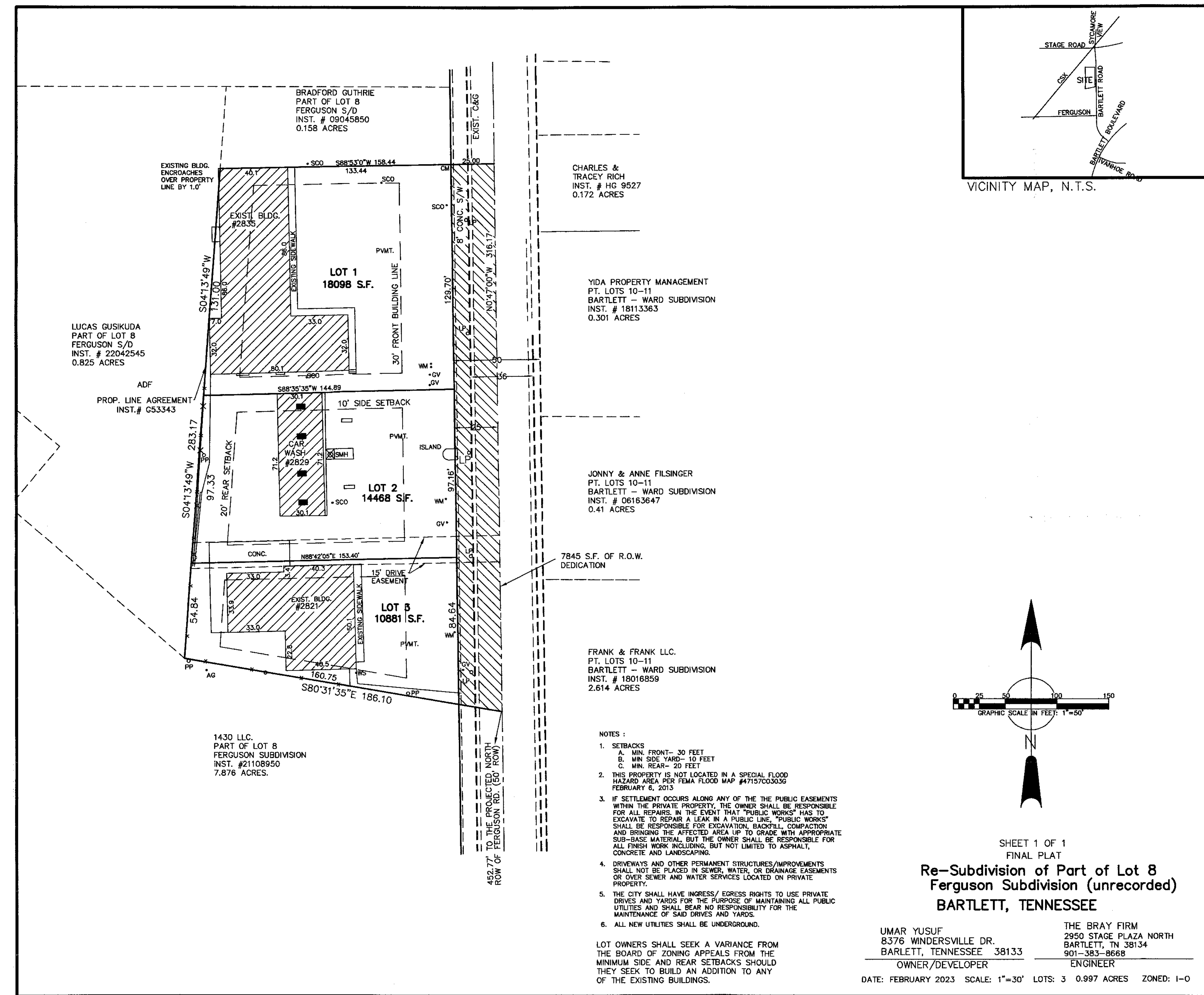
Charles & Tracey Rich
2850 Bartlett Rd.
Bartlett, TN 38134

Yida Property Management
9699 Leeward Slopes Drive
Arlington, TN 38002

Jonny & Anne Filsinger
4009 Lighthouse Cove
Arlington, TN 38002

Frank & Frank LLC
500 Corsair Drive
North Palm Beach, FL 33408

1430 LLC
5810 Shelby Oaks, Suite B
Bartlett, TN 38134

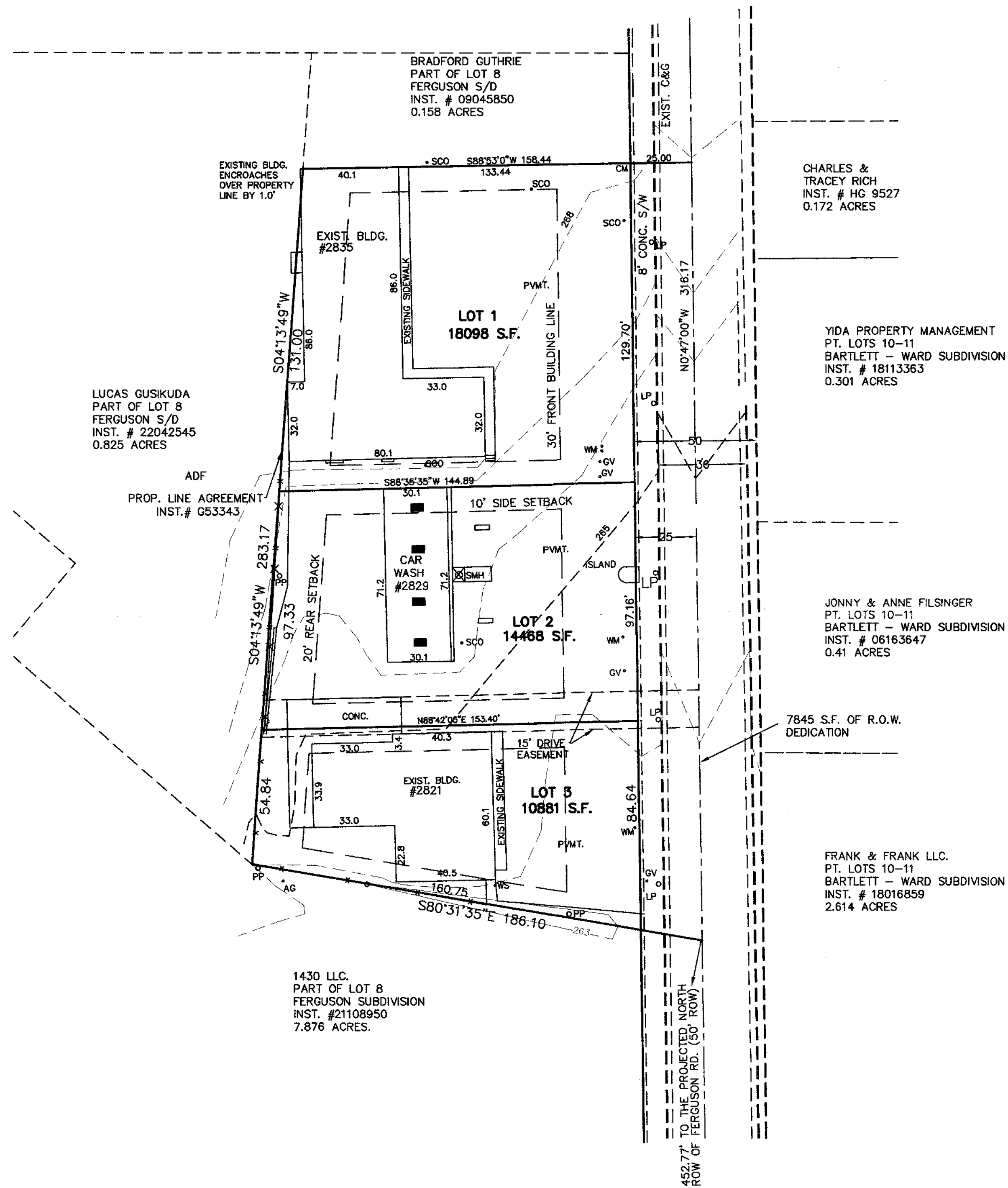
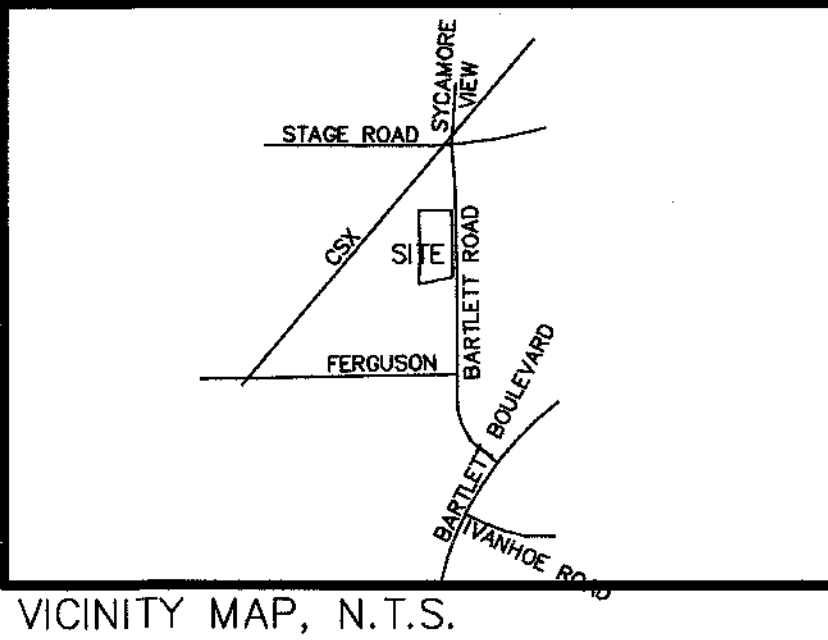


SHEET 1 OF 1
FINAL PLAT
Re-Subdivision of Part of Lot 8
Ferguson Subdivision (unrecorded)
BARTLETT, TENNESSEE

UMAR YUSUF
8376 WINDERSVILLE DR.
BARTLETT, TENNESSEE 38133
OWNER/DEVELOPER

THE BRAY FIRM
2950 STAGE PLAZA NORTH
BARTLETT, TN 38134
901-383-8668
ENGINEER

DATE: FEBRUARY 2023 SCALE: 1"=30' LOTS: 3 0.997 ACRES ZONED: I-O



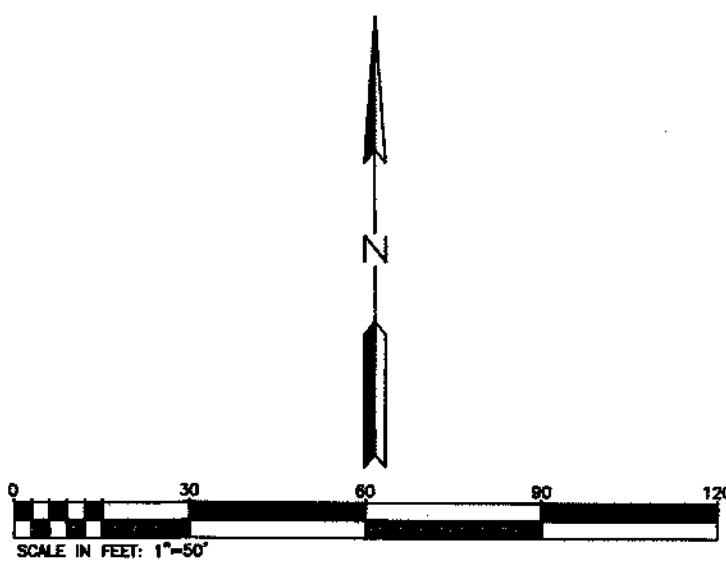
TREE PLAN – NO EXISTING TREES ON SITE
NO PROPOSED GRADING.
NO LAND DISTURBANCE
SEWER SERVICES EXISTING.
WATER SERVICES EXISTING
NO ROADWAY IMPROVEMENTS

NOTE: THIS PROPERTY DOES NOT LIE WITHIN
THE 100 YEAR FLOOD HAZARD PER F.E.M.A.
MAP NUMBER 47157C0303G
DATED FEBRUARY 6, 2013

REVISIONS		
ITEM NO.	DESCRIPTION OF CHANGE	DATE APPROVED



Re-Subdivision of Part of Lot 8
Ferguson Subdivision (unrecorded)
DEVELOPER: UMAR YUSUF
ENGINEER: THE BRAY FIRM



SHEET 1 OF 1
DEPARTMENT OF ENGINEERING
CONSTRUCTION PLAN

BARTLETT, TENNESSEE

SURVEY: TBF DATE: 1-2023 BOOK: _____
DESIGN: TBF DATE: 2-2023 SCALE: 1"=30'



City of Bartlett, Tennessee Municipal Planning Commission Staff Report

Subdivision: Construction Plan

Joyce's Gardens Phase 1B

DATE: April 3, 2023

STAFF: Kim Taylor, Planning Director; Sam Harris, Senior Planner; Leslie Brock, Planner; John Horne, Engineering Director; Erin Campbell, Assistant Engineering Director; Becky Bailey, Engineer; Dalan Hubbard, Engineer

SUBJECT: Construction Plan Application Review

APPLICANT: David Bray, The Bray Firm

DEVELOPER: Gary Blume, Liberty Properties

SITE LOCATION: North Side of New Brownsville Road & West of Springtree Drive

SITE ACREAGE: 10.308 acres

ZONING: "RS-15" Single Family Residential

LOTS: 12

INTRODUCTION:

Mr. David Bray with The Bray Firm is requesting Planning Commission approval of a Construction Plan for Joyce's Gardens Planned Development Phase 1B. The subject property is located on the north side of New Brownsville Road between Ellendale Road and Rockyford Road, and it is within the "RS-15" Single Family Residential Zoning District.

BACKGROUND:

On August 1, 2022, the Planning Commission approved a favorable recommendation for the Joyce's Gardens Planned Development that was forwarded to the Board of Mayor and Aldermen. On September 27, 2022, the Board of Mayor and Aldermen approved the Joyce's Gardens Planned Development. Joyce's Gardens Planned Development was approved as the subdivision of 27.107 acres of land into a 42 lot planned residential subdivision with 4 common open space lots. The lot sizes will range from 8,775-square feet to 36,974-square feet. The proposed development will occur in two phases.

Phase 1 will consist of Lots 1-27 and Common Open Space Lots A and B, and it will be located north of the future extension of New Brownsville Road and south of the adjacent Rockyford Place and Rockyford residential subdivisions. Therefore, Phase 1 will blend in with the adjacent residential neighborhood by meeting the underlying "RS-15" zoning restrictions for lot sizes and building setbacks. Stormwater detention will be handled by detention basins on Common Open Space Lots A and B.

Phase 2 will consist of Lots 28-42 and Common Open Space Lots C and D, and it will be located south of the future extension of New Brownsville Road and north of the existing Old Brownsville Road on property that is encumbered by an existing cemetery located between Lots 35 and 36. Therefore, Phase 2 will utilize reduced lot sizes and building setbacks. Although, only 5 lots of the proposed 15 lots within Phase 2 will have lot sizes less than the adjacent "RS-15" and "RS-12" single family residential zoning. Stormwater detention will be handled by a detention basin on Common Open Space Lot D.

DISCUSSION:

The specific request by the applicant is for the approval of a Construction Plan for Joyce's Gardens Planned Development Phase 1B. The applicant is proposing to subdivide the existing 10.308 acre subject property into 12 lots identified as Lots 17-27, Common Open Space Lots A and B, and 2.37 acres of greenbelt dedication to the City of Bartlett. Phase 1B will be located north of the future extension of New Brownsville Road and south of the Rockyford Place Planned Development. The lot sizes will range in size from 15,000 to 20,521 square feet. The construction plans for Joyce's Gardens Planned Development Phase 2 include: a preliminary plat, a tree survey and tree protection plan, a grading and drainage plan, sediment and erosion control plan, a sanitary sewer plan, and a street plan and profiles for Rabbit Chase Lane and Rabbit Chase Cove. Access to the subdivision will be from Rabbit Chase Lane off New Brownsville Road.

Plat:

12. All COS shall be maintained by the Homeowners Association. This includes the detention basin and outlet structure.
13. Drainage easement shall be shown in COS B to include the pipe and structure 4 into the detention basin as well as structure 2 and the pipe out of the detention basin.
14. Sidewalk table shall be added. Sidewalk on New Brownsville Road are 8 feet wide.
15. Show location of subdivision concrete monuments to be installed as required by the subdivision ordinance.

Erosion Control:

16. The engineer shall provide a copy of the SWPPP (Storm Water Pollution Prevention Plan) that has been or will be submitted to TDEC (Tennessee Department of Conservation).
17. Prior to any work being started, an NOC (Notice of Coverage) from TDEC must be received and a copy submitted to the City of Bartlett.
18. Metal posts with wire-backed fence are required on the proposed silt fences.
19. Sediment basins may be required during construction.

Grading and Drainage:

20. The detention basins will be maintained by the HOA.
21. Emergency spillway will be required on the detention basins.
22. Applicant's engineer shall submit the stamped and signed detention calculations for the proposed detention basin and show the 'pre' and the 'post' runoff for the 2, 5, 10, 25, and 100 year storms. There should be one foot of freeboard above the top of the basin's wet storage elevation.
23. Pipe tables will be required and columns shall be provided for as-built data.
24. Drainage basins entering and exiting shall be shown on plan and any point drainage source entering or exiting the site should be connected via pipe.
25. Detail sheets shall be required.

Sanitary Sewer:

26. Sewer service detail shall be updated to current.
27. Tracer wire detail shall be added.
28. Sewer services for lots 16 and 25 should be located by a property line to facilitate driveway installations.

29. Sewer service locations for lot 19 needs to be shown.
30. Area for as-built information shall be added.

Water Plan:

31. Applicant shall provide a set of digital drawings showing the sanitary sewer lines, drainage lines, lot lines and all street improvements in AutoCAD format to Dalan Hubbard, dhubbard@cityofbartlett.org for use in the preparation of the Water Design Plan.

Planning Conditions:

1. The applicant shall rename the subdivision to Joyce's Gardens Planned Development since this development is being approved as a planned development in lieu of a standard subdivision.
2. The applicant shall rename COS C to COS A since COS C is included in Phase 2.
3. The applicant will need to add a note to the plat to deny driveway access to New Brownsville Road for Lots 25 and COS A.
4. The applicant must attach the homeowners association bylaws instrument number and the covenants and restrictions instrument number to the final plat.
5. The applicant shall add a condition to the plat as well as within the restrictive covenants to prohibit RV, boat, trailer, and the like storage within Joyce's Gardens Planned Development.
6. The applicant shall provide within the restrictive covenants rules and restrictions concerning the style and placement of fences within Joyce's Gardens Planned Development.
7. The applicant shall submit a site plan application to the Design Review Commission for the common open space areas and the amenities to be installed in the common open space areas within Joyce's Gardens Planned Development Phase 1B.
8. The applicant shall submit construction and final plans for Joyce's Gardens Planned Development Phase 1A to the Planning Commission. The applicant shall also submit a site plan application to the Design Review Commission for the common open space areas and the amenities to be installed in the common open space areas for Joyce's Gardens Planned Development Phase 1A.
9. The owner/applicant shall be present at the meeting in order to make decisions relative to any changes that may be suggested by the Planning Commission.

Bartlett Planning and
Economic Development Department
6382 Stage Road, P.O. Box 341148
Bartlett, TN 38184-1148
901-385-6417 FAX 901-385-6419
www.cityofbartlett.org

Bartlett Planning Commission
Application for
Construction Plan Approval

Subdivision Name JOYCE'S GARDENS S/D, PHASE ONE-B No. of Lots 12

Subdivision Location NORTH SIDE NEW BARTLETT RD, 750' W OF SPRINGTREE

Owner/Developer Contact GARY BLUME Phone _____

Company Name LIBERTY PROPERTIES Fax _____

Address 8420 EAST ORCHARD RD, SUITE 1100 GREENWOOD VILLAGE, CO 80111 email _____

Architect Contact _____ Phone _____

Company Name _____ Fax _____

Address _____ email _____

Engineer Contact DAVID BLAY Phone 901.383.8668

Company Name THE BLAY FIRM Fax _____

Address 2950 STATE PLAZA NORTH BARTLETT 38134 email djblay@comcast.net

Submitted by DAVID BLAY (printed name) [Signature] (signature) 03.06.23 (date)

Email Address djblay@comcast.net Phone 901.383.8668 Fax _____

✓ Attach a checked-off "Construction Plan Checklist" and all items required therein.

djb Acknowledge (by initials in the blank to the left) that the "Application Instructions: Planning Commission" were obtained and read prior to submitting this application.

djb Provide 5-folded ($\pm 10'' \times 13''$) sets of plans with a copy of the signed application attached to each set.

djb Provide an electronic PDF file of the plans. Note that an updated electronic file is required when plans are revised. The electronic file shall be labeled with the project name and accurately dated.

djb Include a fee of \$300.00 plus \$20.00 per lot with this application (check payable to the City of Bartlett).

I, the property owner(s) hereby authorize the filing of this application.

GARY BLUME (print name) [Signature] (signature) 3/6/2023 (date)

RECEIVED

MAR 06 2023

Construction Plan Checklist

The applicant shall either indicate that the following items have been completed by a check (✓) or that they are not applicable (n/a).

In addition to all the requirements of the Master Plan, the Construction Plan shall show

- ☒ Signature and Seal of Designer, a Professional Civil Engineer Registered in Tennessee
- ☒ * Grading Plan, existing & finished contours for the site and fifty (50) feet beyond property
- ☒ * Extent and elevation of land below the 100-year flood
- ☒ Detailed plan of sewer layouts
- ☒ Plan and profile sheets and engineering data for streets, storm drainage, controls for surface and ground water, water and sewer layouts
- ☒ Landscape plan and planting schedule as required
- ☒ Comprehensive drainage plan
- ☒ Construction traffic access plan

Certificates: (As applicable)

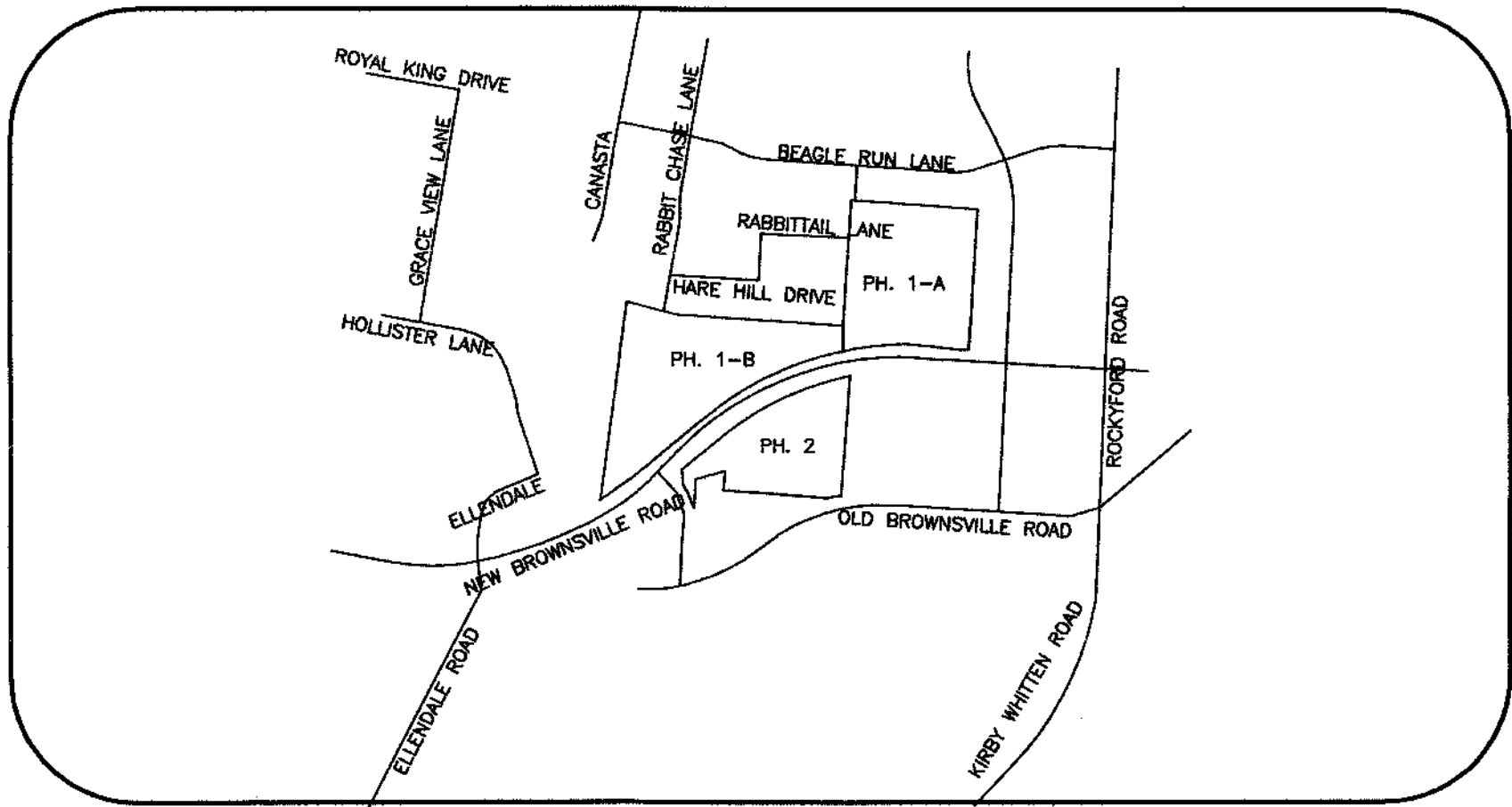
- ☒ Suitability of Soils for Septic Tanks
- ☒ Approval of Water and Sewerage Systems
- ☒ Accuracy of Engineering and Design
- ☒ Approval of Water and Sewer Lines
- ☒ Approval of Street and Drainage Improvements
- ☒ Quality of Construction
- ☒ Compliance with requirements of EPA
- ☒ Approval of Flood Administrator

In addition to the Construction Plan drawings, the following shall be provided:

- ☒ One PDF file of the pictorial portion of the Construction Plan sheets indicated above by an asterisk (*), for display at the Planning Commission meeting.

INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED

VICINITY MAP n.t.s.



CONSTRUCTION DRAWINGS
PHASE 1 - B
JOYCE'S GARDENS SUBDIVISION

BARTLETT, TENNESSEE

LIBERTY PROPERTIES
DEVELOPER

THE BRAY FIRM
ENGINEER

SCHEDULE OF DRAWINGS

COVER PAGE	1
FINAL PLAT (2 SHEETS)	2
CONSTRUCTION NOTES	4
EROSION CONTROL PLAN (3 SHEETS)	5
SANITARY SEWER PLAN	8
GRADING AND DRAINAGE PLAN	9
WATER PLAN (BY CITY OF BARTLETT)	10
TREE PLAN	11
RABBIT CHASE LANE	12
RABBIT CHASE COVE	13

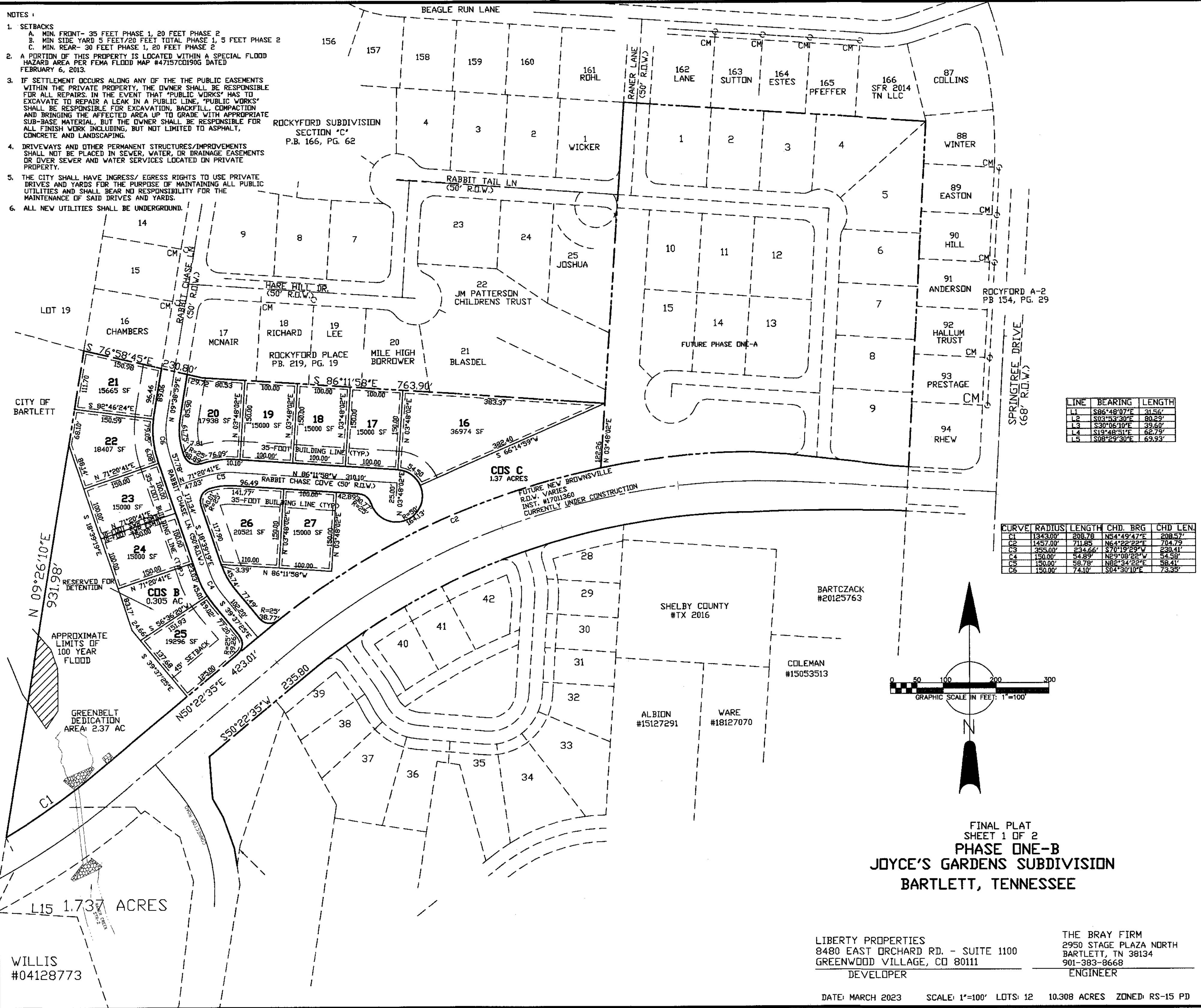
GENERAL NOTES

CONSTRUCTION NOTES:

1. PROPERTY LINES SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. GRADING, CLEARING AND THE ERECTION OR REMOVAL OF FENCES ALONG PROPERTY LINES SHALL BE FULLY COORDINATED WITH ADJACENT PROPERTY OWNERS.
2. THE CONTRACTOR SHALL VERIFY ANY EXISTING DATA AND REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ENGINEER.
3. THE CONTRACTOR SHALL NOT ENTER UPON, WORK UPON NOR CAUSE DAMAGE TO ANY ADJACENT PROPERTIES WITHOUT PRIOR PERMISSION FROM SAID PROPERTY OWNER.
4. LOCATION OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE AND ARE NOT NECESSARILY ALL OF SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE APPROPRIATE UTILITY COMPANY TO DETERMINE THE EXACT LOCATION OF ALL UTILITIES AND/OR UNDERGROUND STRUCTURES PRIOR TO THE INITIATION OF ANY CONSTRUCTION. CONTRACTOR SHALL ALSO ASSUME FULL RESPONSIBILITY FOR DAMAGE TO ANY EXISTING UTILITIES ENCOUNTERED WITHIN THE CONSTRUCTION PERIMETERS. FOR SITE LOCATION OF EXISTING UTILITIES INVOLVING M.G.W., SOUTH CENTRAL BELL, AND/OR TEXAS GAS COMPANY, PLEASE CALL 1-800-351-1111. FOR SEWER SERVICE LOCATIONS, CALL 385-6499.
5. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES.
6. TYPICAL SIDE SLOPES TO BE 1 FOOT VERTICAL TO 4 FEET HORIZONTAL.
7. ALL AREAS IN CUT OR FILL WHERE VEGETATION HAS BEEN REMOVED SHALL BE SEEDED, MULCHED, FERTILIZED, AND/OR SODED AS REQUIRED TO PREVENT EROSION.
8. 24 HOURS PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE CITY OF BARTLETT ENGINEER'S OFFICE AT 385-6499.
9. ALL CONSTRUCTION MATERIALS & PROCEDURES SHALL MEET STANDARD CITY OF BARTLETT SPECIFICATIONS.
10. ALL FILL AND/OR TRENCH BACKFILL SHALL BE COMPACTED (IN 6 INCH LIFTS) TO 95% STANDARD PROCTOR WITHIN 3% OF OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D698-78 LATEST REVISION (STANDARD PROCTOR).
11. THE CONTRACTOR SHALL INSTALL AND MAINTAIN A SILT FENCE AT THE TOP OF ALL DITCH BANKS FOR THE WIDTH OF THE CONSTRUCTION LIMITS AND CONTINUOUSLY ALONG THE "STREAMSIDE" CONSTRUCTION LIMIT.
12. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN EROSION CONTROL DURING CONSTRUCTION BY THE PLACEMENT OF SILT FENCES WHERE NECESSARY TO PREVENT DOWNSTREAM SILTATION OF ANY DITCHES, PIPES, DRAINAGE STRUCTURES OR ADJACENT PROPERTIES. THE CONTRACTOR SHALL PROVIDE ANY ADDITIONAL EROSION CONTROL AS NEEDED OR AS DIRECTED BY THE ENGINEER.
13. CONTRACTOR SHALL PROVIDE ALL NECESSARY EROSION CONTROL METHODS AS PER THE CITY OF BARTLETT, SHELBY COUNTY, AND STATE OF TENNESSEE REGULATIONS.
14. ENGINEERS CERTIFICATE: THIS PROJECT HAS BEEN DESIGNED IN ACCORDANCE WITH THE CITY OF BARTLETT SUBDIVISION REGULATIONS AND SPECIFICATIONS.
15. LOT GRADING AND DRAINAGE:
FINISH GRADE SHALL BE SLOPED AWAY FROM THE FOUNDATION FOR DRAINAGE. THE FINISH GRADE MUST BE AT LEAST 10 INCHES BELOW THE TOP OF THE FOUNDATION WALL OR THE GRADE OF THE CONCRETE SLAB AND FOUNDATION. THE MINIMUM GRADE AWAY FROM THE FOUNDATION WALL SHALL BE AT LEAST 5 PERCENT IN ALL DIRECTIONS. THE DRIVEWAY SHALL BE SLOPED DOWN AT 2 PERCENT FOR AT LEAST 8 FEET FROM THE STRUCTURE.
16. THE CITY OF BARTLETT SHALL HAVE INGRESS/EGRESS RIGHT TO USE PRIVATE DRIVES AND YARDS FOR THE PURPOSE OF MAINTAINING ALL PUBLIC UTILITIES AND SHALL BEAR NO RESPONSIBILITY FOR THE MAINTENANCE OF SAID DRIVES AND YARDS.

NOTES:

1. SETBACKS:
A. MIN. FRONT- 35 FEET PHASE 1, 20 FEET PHASE 2
B. MIN. SIDE YARD 5 FEET/20 FEET TOTAL PHASE 1, 5 FEET PHASE 2
C. MIN. REAR- 30 FEET PHASE 1, 20 FEET PHASE 2
2. A PORTION OF THIS PROPERTY IS LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA PER FEMA FLOOD MAP #47157C0100G DATED FEBRUARY 6, 2013.
3. IF SETTLEMENT OCCURS ALONG ANY OF THE THE PUBLIC EASEMENTS WITHIN THE PRIVATE PROPERTY, THE OWNER SHALL BE RESPONSIBLE FOR ALL REPAIRS. IN THE EVENT THAT "PUBLIC WORKS" HAS TO EXCAVATE TO REPAIR A LEAK IN A PUBLIC LINE, "PUBLIC WORKS" SHALL BE RESPONSIBLE FOR EXCAVATION, BACKFILL, COMPACTION AND BRINGING THE AFFECTED AREA UP TO GRADE WITH APPROPRIATE SUB-BASE MATERIAL, BUT THE OWNER SHALL BE RESPONSIBLE FOR ALL FINISH WORK INCLUDING, BUT NOT LIMITED TO ASPHALT, CONCRETE AND LANDSCAPING.
4. DRIVEWAYS AND OTHER PERMANENT STRUCTURES/IMPROVEMENTS SHALL NOT BE PLACED IN SEWER, WATER, OR DRAINAGE EASEMENTS OR OVER SEWER AND WATER SERVICES LOCATED ON PRIVATE PROPERTY.
5. THE CITY SHALL HAVE INGRESS/ EGRESS RIGHTS TO USE PRIVATE DRIVES AND YARDS FOR THE PURPOSE OF MAINTAINING ALL PUBLIC UTILITIES AND SHALL BEAR NO RESPONSIBILITY FOR THE MAINTENANCE OF SAID DRIVES AND YARDS.
6. ALL NEW UTILITIES SHALL BE UNDERGROUND.



CERTIFICATE OF ADEQUACY OF STORM DRAINAGE

I, DAVID GEAN BRAY, HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL CIVIL ENGINEER, AND THAT I HAVE DESIGNED ALL STORM WATER DRAINAGE FOR PH. 2, JOYCE'S GARDENS SUBDIVISION TO ASSURE THAT NEITHER SAID SUBDIVISION NOR ADJOINING PROPERTY WILL BE DAMAGED OR THE CHARACTER OF LAND USE BE AFFECTED BY THE VELOCITY AND VOLUME OF WATER ENTERING OR LEAVING SAME.

IN WITNESS WHEREOF, I, THE SAID PROFESSIONAL CIVIL ENGINEER HERETO SET OUT HAND AND AFFIX MY SEAL THIS _____ DAY OF _____, 2023

PROFESSIONAL CIVIL ENGINEER _____
STATE OF TENNESSEE CERTIFICATE NO. 110070

CERTIFICATE OF SURVEY:

I, _____, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HAVE SURVEYED THE LANDS EMBRACED WITHIN THE PLAT DESIGNATED AS PH. 2, JOYCE'S GARDENS SUBDIVISION A SUBDIVISION ALL LYING WITHIN THE CORPORATE LIMITS OF THE CITY OF BARTLETT, TENNESSEE, THAT SAID PLAT IS A TRUE AND CORRECT PLAT OF THE LANDS EMBRACED THEREIN, SHOWING THE SUBDIVISION THEREOF IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF BARTLETT, TENNESSEE. I FURTHER CERTIFY THAT THE SURVEY OF THE LANDS EMBRACED WITHIN SAID PLAT HAS BEEN CORRECTLY MONUMENTED IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF BARTLETT, TENNESSEE.

IN WITNESS WHEREOF, I, THE SAID, _____, SURVEYOR, HEREUNTO SET OUT HAND AND AFFIX MY SEAL THIS _____ DAY OF _____ 2023

LAND SURVEYOR
STATE OF TENNESSEE CERTIFICATE NO.

BOARD OF MAYOR AND ALDERMAN CERTIFICATE:

I, _____, HEREBY CERTIFY THAT ALL REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED OR THAT A PERFORMANCE BOND OR OTHER COLLATERAL IN SUFFICIENT AMOUNT TO ASSURE COMPLETION OF ALL REQUIRED IMPROVEMENTS HAS BEEN POSTED FOR THE SUBDIVISION SHOWN ON THIS PLAT AND ARE HEREBY APPROVED BY THE CITY OF BARTLETT, TENNESSEE.

DATE _____ MAYOR _____
CITY OF BARTLETT

PLANNING COMMISSION CERTIFICATE

I, _____, DO HEREBY CERTIFY THAT THE CITY OF BARTLETT PLANNING COMMISSION HAS APPROVED THIS PLAT OF SUBDIVISION FOR RECORDING.

DATE _____ SECRETARY _____
BARTLETT PLANNING COMMISSION

OWNER'S CERTIFICATE:

WE, LIBERTY PROPERTIES, OWNERS OF THE PROPERTY SHOWN HEREON, HEREBY ADOPT THIS PLAT AS OUR PLAN OF SUBDIVISION, AND DEDICATE THE STREETS, RIGHTS-OF-WAYS, EASEMENTS, AND RIGHTS OF ACCESS AS SHOWN AND /OR DESCRIBED TO THE PUBLIC USE FOREVER, AND HEREBY CERTIFY THAT WE ARE THE OWNERS IN FEE SIMPLE, DULY AUTHORIZED TO ACT AND THAT SAID PROPERTY IS UNENCUMBERED BY ANY TAXES WHICH HAVE BECOME DUE AND PAYABLE.

LIBERTY PROPERTIES _____ DATE _____

STATE OF TENNESSEE
COUNTY OF SHELBY

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC, IN AND FOR SAID STATE AND COUNTY AT MEMPHIS, DULY COMMISSIONED AND QUALIFIED, PERSONALLY APPEARED _____ WITH WHOM I AM PERSONALLY ACQUAINTED AND WHO UPON OATH ACKNOWLEDGED THAT HE EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED AS HIS OWN FREE ACT AND DEED.

WITNESS MY HAND AND NOTARIAL SEAL, THIS _____ DAY OF _____, 2023.

MY COMMISSION EXPIRES _____

_____, NOTARY PUBLIC

MORTGAGEE'S CERTIFICATE

WE, THE UNDERSIGNED, _____, MORTGAGEE OF THE PROPERTY SHOWN HEREON, HEREBY ADOPT THIS PLAT AS OUR PLAN OF SUBDIVISION AND DEDICATE THE STREETS, RIGHTS-OF-WAY, EASEMENTS, AND RIGHTS OF ACCESS AS SHOWN TO THE PUBLIC USE FOREVER, AND HEREBY CERTIFY THAT WE ARE THE MORTGAGEE DULY AUTHORIZED SO TO ACT AND THAT SAID PROPERTY IS UNENCUMBERED BY ANY TAXES WHICH HAVE BECOME DUE AND PAYABLE.

NAME _____ TITLE _____ INSTITUTION _____ DATE _____

STATE OF TENNESSEE
COUNTY OF SHELBY

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC, IN AND FOR SAID STATE AND COUNTY AT MEMPHIS, DULY COMMISSIONED AND QUALIFIED, PERSONALLY APPEARED _____ WITH WHOM I AM PERSONALLY ACQUAINTED AND WHO UPON OATH ACKNOWLEDGED HIMSELF TO BE _____ OF _____ AND HE AS SUCH _____ EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSE THEREIN CONTAINED BY SIGNING HIS NAME AS REPRESENTATIVE OF THE MORTGAGEE.

WITNESS MY HAND AND NOTARIAL SEAL, THIS _____ DAY OF _____, 2023.

MY COMMISSION EXPIRES _____

_____, NOTARY PUBLIC

RESTRICTIVE COVENANTS AND SIMILAR DOCUMENTS ARE PRIVATE IN SCOPE AND NOT SUBJECT TO GOVERNMENTAL APPROVAL AND ENFORCEMENT. PROTECTIVE COVENANTS FOR THIS SUBDIVISION HAVE BEEN FILED PRIOR TO THE RECORDING OF THIS PLAT IN THE SHELBY COUNTY REGISTERS OFFICE AND CAN BE FOUND IN INSTRUMENT NUMBER _____

FINAL PLAT
SHEET 2 OF 2
PHASE ONE-B
JOYCE'S GARDENS SUBDIVISION
BARTLETT, TENNESSEE

LIBERTY PROPERTIES
8480 EAST ORCHARD RD. - SUITE 1100
GREENWOOD VILLAGE, CO 80111
DEVELOPER

THE BRAY FIRM
2950 STAGE PLAZA NORTH
BARTLETT, TN 38134
901-383-8668
ENGINEER

DATE: MARCH 2023 SCALE: NONE LOTS: 12 10.308 ACRES ZONED: RS-15 PD

CONSTRUCTION NOTES:

1. PROPERTY LINES SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. GRADING, CLEARING AND THE ERECTION OR REMOVAL OF FENCES ALONG PROPERTY LINES SHALL BE FULLY COORDINATED WITH ADJACENT PROPERTY OWNERS.
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12. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN EROSION CONTROL DURING CONSTRUCTION BY THE PLACEMENT OF SILT FENCES AND HAY BALES WHERE NECESSARY TO PREVENT DOWNSTREAM SILTATION OF ANY DITCHES, PIPES, DRAINAGE STRUCTURES OR ADJACENT PROPERTIES. THE CONTRACTOR SHALL PROVIDE ANY ADDITIONAL EROSION CONTROL AS NEEDED OR AS DIRECTED BY THE ENGINEER.
13. CONTRACTOR SHALL PROVIDE ALL NECESSARY EROSION CONTROL METHODS AS PER THE CITY OF BARTLETT, SHELBY COUNTY, AND STATE OF TENNESSEE REGULATIONS.
14. ENGINEERS CERTIFICATE: THIS PROJECT HAS BEEN DESIGNED IN ACCORDANCE WITH THE CITY OF BARTLETT SUBDIVISION REGULATIONS AND SPECIFICATIONS.
15. LOT GRADING AND DRAINAGE:
FINISH GRADE SHALL BE SLOPED AWAY FROM THE FOUNDATION FOR DRAINAGE. THE FINISH GRADE MUST BEGIN AT LEAST 10 INCHES BELOW THE TOP OF THE FOUNDATION WALL OR THE GRADE OF THE CONCRETE SLAB AND FOUNDATION. THE MINIMUM GRADE AWAY FROM THE FOUNDATION WALL SHALL BE AT LEAST 5 PERCENT IN ALL DIRECTIONS. THE DRIVEWAY SHALL BE SLOPED DOWN AT 2 PERCENT FOR AT LEAST 8 FEET FROM THE STRUCTURE.
16. THE CITY OF BARTLETT SHALL HAVE INGRESS/EGRESS RIGHT TO USE PRIVATE DRIVES AND YARDS FOR THE PURPOSE OF MAINTAINING ALL PUBLIC UTILITIES AND SHALL BEAR NO RESPONSIBILITY FOR THE MAINTENANCE OF SAID DRIVES AND YARDS.

SEWER NOTES

1. CONTRACTOR SHALL ENSURE UNINTERRUPTED SEWER SERVICE ON EXISTING SEWER AND SERVICE CONNECTIONS BY PROVIDING AMPLE TEMPORARY WASTEWATER PUMPING AND/OR BYPASSING.
2. ALL SEWER MANHOLE LIDS IN OPEN AREAS ARE TO BE CONSTRUCTED 1.5' ABOVE PROPOSED GRAD. IN BACKYARDS, MANHOLE LIDS ARE TO BE 2.0' ABOVE THE INITIAL GRADE, 0.5' ABOVE FINAL GRADE, OR A MINIMUM 1.5' ABOVE THE 100 YEAR FLOOD ELEVATION (ALT. SEALED COVER & VENT STACK).
3. SANITARY SEWER, INCLUDING SERVICE CONNECTION, WHICH HAS LESS THAN 1.5' CLEARANCE (OUTSIDE OF PIPES) WITH DRAINAGE OR IN FILL AREAS SHALL BE CLASS 50 DIP OR CONCRETE ENCASED, 10' BOTH SIDES OF CROSSING. ALL DUCTILE IRON PIPE SHALL BE POLYETHYLENE LINED OR SHALL BE TREATED WITH PROTECTO 401 OR APPROVED EQUIVALENT.
4. SERVICE CONNECTIONS SHALL BE FIELD LOCATED, AND CONTRACTOR SHALL ASSURE THAT ALL EXISTING SERVICE CONNECTIONS EXTENDING TO RIGHT-OF-WAY SHALL BE RECONNECTED TO NEW SEWER LINES.
5. ALL SEWER MANHOLES SHALL BE 4 FEET IN DIAMETER UNLESS OTHERWISE NOTED.
6. ALL SANITARY SEWER TO BE CONSTRUCTED AS PER CITY OF BARTLETT STANDARD CONSTRUCTION SPECIFICATIONS. ALL SANITARY SEWER SERVICE CONNECTIONS TO BE INSTALLED AS PER CITY OF BARTLETT DETAIL.
7. ALL 6 INCH AND 8 INCH SANITARY SEWER PIPE SHALL BE SDR-26 PVC UNLESS OTHERWISE NOTED.
8. THE CITY OF BARTLETT SHALL HAVE INGRESS/EGRESS RIGHTS TO USE PRIVATE DRIVES AND YARDS FOR THE PURPOSE OF MAINTAINING ALL PUBLIC UTILITIES AND SHALL BEAR NO RESPONSIBILITY FOR THE MAINTENANCE OF SAID PRIVATE DRIVES AND YARDS.
9. NO LARGE TREES, SHRUBS, PERMANENT STRUCTURES OR OTHER UTILITIES (EXCEPT FOR CROSSINGS) WILL BE ALLOWED WITHIN THE SANITARY SEWER EASEMENT.
10. DAMAGED OR BROKEN CURB SHALL BE REPAIRED CONSISTENT WITH THE CITY OF BARTLETT POLICY PRIOR TO RELEASE, ACCEPTANCE, OR BOND REDUCTION.
11. ALL FILL AND/OR TRENCH BACKFILL AREAS SHALL BE COMPACTED IN 6" LIFTS TO 95% STANDARD PROCTOR WITHIN 3% OF OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D698-78 LATEST REVISION (STANDARD PROCTOR).

NOTE: THE TOP OF SANITARY SEWER MANHOLES LOCATED WITHIN THE STREET R.O.W. SHALL CONFORM TO THE FINAL GRADE OF THE STREET.

EROSION CONTROL NOTES

1. EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE AND FUNCTIONAL PRIOR TO COMMENCEMENT OF EARTH MOVING OPERATIONS.
2. ALL EROSION AND SEDIMENT CONTROL MEASURES MUST BE PROPERLY CONSTRUCTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
3. CHECK ALL EROSION AND SEDIMENT CONTROL MEASURES WEEKLY AND AFTER EACH RAINFALL. DAILY CHECKING IS REQUIRED DURING PROLONGED RAINFALL. MAINTAIN A PERMANENT LOG OF CHECKS AND MAINTENANCE MEASURES.
4. KEEP CONSTRUCTION DEBRIS FROM ENTERING STORM SEWERS.
5. PROMPTLY BACKFILL AND STABILIZE TRENCHES AND/OR PITS.
6. DESIGNATE A SPECIFIC INDIVIDUAL TO BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROLS AND TO KEEP THE PERMANENT LOG.
7. EROSION CONTROLS ARE NOT LIMITED TO THE SPECIFIED PRACTICES, HOWEVER, ALTERNATIVE MEASURES MUST BE AT LEAST AS EFFECTIVE IN CONTROLLING EROSION AND SEDIMENTATION.
8. RE-VEGETATION OF EXPOSED GROUND SHOULD BEGIN AS SOON AS CONSTRUCTION PERMITS.
9. INSTALL STAKED AND ENTRENCHED STRAW BALES AND/OR SILT FENCE ALONG THE BASE OF ALL BACKFILLS AND CUTS, ON THE DOWNHILL SIDE OF STOCKPILED SOIL, AND ALONG DITCH BANKS IN CLEARED AREAS TO PREVENT EROSION INTO DITCHES, DO NOT PLACE SILT FENCE IN FLOWING DITCH.

NOTE: THIS PROPERTY DOES NOT LIE WITHIN THE 100 YEAR FLOOD HAZARD PER F.E.M.A. MAP NUMBER 47157CD190G AND 47157CD190G DATED FEBRUARY 6, 2013

REVISIONS		
ITEM NO.	DESCRIPTION OF CHANGE	DATE APPROVED



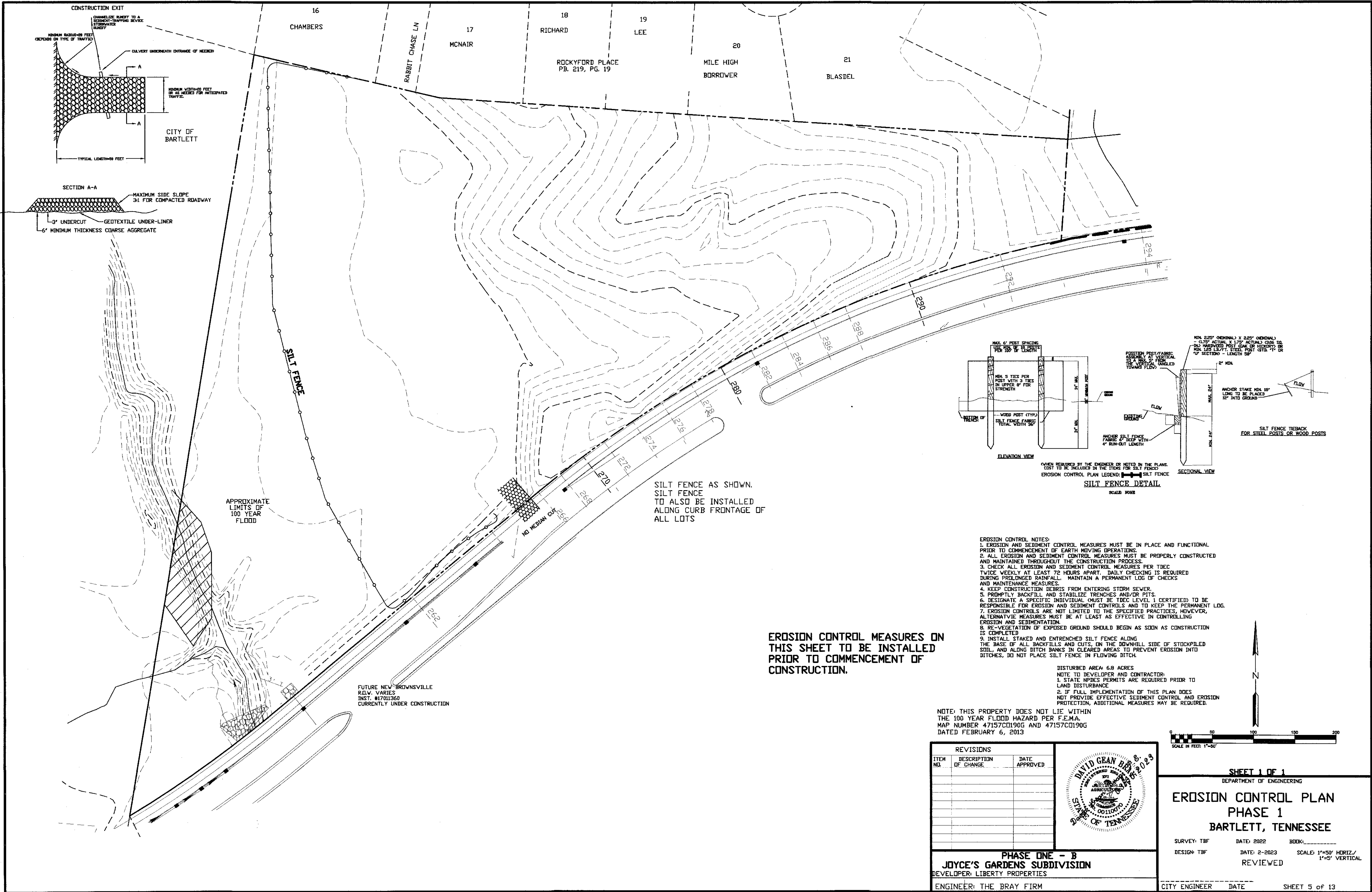
PHASE ONE - B
JOYCE'S GARDENS SUBDIVISION
DEVELOPER: LIBERTY PROPERTIES
ENGINEER: THE BRAY FIRM

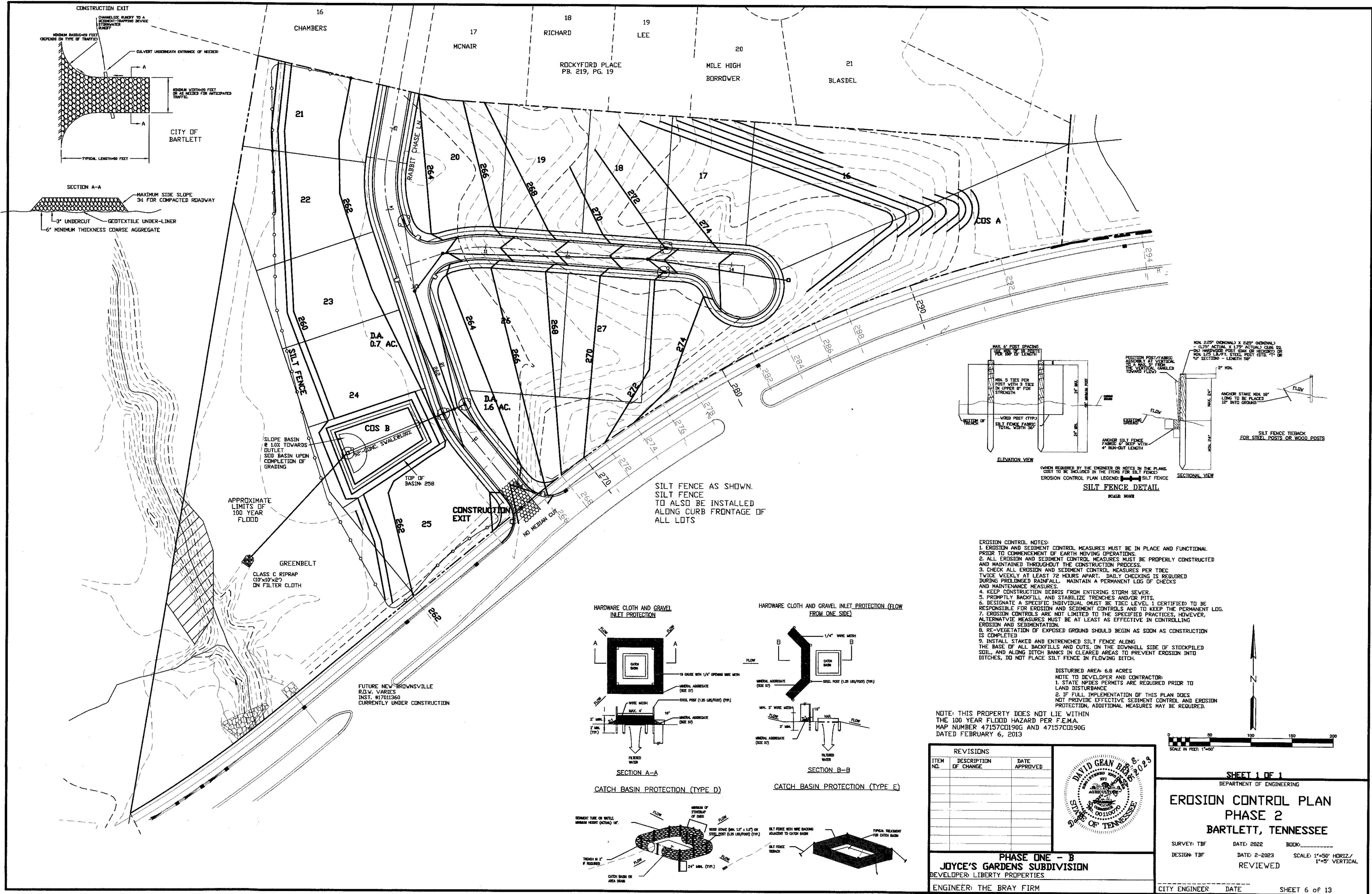
DEPARTMENT OF ENGINEERING

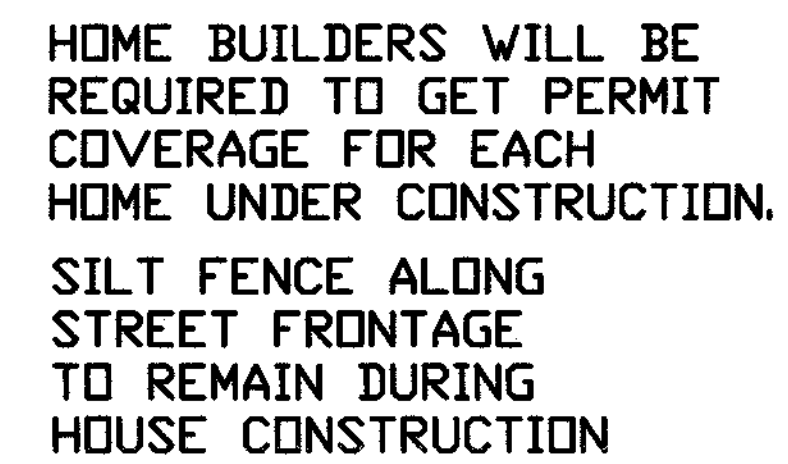
GENERAL CONSTRUCTION NOTES

BARTLETT, TENNESSEE

SURVEY: TBF DATE: 2022 BOOK: _____
DESIGN: TBF DATE: 1-2023 SCALE: NONE
REVIEWED







SHEET 1 OF 1
DEPARTMENT OF ENGINEERING

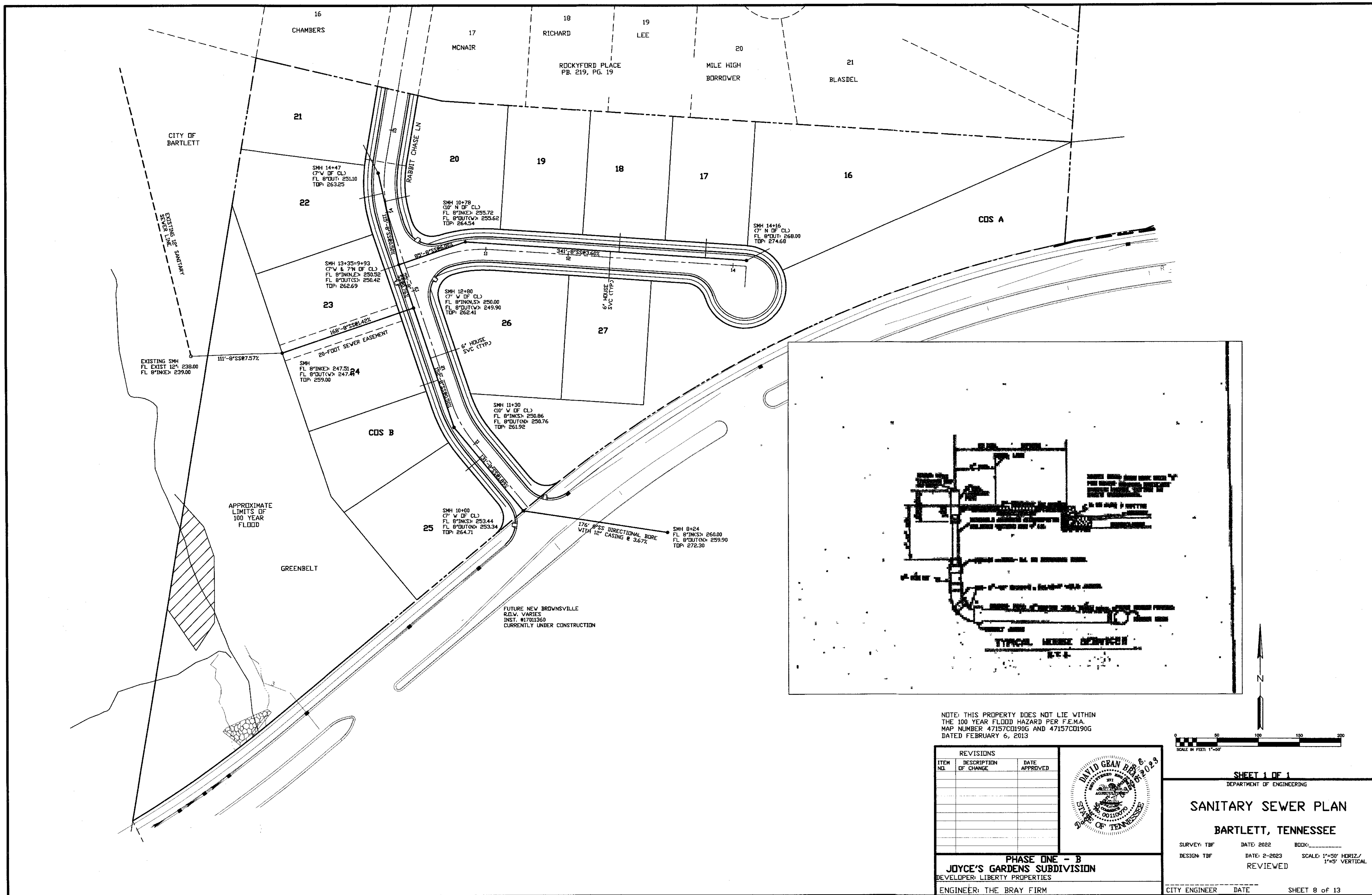
EROSION CONTROL PLAN
PHASE 3
BARTLETT, TENNESSEE

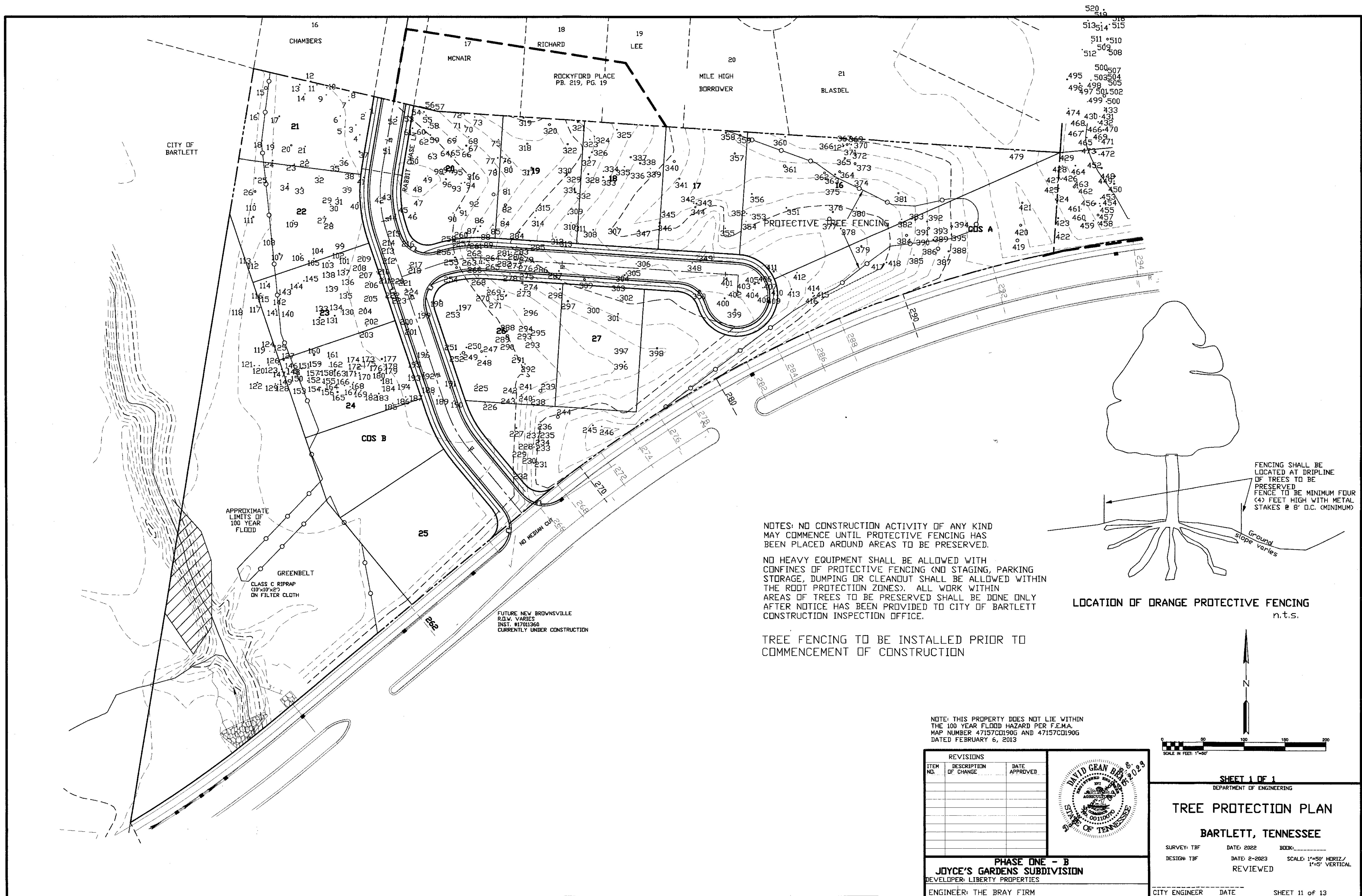
SURVEY: TBF DATE: 2022 BOOK: _____

DESIGN: TBF DATE: 2-2023 SCALE: 1"=50' HORIZ: 1"=5' VERTICAL

REVIEWED

CITY ENGINEER DATE SHEET 7 of 13

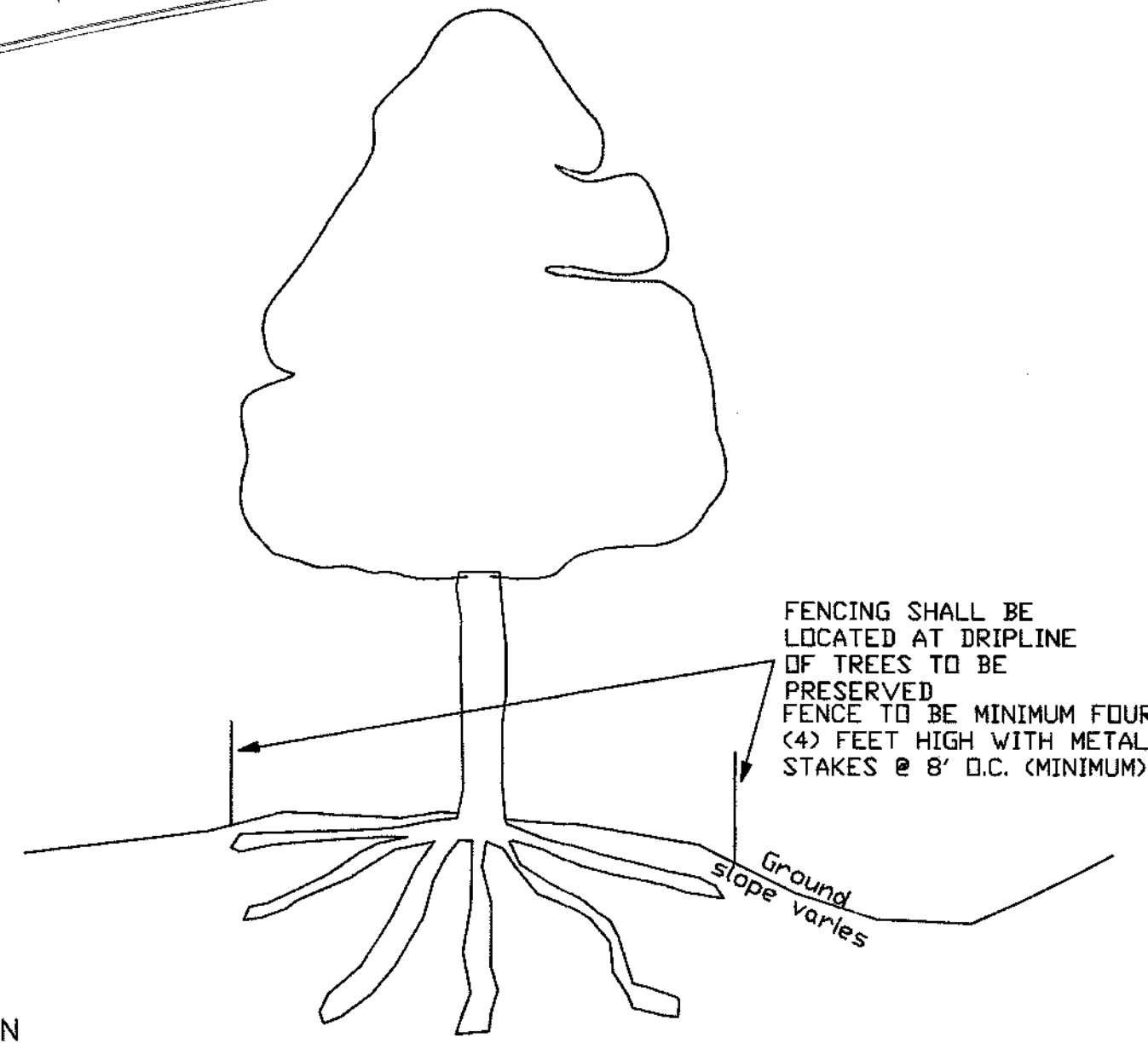




NOTES: NO CONSTRUCTION ACTIVITY OF ANY KIND MAY COMMENCE UNTIL PROTECTIVE FENCING HAS BEEN PLACED AROUND AREAS TO BE PRESERVED.

NO HEAVY EQUIPMENT SHALL BE ALLOWED WITHIN CONFINES OF PROTECTIVE FENCING (NO STAGING, PARKING, STORAGE, DUMPING OR CLEANOUT SHALL BE ALLOWED WITHIN THE ROOT PROTECTION ZONES). ALL WORK WITHIN AREAS OF TREES TO BE PRESERVED SHALL BE DONE ONLY AFTER NOTICE HAS BEEN PROVIDED TO CITY OF BARTLETT CONSTRUCTION INSPECTION OFFICE.

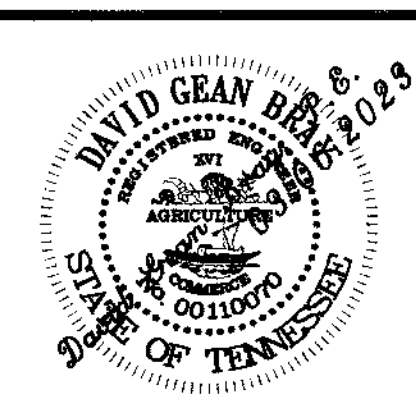
TREE FENCING TO BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION



LOCATION OF ORANGE PROTECTIVE FENCING
n.t.s.

NOTE: THIS PROPERTY DOES NOT LIE WITHIN THE 100 YEAR FLOOD HAZARD PER F.E.M.A. MAP NUMBER 47157CD190G AND 47157CD190G DATED FEBRUARY 6, 2013

REVISIONS		
ITEM NO.	DESCRIPTION OF CHANGE	DATE APPROVED



PHASE ONE - B
JOYCE'S GARDENS SUBDIVISION
DEVELOPER: LIBERTY PROPERTIES
ENGINEER: THE BRAY FIRM

0 50 100 150 200
SCALE IN FEET: 1"=50'

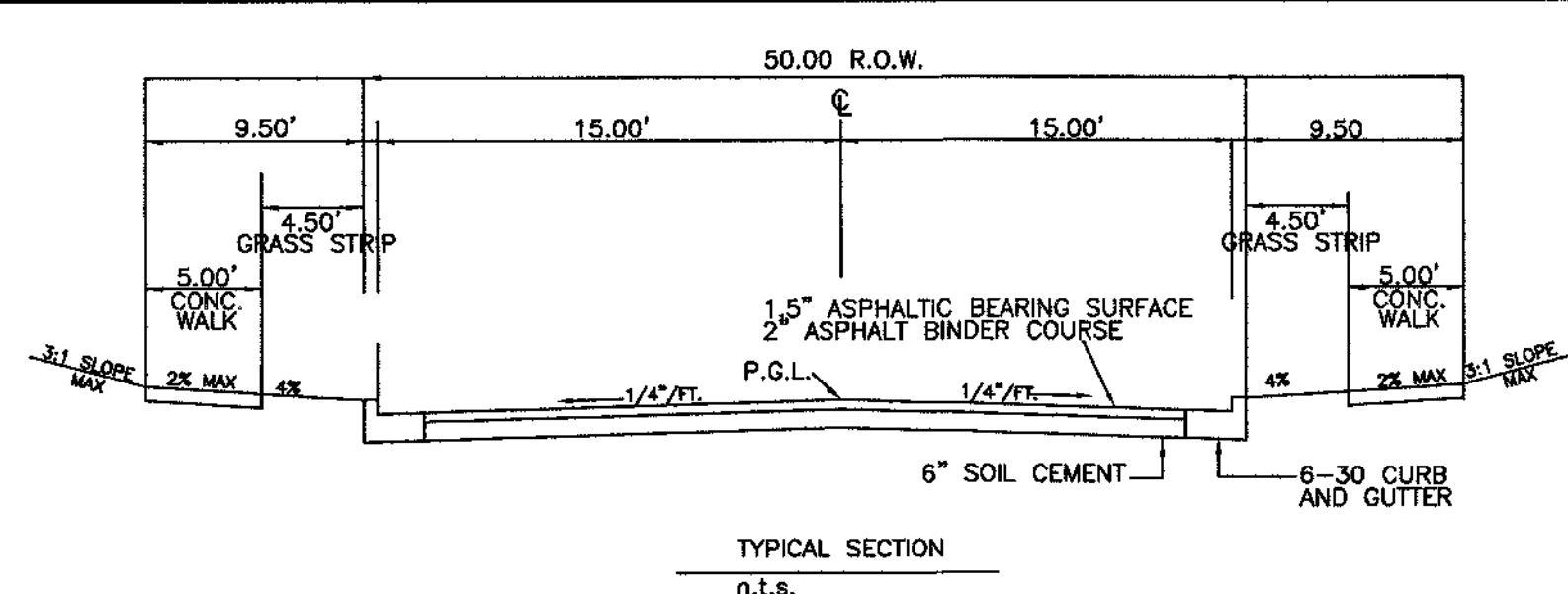
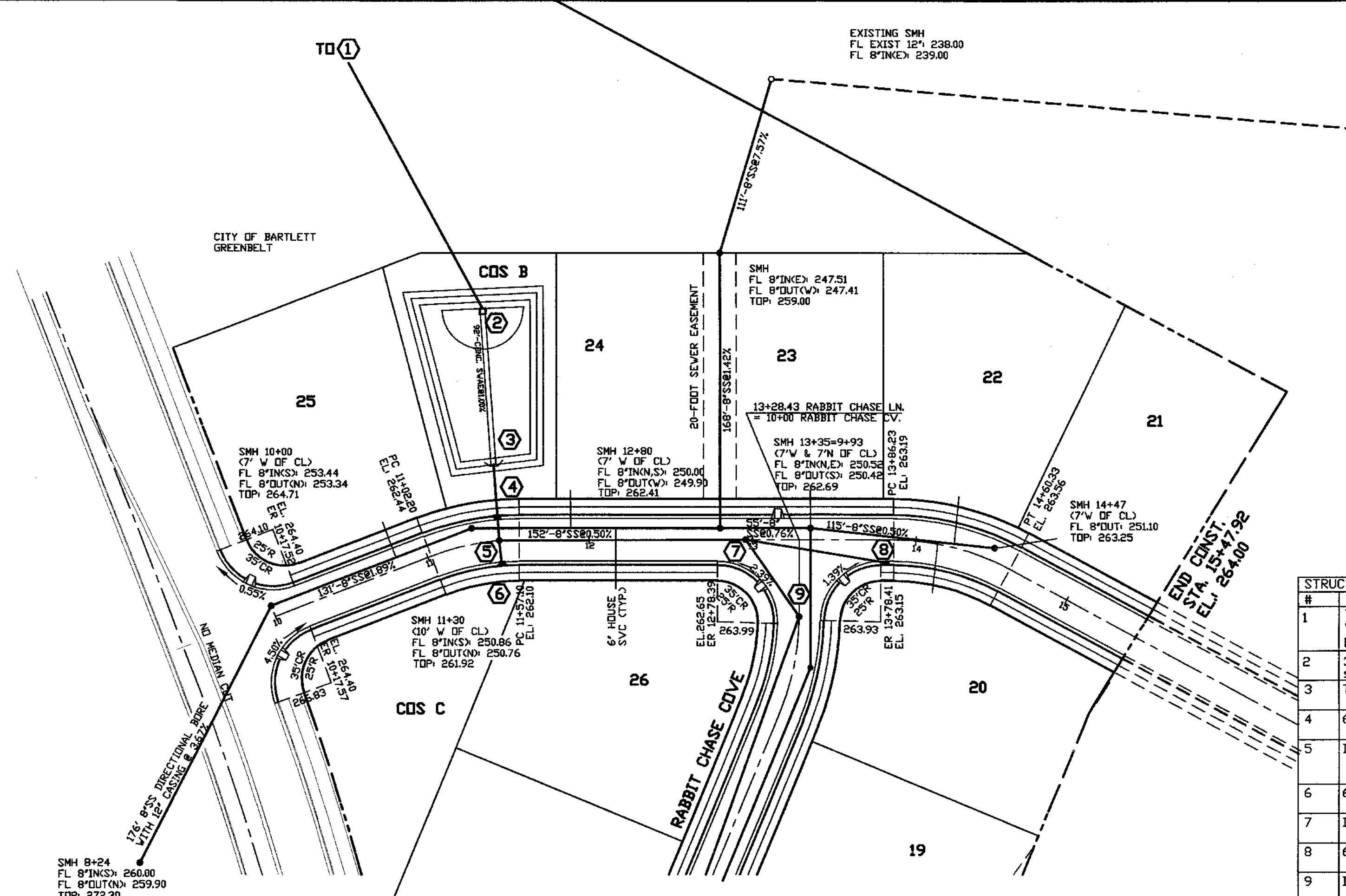
N

SHEET 1 OF 1
DEPARTMENT OF ENGINEERING

TREE PROTECTION PLAN
BARTLETT, TENNESSEE

SURVEY: TBF DATE: 2022 BOOK: _____
DESIGN: TBF DATE: 2-2023 SCALE: 1"=50' HORIZ./1"=5' VERTICAL
REVIEWED

CITY ENGINEER DATE SHEET 11 OF 13

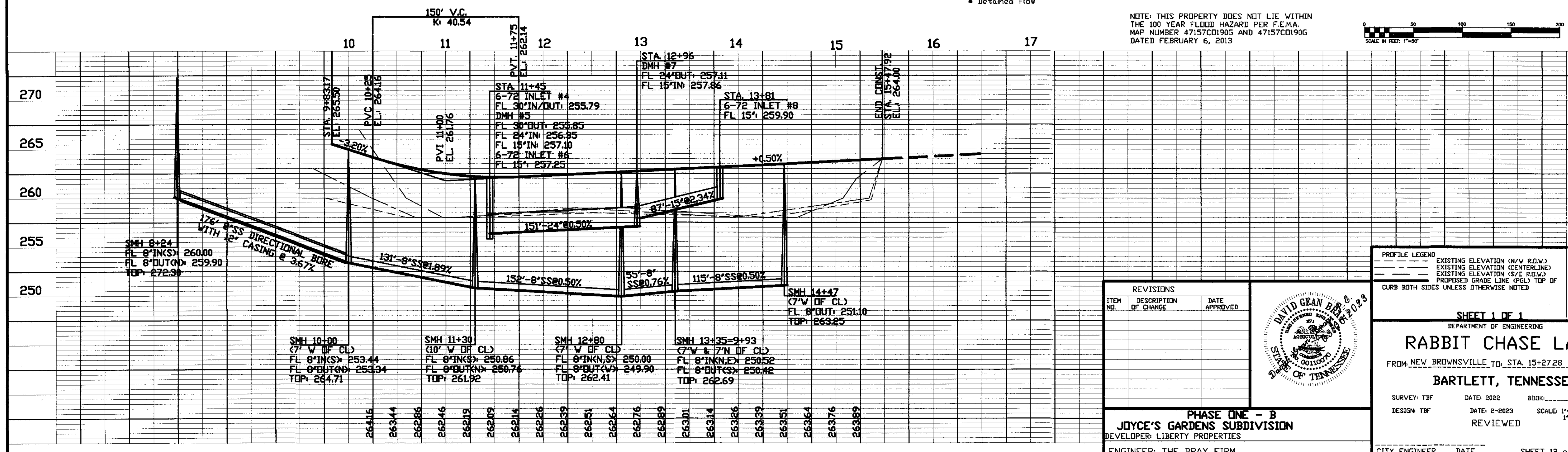


PUBLIC STORM DRAINAGE PIPE DATA									
FROM	TO	DIA.	LENGTH	SLOPE	AREA	Q25	QC	V25	
#	#	in.	ft.	%	sq. ft.	cfs	cfs	f/s	
2	254.75	1	253.22	24"	306	0.50	6.6	14.8	5.1
4	255.79	3	255.67	30"	31	0.40	6.3	19.7	5.3
5	255.65	4	255.79	30"	15	0.40	5.6	17.7	5.3
6	257.25	5	257.10	15"	15	1.00	1.6	5.6	5.3
7	257.11	5	256.35	24"	151	0.50	4.0	13.2	5.1
8	259.90	7	257.86	15"	87	2.34	1.6	5.6	9.8
9	259.57	7	257.86	15"	57	3.00	2.4	8.3	11.1
10	267.04	9	259.57	15"	249	3.00	2.4	8.3	11.1
11	267.79	10	267.04	15"	25	3.00	0.9	3.2	11.1
12	267.79	10	267.04	15"	25	3.00	0.5	1.8	11.1
13	272.20	10	267.04	15"	172	3.00	1.0	3.5	11.1

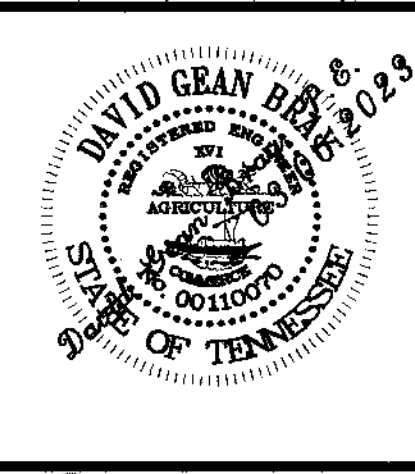
PUBLIC DRAINAGE STRUCTURE INFORMATION					
STRUCTURE	AREA	Q25	Qin	ITEM	
#	TYPE	sq. ft.	cfs	cfs	
1	TYPE E HW V/ CLASS C RIPRAP	N/A	N/A	N/A	253.22 TOP 256.00
2	3x3 INLET see detail	6.6	14.8	14.8	254.75 THROAT 257.00
3	Type D HW	N/A	N/A	N/A	255.67 TOP 258.50
4	6-72 INLET	0.7	2.5	2.5	30" IN/OUT 255.79
5	DMH	N/A	N/A	N/A	30" OUT 255.85 24" IN 256.35 15" IN 257.10
6	6-72 INLET	1.6	5.6	5.6	15" 257.25
7	DMH	N/A	N/A	N/A	24" OUT 257.11 15" IN 257.86
8	6-72 INLET	1.6	5.6	5.6	15" 259.90
9	DMH	N/A	N/A	N/A	15" IN/OUT 259.57
10	DMH	N/A	N/A	N/A	15" IN/OUT 267.04
11	6-72 INLET	0.9	3.2	3.2	15" 267.79
12	6-72 INLET	0.5	1.8	3.2	15" 267.79
13	3070 INLET	1.0	3.5	3.5	15" THROAT 272.20 274.50

* Detained flow

NOTE: THIS PROPERTY DOES NOT LIE WITHIN THE 100 YEAR FLOOD HAZARD PER F.E.M.A. MAP NUMBER 47157CD190G AND 47157CD190G DATED FEBRUARY 6, 2013



REVISIONS		
ITEM NO.	DESCRIPTION OF CHANGE	DATE APPROVED

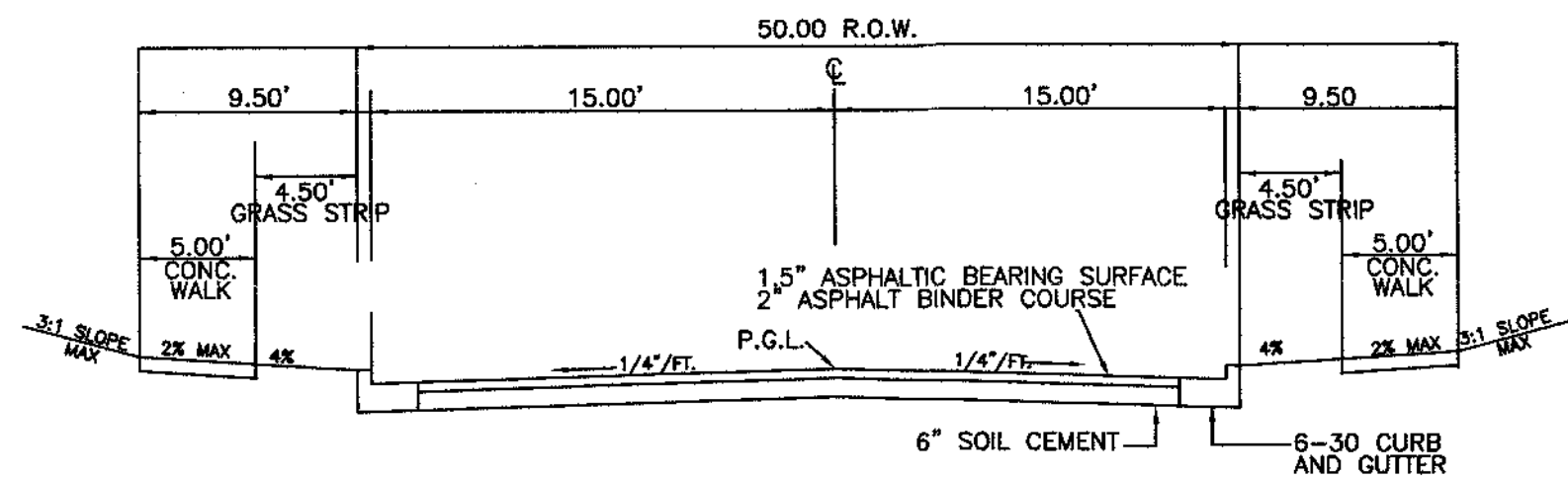
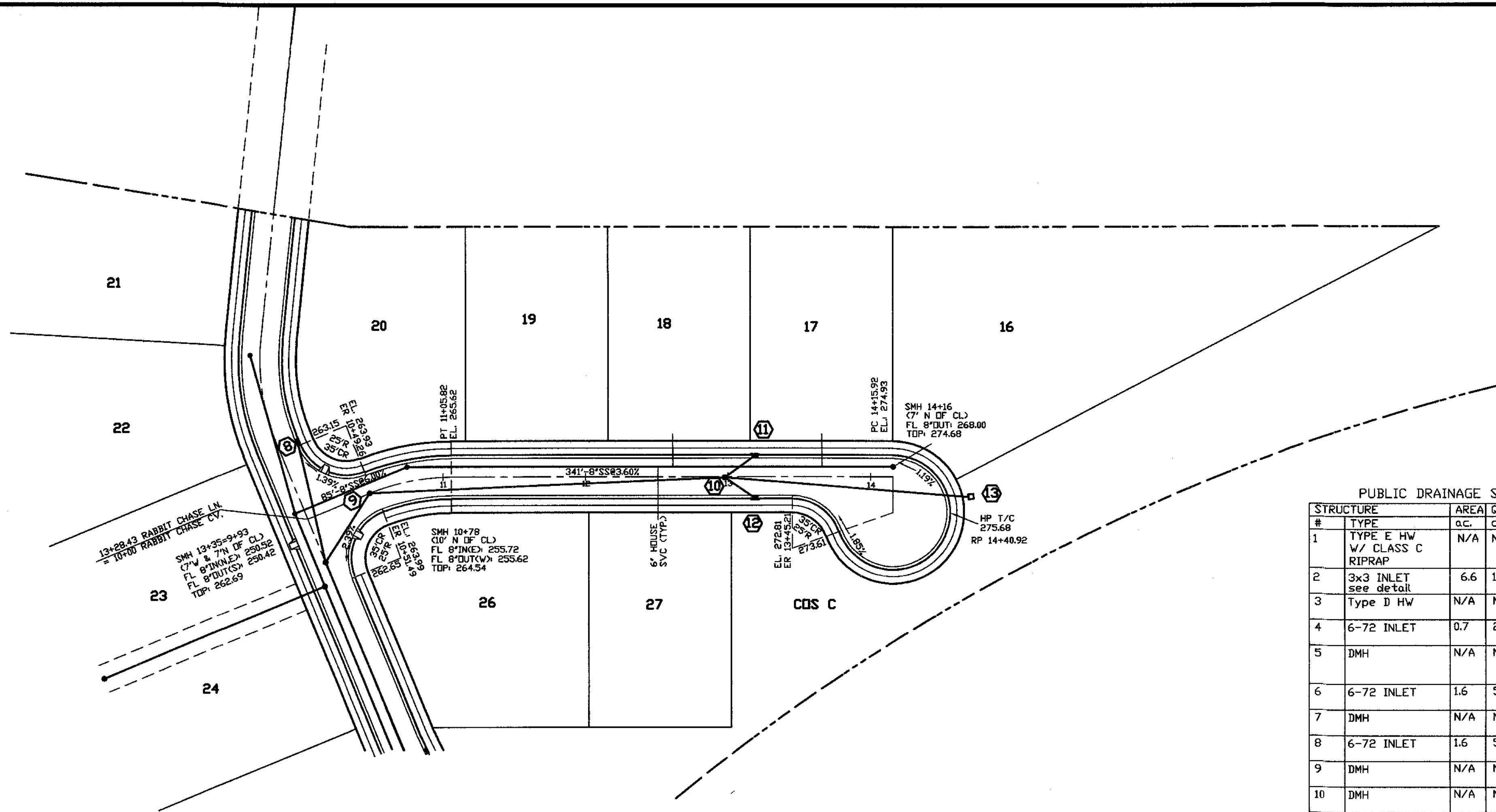


PROFILE LEGEND
- - - EXISTING ELEVATION (M/W R.O.W.)
- - - EXISTING ELEVATION (CENTERLINE)
- - - EXISTING ELEVATION (S/E R.O.W.)
- - - PROPOSED GRADE LINE (PGL) TOP OF CURB BOTH SIDES UNLESS OTHERWISE NOTED

SHEET 1 OF 1
DEPARTMENT OF ENGINEERING
RABBIT CHASE LANE
FROM NEW BROWNSVILLE TO STA. 15+27.28
BARTLETT, TENNESSEE

SURVEY: TBF DATE: 2022 BOOK: _____
DESIGN: TBF DATE: 2-2023 SCALE: 1"=50' HORIZ / 1"=5' VERTICAL
REVIEWED: _____
CITY ENGINEER DATE: _____ SHEET 12 OF 13

PHASE ONE - B
JOYCE'S GARDENS SUBDIVISION
DEVELOPER: LIBERTY PROPERTIES
ENGINEER: THE BRAY FIRM

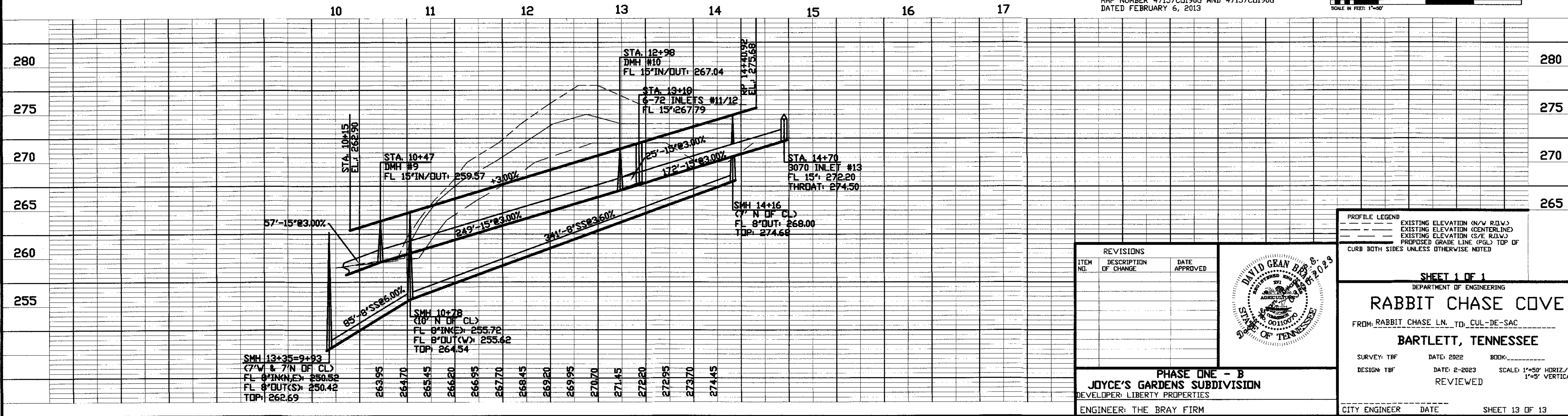


PUBLIC STORM DRAINAGE PIPE DATA										
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PUBLIC DRAINAGE STRUCTURE INFORMATION					
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3	Type D HW	N/A	N/A	N/A	30" TDP 255.67 258.50
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5	DMH	N/A	N/A	N/A	30" OUT 255.85 256.35 15" IN 257.10 257.25
6	6-72 INLET	1.6	5.6	5.6	15" 257.11 257.86
7	DMH	N/A	N/A	N/A	24" OUT 257.86 259.90
8	6-72 INLET	1.6	5.6	5.6	15" IN 259.57 259.57
9	DMH	N/A	N/A	N/A	15" IN/OUT 267.04 267.04
10	DMH	N/A	N/A	N/A	15" IN/OUT 267.79 267.79
11	6-72 INLET	0.9	3.2	3.2	15" 272.20 274.50
12	6-72 INLET	0.5	1.8	3.2	15" 272.20 274.50
13	3070 INLET	1.0	3.5	3.5	THROAT 272.20 274.50

* Detained flow

NOTE: THIS PROPERTY DOES NOT LIE WITHIN THE 100 YEAR FLOOD HAZARD PER F.E.M.A. MAP NUMBER 47157CD190G AND 47157CD190G DATED FEBRUARY 6, 2013





City of Bartlett, Tennessee Municipal Planning Commission Staff Report

Subdivision: Final Plan

Joyce's Gardens Phase 1B

DATE: April 3, 2023

STAFF: Kim Taylor, Planning Director; Sam Harris, Senior Planner; Leslie Brock, Planner; John Horne, Engineering Director; Erin Campbell, Assistant Engineering Director; Becky Bailey, Engineer; Dalan Hubbard, Engineer

SUBJECT: Final Plan Application Review

APPLICANT: David Bray, The Bray Firm

DEVELOPER: Gary Blume, Liberty Properties

SITE LOCATION: North Side of New Brownsville Road & West of Springtree Drive

SITE ACREAGE: 10.308 acres

ZONING: "RS-15" Single Family Residential

LOTS: 12

INTRODUCTION:

Mr. David Bray with The Bray Firm is requesting Planning Commission approval of a Final Plan for Joyce's Gardens Planned Development Phase 1B. The subject property is located on the north side of New Brownsville Road between Ellendale Road and Rockyford Road, and it is within the "RS-15" Single Family Residential Zoning District.

BACKGROUND:

On August 1, 2022, the Planning Commission approved a favorable recommendation for the Joyce's Gardens Planned Development that was forwarded to the Board of Mayor and Aldermen. On September 27, 2022, the Board of Mayor and Aldermen approved the Joyce's Gardens Planned Development. Joyce's Gardens Planned Development was approved as the subdivision of 27.107 acres of land into a 42 lot planned residential subdivision with 4 common open space lots. The lot sizes will range from 8,775-square feet to 36,974-square feet. The proposed development will occur in two phases.

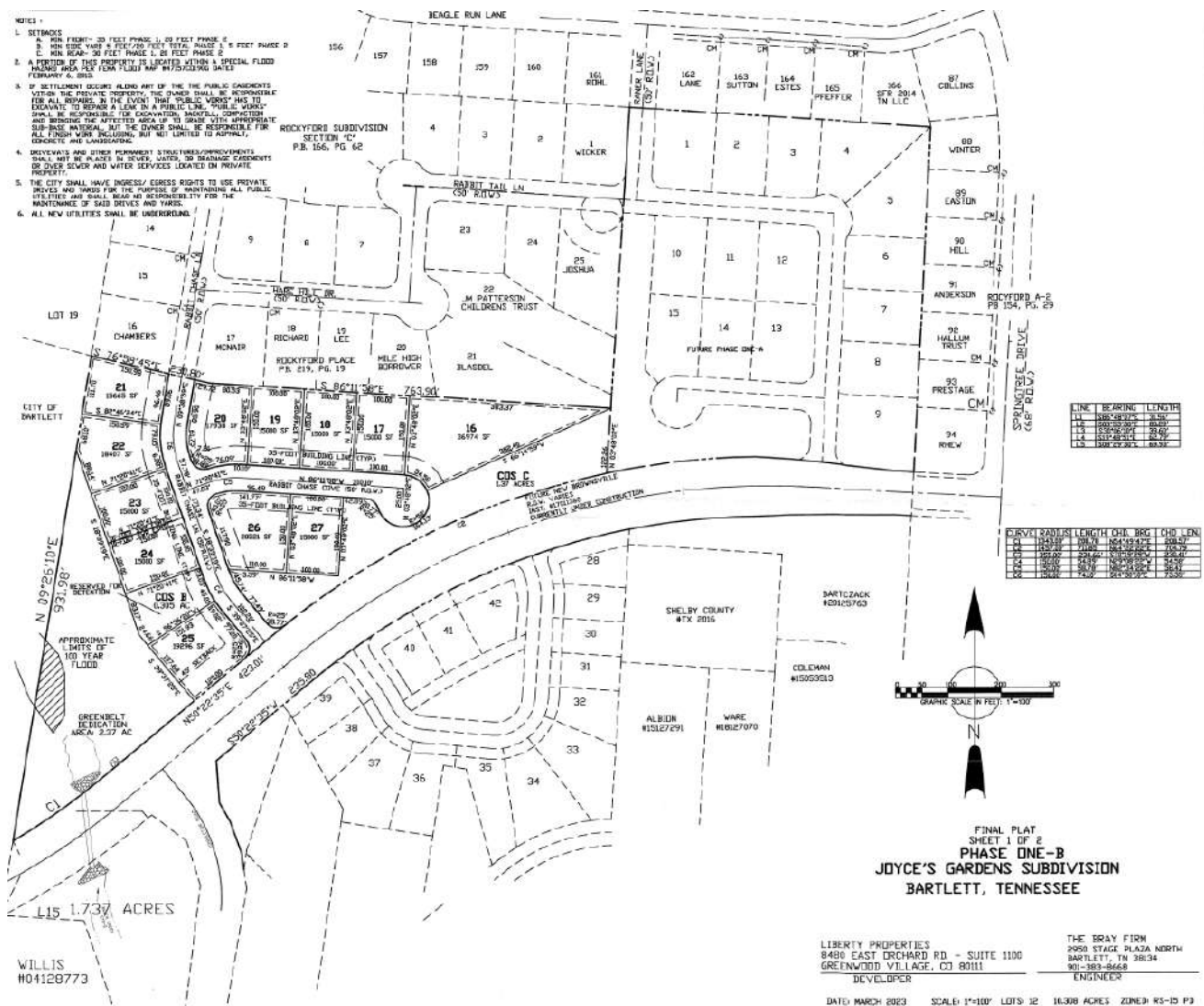
Phase 1 will consist of Lots 1-27 and Common Open Space Lots A and B, and it will be located north of the future extension of New Brownsville Road and south of the adjacent Rockyford Place and Rockyford residential subdivisions. Therefore, Phase 1 will blend in with the adjacent residential neighborhood by meeting the underlying "RS-15" zoning restrictions for lot sizes and building setbacks. Stormwater detention will be handled by detention basins on Common Open Space Lots A and B.

Phase 2 will consist of Lots 28-42 and Common Open Space Lots C and D, and it will be located south of the future extension of New Brownsville Road and north of the existing Old Brownsville Road on property that is encumbered by an existing cemetery located between Lots 35 and 36. Therefore, Phase 2 will utilize reduced lot sizes and building setbacks. Although, only 5 lots of the proposed 15 lots within Phase 2 will have lot sizes less than the adjacent "RS-15" and "RS-12" single family residential zoning. Stormwater detention will be handled by a detention basin on Common Open Space Lot D.

DISCUSSION:

The specific request by the applicant is for the approval of a Final Plan for Joyce's Gardens Planned Development Phase 1B. The applicant is proposing to subdivide the existing 10.308 acre subject property into 12 lots identified as Lots 17-27 and Common Open Space Lots A and B. Phase 1B will be located north of the future extension of New Brownsville Road and south of Rockyford Place.. The lot sizes will range in size from 15,000 to 20,521 square feet. Access to the subdivision will be from Rabbit Chase Lane off New Brownsville Road.

Recommendation: Approval with conditions.



Engineering Conditions:

General:

1. A full subdivision contract will be required.
2. All new utilities shall be underground.
3. Handicap ramps are required at street corners.
4. Lot 25 will be restricted from access to New Brownsville Road.
5. All mark-ups and corrections shall be addressed on the revised plans.
6. Construction access will not be permitted on New Brownsville until the road-way is finished and released to the City of Bartlett.
7. COS sidewalk shall be installed during site construction.
8. Tree survey is required.

9. Traffic Control Plan will be required.
10. Street signage shall be added to plans.
11. Utilities requiring work in New Brownsville road must be bored.

Plat:

12. All COS shall be maintained by the Homeowners Association. This includes the detention basin and outlet structure.
13. Drainage easement shall be shown in COS B to include the pipe and structure 4 into the detention basin as well as structure 2 and the pipe out of the detention basin.
14. Sidewalk table shall be added. Sidewalk on New Brownsville Road are 8 feet wide.
15. Show location of subdivision concrete monuments to be installed as required by the subdivision ordinance.

Planning Conditions:

1. The applicant shall rename the subdivision to Joyce's Gardens Planned Development since this development is being approved as a planned development in lieu of a standard subdivision.
2. The applicant shall rename COS C to COS A since COS C is included in Phase 2.
3. The applicant will need to add a note to the plat to deny driveway access to New Brownsville Road for Lots 25 and COS A.
4. The applicant must attach the home owners association bylaws instrument number and the covenants and restrictions instrument number to the final plat.
5. The applicant shall add a condition to the plat as well as within the restrictive covenants to prohibit RV, boat, trailer, and the like storage within Joyce's Gardens Planned Development.
6. The applicant shall provide within the restrictive covenants rules and restrictions concerning the style and placement of fences within Joyce's Gardens Planned Development.
7. The applicant shall submit a site plan application to the Design Review Commission for the common open space areas and the amenities to be installed in the common open space areas within Joyce's Gardens Planned Development Phase 1B.

8. The applicant shall submit construction and final plans for Joyce's Gardens Planned Development Phase 1A to the Planning Commission. The applicant shall also submit a site plan application to the Design Review Commission for the common open space areas and the amenities to be installed in the common open space areas for Joyce's Gardens Planned Development Phase 1A.
9. The owner/applicant shall be present at the meeting in order to make decisions relative to any changes that may be suggested by the Planning Commission.

Bartlett Planning and
Economic Development Department
6382 Stage Road, P.O. Box 341148
Bartlett, TN 38184-1148
901-385-6417 FAX 901-385-6419
www.cityofbartlett.org

Bartlett Planning Commission
Application for Final Subdivision Plan/Plat
Approval

Subdivision Name THORN'S GARDENS S/D, PHASE ONE-B No. of Lots 12
Subdivision Location NORTH SIDE OF NEW BRIDGESIDE, 750' W OF SPANGLER
Owner/Developer Contact GARY BLUME Phone _____
Company Name CLARITY PROPERTIES Fax _____
Address 8990 EAST HAVARD RD, SUITE 1100 CLARKSVILLE, TN 37041
Email Address _____
Architect Contact _____ Phone _____
Company Name _____ Fax _____
Address _____
Email Address _____
Engineer Contact DAVID BLY Phone _____
Company Name THE BLY FIRM Fax _____
Address 8950 STAGE PLAZA NORTH BARTLETT, TN 38184
Email Address dbly@comcast.net

Submitted by David Bly DR Bly 03.06.23
(printed name) (signature) (date)

Email Address dbly@comcast.net Phone 901.383.8669 Fax _____

db Acknowledge (by initials in the blank to the left) that the "Application Instructions: Planning Commission" were obtained and read prior to submitting this application.

db The "Final Subdivision Plan Checklist" has been completed and required all items have been provided. (See reverse page/or attached checklist)

db Provide 18-folded (± 10 "x13") sets of plans with a copy of the signed application attached to each set.

db Provide an electronic PDF file of the plans. Note that an updated electronic file is required when plans are revised.

db Include a fee of \$300.00 plus \$20.00 per lot with this application (check payable to the City of Bartlett). The fee is not refundable.

I, the property owner(s) hereby authorize the filing of this application.

GARY BLUME Gary Blume 3/6/2023
(print name) (signature) (date)

RECEIVED

MAR 06 2023

CITY OF BARTLETT

Final Subdivision Plan/Plat Checklist

The applicant shall either indicate that the following items have been completed by a check (✓) or that they are not applicable (n/a).

- ☒ Drawn in ink on 20" x 24" mylar, at a scale of 1" = 100'.
- ☒ Bearing and length of every street line, lot line, boundary line, block line and building line whether curved or straight.
- ☒ Subdivision name and location
- ☒ Location sketch map
- ☒ Date
- ☒ "Grid" or "true" north point
- ☒ Name of adjoining landowners, developments
- ☒ Written boundary survey
- ☒ Location and description of a clearly identified and verifiable point of beginning for the survey
- ☒ Buildings setback lines
- ☒ Reservations for all easements
- ☒ Areas dedicated for public use
- ☒ Areas of non-residential use
- ☒ Areas of flood hazard
- ☒ Lots numbered in numerical order

- ☒ Landscaped buffer strips
- ☒ Street names
- ☒ Restrictive covenants

The following, with dimensions to nearest one hundredth (1/100th) of a foot and angles or true or grid bearings to the nearest twenty seconds of arc (20"):

- ☒ Lot lines
- ☒ Street & road lines
- ☒ Alley lines

The following completed certificates where applicable:

- ☒ Owner
- ☒ Surveyor or Engineer
- ☒ Storm drainage
- ☒ Board of Mayor and Aldermen
- ☒ Planning Commission
- ☒ Mortgagee

In addition to the Final Plan drawing, the following shall be provided:

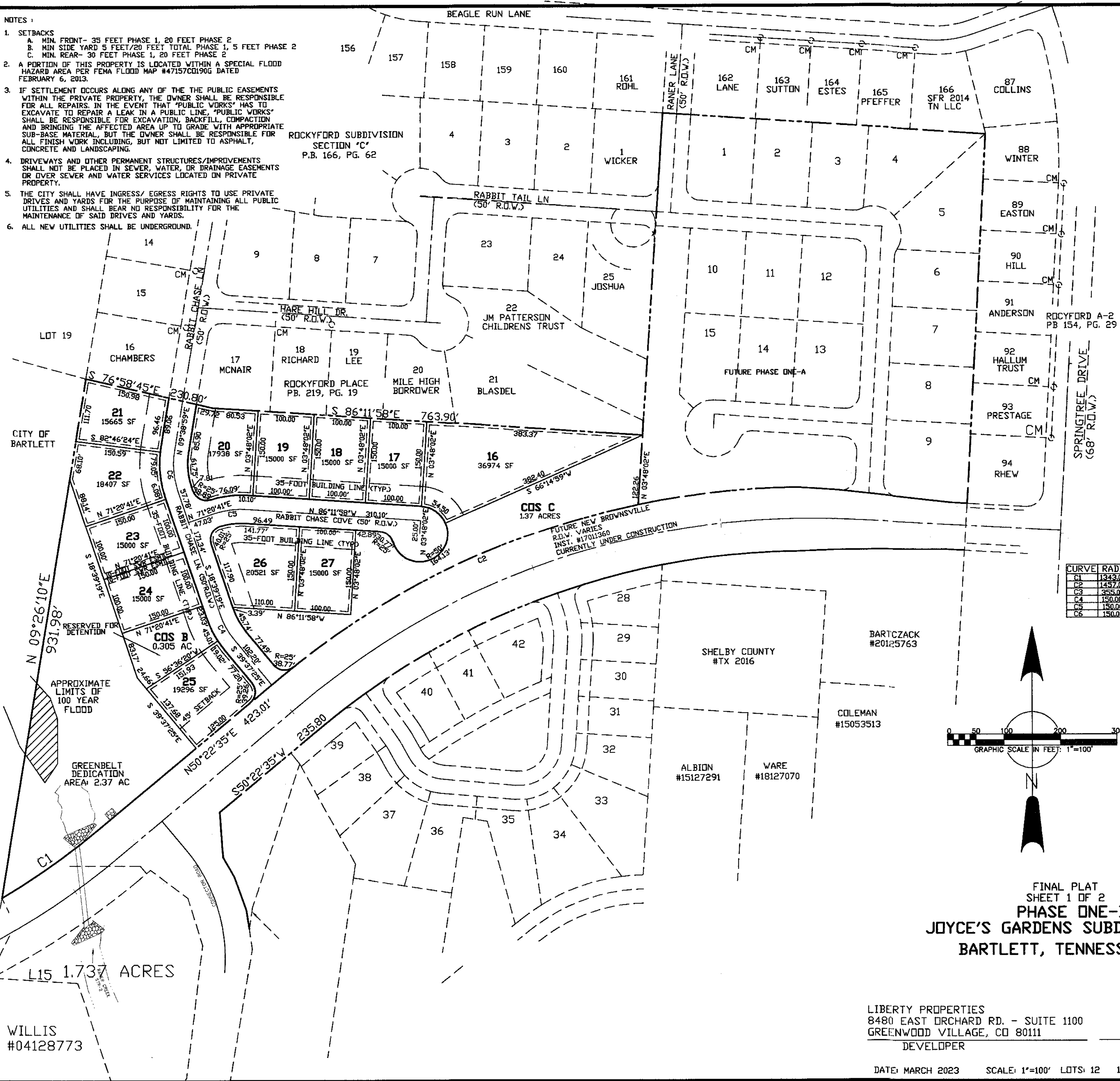
- ☒ One PDF file of the pictorial portion of the Final Plan, for display at the Planning Commission meeting.

INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED

NOTES:

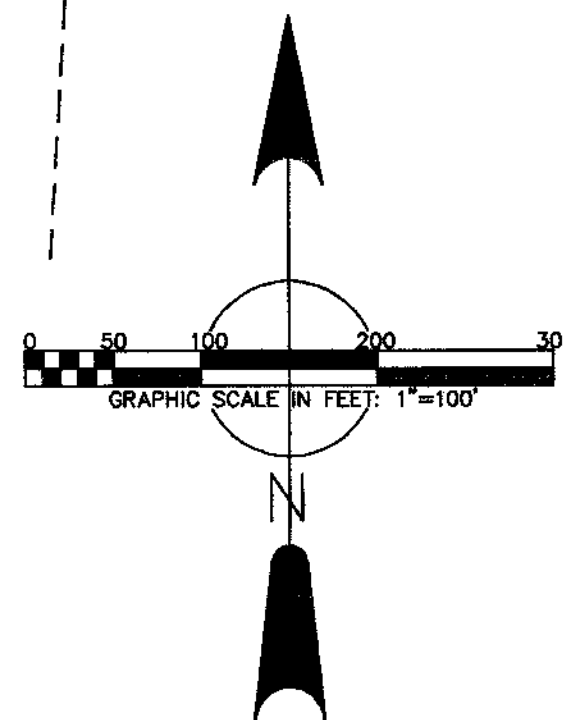
- SETBACKS
 - MIN. FRONT- 35 FEET PHASE 1, 20 FEET PHASE 2
 - MIN. SIDE YARD 5 FEET/20 FEET TOTAL PHASE 1, 5 FEET PHASE 2
 - MIN. REAR- 30 FEET PHASE 1, 20 FEET PHASE 2
- A PORTION OF THIS PROPERTY IS LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA PER FEMA FLOOD MAP #47157C0190G DATED FEBRUARY 6, 2013.
- IF SETTLEMENT OCCURS ALONG ANY OF THE THE PUBLIC EASEMENTS WITHIN THE PRIVATE PROPERTY, THE OWNER SHALL BE RESPONSIBLE FOR ALL REPAIRS. IN THE EVENT THAT "PUBLIC WORKS" HAS TO EXCAVATE TO REPAIR A LEAK IN A PUBLIC LINE, "PUBLIC WORKS" SHALL BE RESPONSIBLE FOR EXCAVATION, BACKFILL, COMPACTION AND BRINGING THE AFFECTED AREA UP TO GRADE WITH APPROPRIATE SUB-BASE MATERIAL, BUT THE OWNER SHALL BE RESPONSIBLE FOR ALL FINISH WORK INCLUDING, BUT NOT LIMITED TO ASPHALT, CONCRETE AND LANDSCAPING.
- DRIVEWAYS AND OTHER PERMANENT STRUCTURES/IMPROVEMENTS SHALL NOT BE PLACED IN SEWER, WATER, OR DRAINAGE EASEMENTS OR OVER SEWER AND WATER SERVICES LOCATED ON PRIVATE PROPERTY.
- THE CITY SHALL HAVE INGRESS/ EGRESS RIGHTS TO USE PRIVATE DRIVES AND YARDS FOR THE PURPOSE OF MAINTAINING ALL PUBLIC UTILITIES AND SHALL BEAR NO RESPONSIBILITY FOR THE MAINTENANCE OF SAID DRIVES AND YARDS.
- ALL NEW UTILITIES SHALL BE UNDERGROUND.

ROCKYFORD SUBDIVISION
SECTION 'C'
P.B. 166, PG. 62



LINE	BEARING	LENGTH
L1	S86°48'07"E	31.56'
L2	S03°53'30"E	80.29'
L3	S30°06'10"E	39.60'
L4	S19°48'51"E	62.79'
L5	S08°29'30"E	69.93'

CURVE	RADIUS	LENGTH	CHD. BRG	CHD. LEN.
C1	1343.00'	208.78'	N54°49'47"E	208.57'
C2	1457.00'	711.85'	N64°22'22"E	704.79'
C3	355.00'	234.66'	S70°19'29"W	230.41'
C4	150.00'	54.89'	N29°08'22"W	54.58'
C5	150.00'	58.78'	N82°34'22"E	58.41'
C6	150.00'	74.10'	S04°30'10"E	73.35'



FINAL PLAT
SHEET 1 OF 2
PHASE ONE-B
JOYCE'S GARDENS SUBDIVISION
BARTLETT, TENNESSEE

LIBERTY PROPERTIES
8480 EAST ORCHARD RD. - SUITE 1100
GREENWOOD VILLAGE, CO 80111
DEVELOPER

THE BRAY FIRM
2950 STAGE PLAZA NORTH
BARTLETT, TN 38134
901-383-8668
ENGINEER

CERTIFICATE OF ADEQUACY OF STORM DRAINAGE

I, DAVID GEAN BRAY, HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL CIVIL ENGINEER, AND THAT I HAVE DESIGNED ALL STORM WATER DRAINAGE FOR PH. 2, JOYCES GARDENS SUBDIVISION TO ASSURE THAT NEITHER SAID SUBDIVISION NOR ADJOINING PROPERTY WILL BE DAMAGED OR THE CHARACTER OF LAND USE BE AFFECTED BY THE VELOCITY AND VOLUME OF WATER ENTERING OR LEAVING SAME.

IN WITNESS WHEREOF, I, THE SAID PROFESSIONAL CIVIL ENGINEER HERETO SET OUT HAND AND AFFIX MY SEAL THIS _____ DAY OF _____, 2023

PROFESSIONAL CIVIL ENGINEER _____
STATE OF TENNESSEE CERTIFICATE NO. 110070

CERTIFICATE OF SURVEY:

I, _____, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HAVE SURVEYED THE LANDS EMBRACED WITHIN THE PLAT DESIGNATED AS PH. 2, JOYCES GARDENS SUBDIVISION A SUBDIVISION ALL LYING WITHIN THE CORPORATE LIMITS OF THE CITY OF BARTLETT, TENNESSEE, THAT SAID PLAT IS A TRUE AND CORRECT PLAT OF THE LANDS EMBRACED THEREIN, SHOWING THE SUBDIVISION THEREOF IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF BARTLETT, TENNESSEE. I FURTHER CERTIFY THAT THE SURVEY OF THE LANDS EMBRACED WITHIN SAID PLAT HAS BEEN CORRECTLY MONUMENTED IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF BARTLETT, TENNESSEE.

IN WITNESS WHEREOF, I, THE SAID, _____, SURVEYOR, HEREUNTO SET OUT HAND AND AFFIX MY SEAL THIS _____ DAY OF _____ 2023

LAND SURVEYOR
STATE OF TENNESSEE CERTIFICATE NO.

BOARD OF MAYOR AND ALDERMAN CERTIFICATE

I, _____, HEREBY CERTIFY THAT ALL REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED OR THAT A PERFORMANCE BOND OR OTHER COLLATERAL IN SUFFICIENT AMOUNT TO ASSURE COMPLETION OF ALL REQUIRED IMPROVEMENTS HAS BEEN POSTED FOR THE SUBDIVISION SHOWN ON THIS PLAT AND ARE HEREBY APPROVED BY THE CITY OF BARTLETT, TENNESSEE.

DATE _____ MAYOR
CITY OF BARTLETT

PLANNING COMMISSION CERTIFICATE

I, _____, DO HEREBY CERTIFY THAT THE CITY OF BARTLETT PLANNING COMMISSION HAS APPROVED THIS PLAT OF SUBDIVISION FOR RECORDING.

DATE _____ SECRETARY
BARTLETT PLANNING COMMISSION

OWNER'S CERTIFICATE:

WE, LIBERTY PROPERTIES, OWNERS OF THE PROPERTY SHOWN HEREON, HEREBY ADOPT THIS PLAT AS OUR PLAN OF SUBDIVISION, AND DEDICATE THE STREETS, RIGHTS-OF-WAYS, EASEMENTS, AND RIGHTS OF ACCESS AS SHOWN AND /OR DESCRIBED TO THE PUBLIC USE FOREVER, AND HEREBY CERTIFY THAT WE ARE THE OWNERS IN FEE SIMPLE, DULY AUTHORIZED TO ACT AND THAT SAID PROPERTY IS UNENCUMBERED BY ANY TAXES WHICH HAVE BECOME DUE AND PAYABLE.

LIBERTY PROPERTIES _____ DATE _____

STATE OF TENNESSEE
COUNTY OF SHELBY

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC, IN AND FOR SAID STATE AND COUNTY AT MEMPHIS, DULY COMMISSIONED AND QUALIFIED, PERSONALLY APPEARED _____ WITH WHOM I AM PERSONALLY ACQUAINTED AND WHO UPON OATH ACKNOWLEDGED THAT HE EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED AS HIS OWN FREE ACT AND DEED.

WITNESS MY HAND AND NOTARIAL SEAL, THIS _____ DAY OF _____, 2023.

MY COMMISSION EXPIRES _____
_____, NOTARY PUBLIC

MORTGAGEE'S CERTIFICATE

WE, THE UNDERSIGNED, _____, MORTGAGEE OF THE PROPERTY SHOWN HEREON, HEREBY ADOPT THIS PLAT AS OUR PLAN OF SUBDIVISION AND DEDICATE THE STREETS, RIGHTS-OF-WAY, EASEMENTS, AND RIGHTS OF ACCESS AS SHOWN TO THE PUBLIC USE FOREVER, AND HEREBY CERTIFY THAT WE ARE THE MORTGAGEE DULY AUTHORIZED SO TO ACT AND THAT SAID PROPERTY IS UNENCUMBERED BY ANY TAXES WHICH HAVE BECOME DUE AND PAYABLE.

NAME _____ TITLE _____ INSTITUTION _____ DATE _____

STATE OF TENNESSEE
COUNTY OF SHELBY

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC, IN AND FOR SAID STATE AND COUNTY AT MEMPHIS, DULY COMMISSIONED AND QUALIFIED, PERSONALLY APPEARED _____ WITH WHOM I AM PERSONALLY ACQUAINTED AND WHO UPON OATH ACKNOWLEDGED HIMSELF TO BE _____ OF _____ EXECUTED _____ AND HE AS SUCH _____ THE FOREGOING INSTRUMENT FOR THE PURPOSE THERIN CONTAINED BY SIGNING HIS NAME AS REPRESENTATIVE OF THE MORTGAGEE.

WITNESS MY HAND AND NOTARIAL SEAL, THIS _____ DAY OF _____, 2023.

MY COMMISSION EXPIRES _____
_____, NOTARY PUBLIC

RESTRICTIVE COVENANTS AND SIMILAR DOCUMENTS ARE PRIVATE IN SCOPE AND NOT SUBJECT TO GOVERNMENTAL APPROVAL AND ENFORCEMENT. PROTECTIVE COVENANTS FOR THIS SUBDIVISION HAVE BEEN FILED PRIOR TO THE RECORDING OF THIS PLAT IN THE SHELBY COUNTY REGISTERS OFFICE AND CAN BE FOUND IN INSTRUMENT NUMBER _____

FINAL PLAT
SHEET 2 OF 2
PHASE ONE-B
JOYCE'S GARDENS SUBDIVISION
BARTLETT, TENNESSEE

LIBERTY PROPERTIES
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