



City of Bartlett
David Parsons, Mayor

Municipal Planning Commission

AGENDA

Tuesday, September 5, 2023 — 7:00

Bartlett City Hall Assembly Chamber

Opening Prayer

****Official Business of the Day****

Minutes of the Monday, July 10, 2023 Meeting

NEW BUSINESS

Site Plan

1. Ladd's, 0 Bartlett Corporate Drive (David Bray, The Bray Firm)

David Bray, with the Bray Firm, is requesting approval of a Site Plan for a Ladd's facility. This property is in the "I-P" Planned Industrial Park Zoning District.

Open Discussion

The public shall be provided an opportunity to address the Board or Commission during an Open Discussion period at the end of each regular and special meeting of the governing body. Prior to the start of the meeting, individuals will be required to complete and present to the Clerk the Open Discussion Citizen form provided at each meeting. The Open Discussion period for regular and special meetings of the Board or Commission shall be limited to twenty (20) minutes. Individuals shall be allowed to speak for up to three (3) minutes each. Open Discussion periods will not be held for any meeting where there are no actionable items on the agenda or meetings where the governing body is conducting a disciplinary hearing for a member of the governing body or a person whose profession or activities fall within the jurisdiction of the governing body.

Adjourn



City of Bartlett, Tennessee Municipal Planning Commission Staff Report

Site Plan

Ladd's Annex

DATE: September 5, 2023

STAFF: Kim Taylor, Planning Director; Sam Harris, Senior Planner; Leslie Brock, Planner; John Horne, City Engineer; Erin Campbell, Assistant City Engineer; Max Pedro-Gomez, Land Development Engineer; Trey Arthur, Code Enforcement Director; Matt Crenshaw, Public Works Director; Aaron Davidson, Public Works Assistant Director; Howard McNatt, Fire Marshal; Craig Jones, Assistant Fire Marshal

SUBJECT: Planning Commission Site Plan Application Review

APPLICANT: David Bray, The Bray Firm

DEVELOPER: Jim Caldwell, Ladd's

SITE LOCATION: Northwest Corner of Bartlett Corporate Drive

SITE ACREAGE: 4.6 acres

ZONING: "I-P" Planned Industrial Park

LOTS: 1

INTRODUCTION:

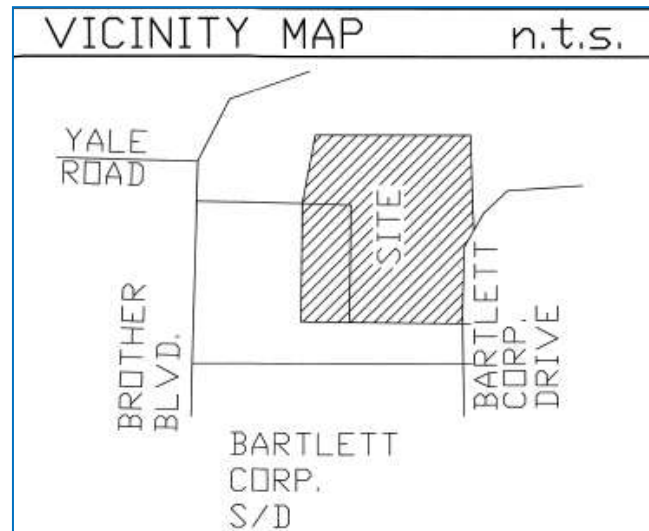
David Bray with The Bray Firm is requesting Planning Commission approval of a Site Plan for the Ladd's Annex. The subject property is located on the Northwest corner of Bartlett Corporate Drive directly behind the TWRA Hunter Education Center. Subject property is zoned "I-P" Planned Industrial Park.

BACKGROUND:

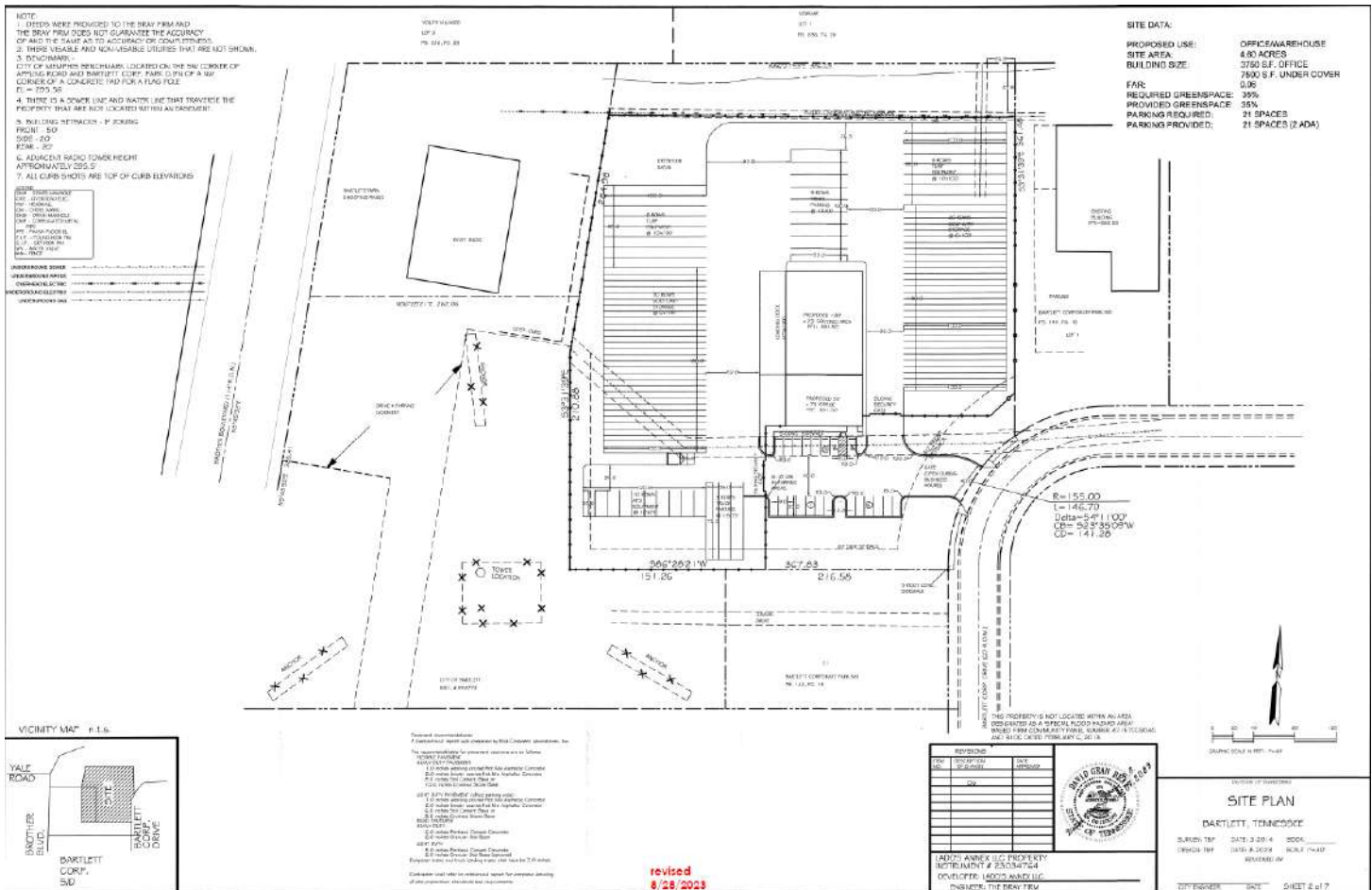
On March 6, 2017, the Planning Commission approved a site plan for Herbi-Systems Office and Warehouse on the subject property, however the applicant did not move forward with the project.

DISCUSSION:

The specific request by the applicant is for the approval of a site plan to construct a 3,750 square foot office with a 7,500 square foot. covered open space. The property will serve as a storage and distribution center for Ladd's Memphis retail store. Access to the site will be from a curb cut on Bartlett Corporate Drive. Other features of the development include a streetscape landscape buffer, and a stormwater detention basin.



Site Data	
Site Area:	4.60-acres / 200,376 square feet
Total Required Parking Spaces: 1.25 spaces per 1,000 square feet, plus 4 spaces.	18
Total Proposed Parking Spaces:	22
Handicap Accessible:	2 Van Accessible
Regular Customer Parking:	20
Proposed Office/Covered Space	3,750 square feet / 7,500 square feet
Total Proposed Building Area:	11,250 square feet
Greenspace/Open Space:	35%
Building Height:	One story



Recommendation: Approval with conditions.

Engineering Conditions:

General:

1. A Commercial Site Plan contract may be required and will be prepared by Engineering and submitted to the developer/engineer for review to cover the fees to be paid to the City of Bartlett.
2. Applicant/ Engineer shall provide a **digital set of drawing** files showing the sanitary sewer lines, drainage lines, lot lines and all improvements in AutoCAD format to dhubbard@cityofbartlett.org and ecampbell@cityofbartlett.org for use in the preparation of the Water Design Plan. This plan will be coordinated with the site design engineer to resolve any conflicts.
3. A SWPPP and a TDEC permit may be required and shall be submitted to TDEC and also to the City of Bartlett Engineering office.
4. All new utilities shall be underground.

5. Any proposed Easements shall be recorded by an easement plat.

Site Plan:

6. Existing utilities on site shall be located and shown, including the water and sewer service lines and their connections to the mains.
7. Fire protection must be approved by the City of Bartlett Fire Marshall, to determine fire flow and associated water requirements.
8. Will need details for sidewalk, sewer clean-out, type D headwall, type E headwall, and lowered driveway.
9. Water meters will need to be installed outside fenced area.
10. Show all easements on site plan, to determine fire flow and associated water requirements.

Erosion Control Plan & Details:

11. Metal posts with wired backed fence are required on the proposed silt fences.

Grading and Drainage:

12. As built design, certifications will be required on the detention basin.
13. Applicant's engineer shall submit the stamped and signed detention calculations for the proposed detention basin and show the 'pre' and the 'post' runoff for the 2, 5, 10, 25 year storms.

Sewer:

14. If any sewer cleanout is located in a paved area, then it shall comply with the detail approved by Bartlett Codes which involves a brass connections and a concrete collar.
15. This property is in Fletcher Creek Basin and taps and sewer line may require coordination with the City of Memphis. If a new sewer connection is required, developer shall provide said letter from the City of Memphis granting approval and meet all requirements of the City of Memphis. These may include installation of a private underground sewer storage tank and pump station.
16. Tracer wire must be installed on all sewer lines, including services.

Planning Conditions:

1. Applicant shall move the fence behind front yard setback.
2. Applicant shall provide a landscape plan showing streetscape and truck parking buffer.
3. Irrigation and maintenance is required for all planting on the landscape plan.
4. Should the proposed site plan be approved by the Planning Commission, the applicant shall seek site approval from the Design Review Commission for landscaping, lighting, fence, signage and exterior elevation design, colors, and materials.
5. The owner/applicant shall identify all utilities on site by contacting Tennessee One Call at 811 before commencing any site work.
6. Owner/applicant shall be present at the meetings in order to make decisions relative to any changes that may be suggested by the Planning Commission.

Bartlett Planning and
Economic Development Department
6382 Stage Road, P.O. Box 341148
Bartlett, TN 38184-1148
901-385-6417 FAX 901-385-6419
www.cityofbartlett.org

Bartlett Planning Commission Application for Site Plan Approval

Project Name LADD'S ANNEX LLC PROPERTY
Project Address 0 BARTLETT COLPOATE DRIVE
Owner/Developer Contact Jim CARDWELL Phone 901.324.8801
Company Name LADD'S Fax _____
Address 6881 APPLYING PKWY MEMPHIS, TN 38133
Email Address JCARDWELL@BOBILADD.COM
Architect Contact BRADY MOORE Phone 901.491.3403
Company Name _____ Fax _____
Address 420 PUM POINT AVE SOUTHAVEN, MS 38671
Email Address BEMARCHITECT@GMAIL.COM
Engineer Contact DAVID BRAY Phone 901.383.8668
Company Name THE BRAY FIRM Fax _____
Address 2950 STAGE PLAZA NORTH BARTLETT, TN 38134
Email Address dgbay@comcast.net

Submitted by DAVID BRAY (printed name) [Signature] (signature) _____ (date)
Email Address dgbay@comcast.net Phone 901.383.8668 Fax _____

- [Initials] Acknowledge (by initials in the blank to the left) that the "Application Instructions: Planning Commission" were obtained and read prior to submitting this application.
- [Initials] The "Site Plan Checklist" has been completed and required all items have been provided. (See reverse page/or attached checklist)
- [Initials] Provide 18-folded ($\pm 10'' \times 13''$) sets of plans with a copy of the signed application attached to each set.
- [Initials] Provide an electronic PDF file of the plans. Note that an updated electronic file is required when plans are revised. The electronic file shall be labeled with the project name and accurately dated.
- [Initials] **Without Contract:** Include a fee of \$400.00 with this application (check payable to the City of Bartlett).
- [Initials] **With Contract:** Include a fee of \$500.00 with this application (check payable to the City of Bartlett).

The fee is non-refundable. Approval may be granted to the entire development for construction purposes, or approval may be granted by stages. Any unauthorized deviation from the approved Site Plan shall constitute a violation of the Building Permit. If the site is subject to the Subdivision process, all requirements of the Subdivision Ordinance must be met.

I, the property owner(s) hereby authorize the filing of this application.

James T. Caldwell II
(print name)

[Signature]
(signature)

RECEIVED

AUG 08/2023
(date)

Bartlett Planning and
Economic Development Department
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Bartlett, TN 38184-1148
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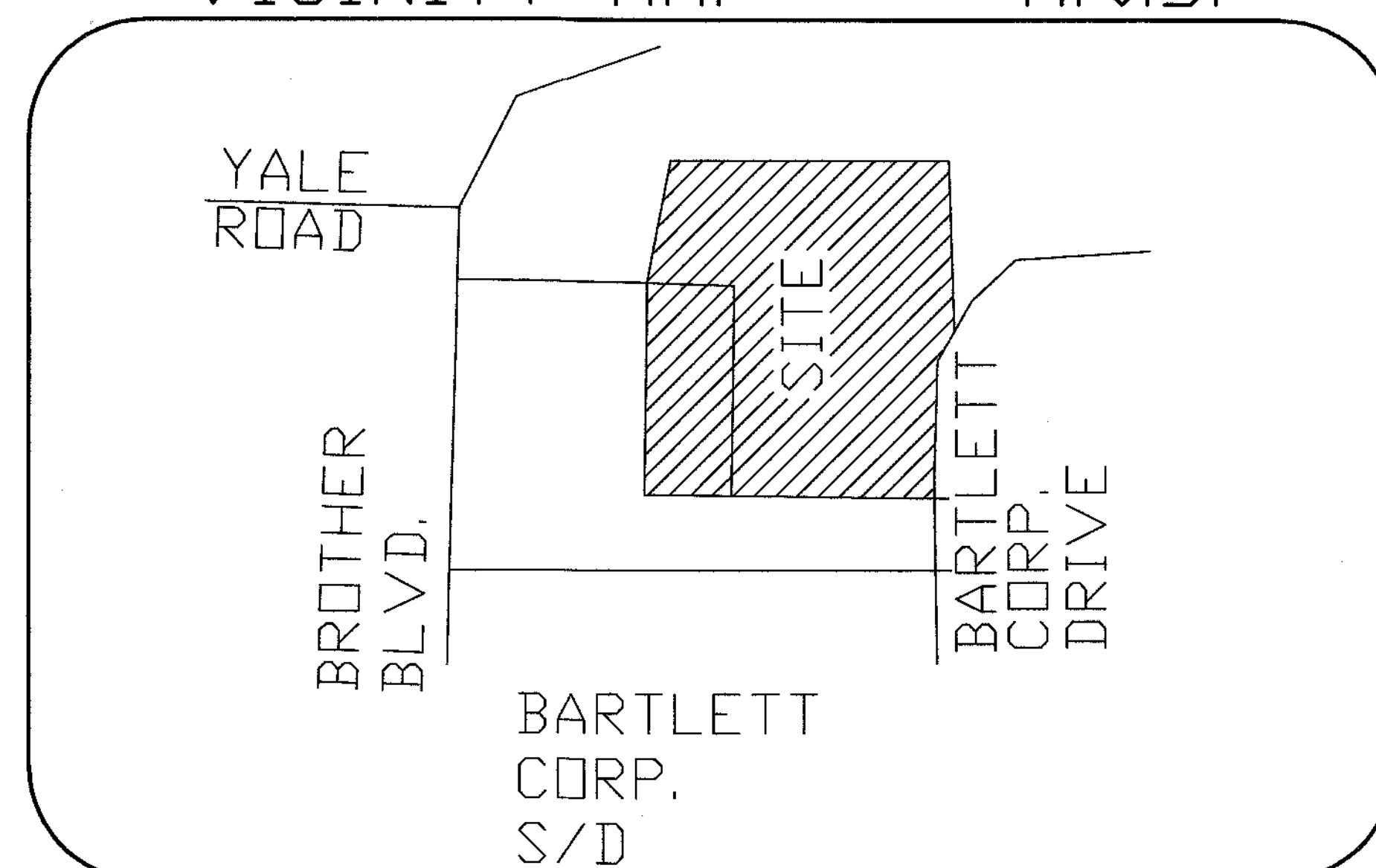
Site Plan Checklist

The site plan package shall include the information below, with dimensions as necessary to show compliance with the Zoning Ordinance and to locate required features:

- ☒ a. The proposed development's name and location, the name(s) and address(es) of the owner(s), and the name of the designer of the site plan.
 - ☒ b. A site location (vicinity) map.
 - ☒ c. Date, north point and *graphic* scale. Draw to scale on sheets **no larger than 24" x 36"**. Scale shall be no smaller than 1" = 100' and large enough to show required detail clearly and distinctly. Use an engineer's scale. An architect's scale may be used for building elevations.
 - ☒ d. The locations of existing and platted property lines and any existing streets, buildings, easements, etc.
 - ☒ e. The locations and dimensions of proposed streets, buildings, easements, lot lines and other site plan features.
 - ☒ f. The proposed types of uses and their locations, height of buildings, arrangement, lot coverage, yards and open spaces.
 - ☒ g. A grading and drainage plan that has provisions for detention. Also, provide flood hazard details when applicable.
 - ☒ h. Floor area of proposed buildings or building additions (each floor, in square feet).
 - ☒ i. Proposed off-street parking with parking spaces shown and dimensioned.
 - ☐ j. Landscaping and screening plan, evidence of compliance with required landscaping.
 - ☐ k. Table on the landscape plan showing compliance with the Tree Ordinance.
 - ☐ l. Other information as may be required by the Planning Commission.
 - ☐ m. A tree survey by a certified arborist is required if there are trees larger than 6" in diameter on the site.
 - ☐ n. A tree protection plan that is signed by a surveyor and arborist showing trees to be removed and saved is required.
 - ☒ o. Erosion control plan.
 - ☒ p. Location of sewer and water services and water meter sizes.
 - ☒ q. The applicant must provide one PDF file of the pictorial portion of the site plan (and also one of any separate landscaping plan), for display at the Planning Commission meeting.
- Plans shall be sealed, signed and dated by an engineer that is registered in the State of Tennessee.**

INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED

VICINITY MAP n.t.s.



CONSTRUCTION DRAWINGS

LADD'S ANNEX LLC PROPERTY

BARTLETT, TENNESSEE

LADD'S ANNEX LLC.
DEVELOPER

The Bray Firm
ENGINEER

SCHEDULE OF DRAWINGS

COVER PAGE	1
SITE PLAN	2
SANITARY SEWER PLAN	3
EROSION CONTROL PLAN - PH. 1	4
EROSION CONTROL PLAN - PH. 2	5
GRADING AND DRAINAGE PLAN	6
FINAL SITE STABILIZATION	7

NOTE: NO PUBLIC STREET IMPROVEMENTS ARE REQUIRED WITH THIS DEVELOPMENT.

GENERAL NOTES

CONSTRUCTION NOTES:

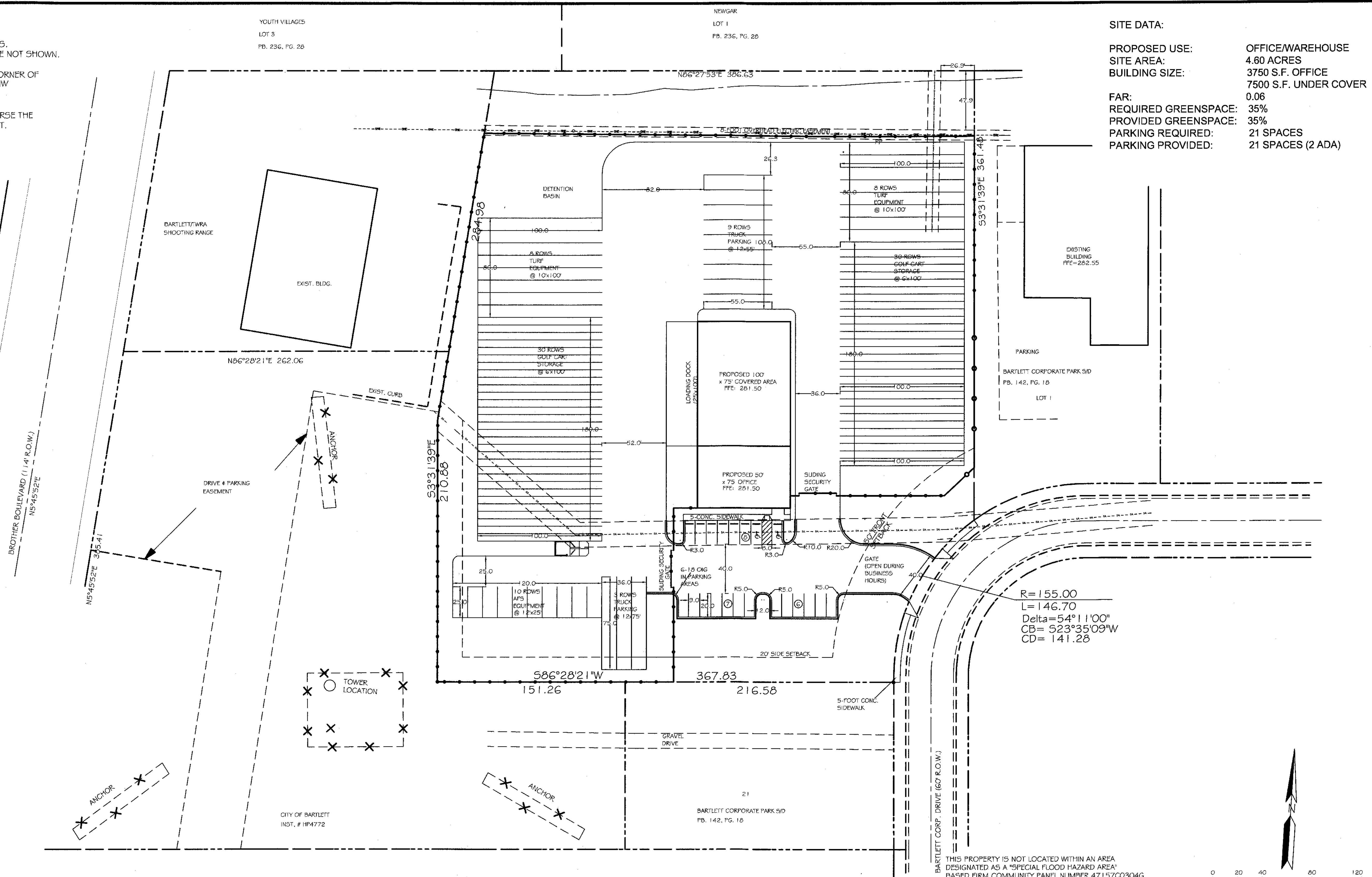
1. PROPERTY LINES SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. GRADING, CLEARING AND THE ERECTION OR REMOVAL OF FENCES ALONG PROPERTY LINES SHALL BE FULLY COORDINATED WITH ADJACENT PROPERTY OWNERS.
2. THE CONTRACTOR SHALL VERIFY ANY EXISTING DATA AND REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ENGINEER.
3. THE CONTRACTOR SHALL NOT ENTER UPON, WORK UPON NOR CAUSE DAMAGE TO ANY ADJACENT PROPERTIES WITHOUT PRIOR PERMISSION FROM SAID PROPERTY OWNER.
4. LOCATION OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE AND ARE NOT NECESSARILY ALL OF SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE APPROPRIATE UTILITY COMPANY TO DETERMINE THE EXACT LOCATION OF ALL UTILITIES AND/OR UNDERGROUND STRUCTURES PRIOR TO THE INITIATION OF ANY CONSTRUCTION. CONTRACTOR SHALL ALSO ASSUME FULL RESPONSIBILITY FOR DAMAGE TO ANY EXISTING UTILITIES ENCOUNTERED WITHIN THE CONSTRUCTION PERIMETERS. FOR SITE LOCATION OF EXISTING UTILITIES INVOLVING M.G.&W., SOUTH CENTRAL BELL, AND/OR TEXAS GAS COMPANY, PLEASE CALL 1-800-351-1111. FOR SEWER SERVICE LOCATIONS, CALL 385-6499.
5. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES.
6. TYPICAL SIDE SLOPES TO BE 1 FOOT VERTICAL TO 4 FEET HORIZONTAL.
7. ALL AREAS IN CUT OR FILL WHERE VEGETATION HAS BEEN REMOVED SHALL BE SEEDED, MULCHED, FERTILIZED, AND/OR SOBBED AS REQUIRED TO PREVENT EROSION.
8. 24 HOURS PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE CITY OF BARTLETT ENGINEER'S OFFICE AT 385-6499.
9. ALL CONSTRUCTION MATERIALS & PROCEDURES SHALL MEET STANDARD CITY OF BARTLETT SPECIFICATIONS.
10. ALL FILL AND/OR TRENCH BACKFILL SHALL BE COMPACTED (IN 6 INCH LIFTS) TO 95% STANDARD PROCTOR WITHIN 2% OF OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D698-70 LATEST REVISION (STANDARD PROCTOR).
11. THE CONTRACTOR SHALL INSTALL AND MAINTAIN A SILT FENCE PARALLEL WITH HAY BALES AT THE TOP OF ALL DITCH BANKS FOR THE WIDTH OF THE CONSTRUCTION LIMITS AND CONTINUOUSLY ALONG THE "STREAMSIDE" CONSTRUCTION LIMIT.
12. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN EROSION CONTROL DURING CONSTRUCTION BY THE PLACEMENT OF SILT FENCES AND HAY BALES WHERE NECESSARY TO PREVENT DOWNSTREAM SILTATION OF ANY DITCHES, PIPES, DRAINAGE STRUCTURES OR ADJACENT PROPERTIES. THE CONTRACTOR SHALL PROVIDE ANY ADDITIONAL EROSION CONTROL AS NEEDED OR AS DIRECTED BY THE ENGINEER.
13. CONTRACTOR SHALL PROVIDE ALL NECESSARY EROSION CONTROL METHODS AS PER THE CITY OF BARTLETT, SHELBY COUNTY, AND STATE OF TENNESSEE REGULATIONS.
14. ENGINEER'S CERTIFICATE THIS PROJECT HAS BEEN DESIGNED IN ACCORDANCE WITH THE CITY OF BARTLETT SUBDIVISION REGULATIONS AND SPECIFICATIONS.
15. LOT GRADING AND DRAINAGE:
FINISH GRADE SHALL BE SLOPED AWAY FROM THE FOUNDATION FOR DRAINAGE. THE FINISH GRADE MUST BEGIN AT LEAST 10 INCHES BELOW THE TOP OF THE FOUNDATION WALL, OR THE GRADE OF THE CONCRETE SLAB AND FOUNDATION. THE MINIMUM GRADE AWAY FROM THE FOUNDATION WALL SHALL BE AT LEAST 5 PERCENT IN ALL DIRECTIONS. THE DRIVEWAY SHALL BE SLOPED DOWN AT 2 PERCENT FOR AT LEAST 8 FEET FROM THE STRUCTURE.
16. THE CITY OF BARTLETT SHALL HAVE INGRESS/EGRESS RIGHT TO USE PRIVATE DRIVES AND YARDS FOR THE PURPOSE OF MAINTAINING ALL PUBLIC UTILITIES AND SHALL BEAR NO RESPONSIBILITY FOR THE MAINTENANCE OF SAID DRIVES AND YARDS.

- NOTE:
1. DEEDS WERE PROVIDED TO THE BRAY FIRM AND THE BRAY FIRM DOES NOT GUARANTEE THE ACCURACY OF AND THE SAME AS TO ACCURACY OR COMPLETENESS.
 2. THERE VISIBLE AND NON-VISIBLE UTILITIES THAT ARE NOT SHOWN.
 3. BENCHMARK - CITY OF MEMPHIS BENCHMARK LOCATED ON THE SW CORNER OF APPLING ROAD AND BARTLETT CORP. PARK 0.9'N OF A NW CORNER OF A CONCRETE PAD FOR A FLAG POLE EL. = 295.56
 4. THERE IS A SEWER LINE AND WATER LINE THAT TRAVERSE THE PROPERTY THAT ARE NOT LOCATED WITHIN AN EASEMENT.
 5. BUILDING SETBACKS - IP ZONING
FRONT - 50'
SIDE - 20'
REAR - 20'
 6. ADJACENT RADIO TOWER HEIGHT APPROXIMATELY 295.5'
 7. ALL CURB SHOTS ARE TOP OF CURB ELEVATIONS

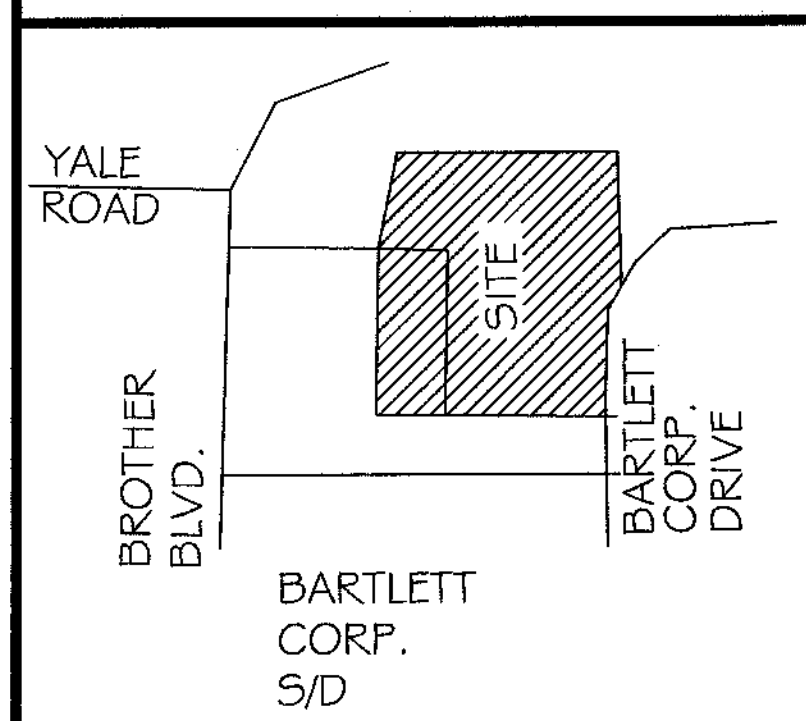
LEGEND

SMH - SEWER MANHOLE
OHE - OVERHEAD ELEC.
HW - HEADWALL
CM - CHISEL MARK
DMH - DRAIN MANHOLE
CMP - CORRUGATED METAL
PIPE
PFE - FINISH FLOOR EL.
F.I.P. - FOUND IRON PIN
S.I.P. - SET IRON PIN
WV - WATER VALVE
FENCE

UNDERGROUND SEWER
UNDERGROUND WATER
OVERHEAD ELECTRIC
UNDERGROUND ELECTRIC
UNDERGROUND GAS



VICINITY MAP n.t.s.



Pavement recommendations:
A Geotechnical report was prepared by Mid-Continent Laboratories, Inc.

The recommendations for pavement sections are as follows:

FLEXIBLE PAVEMENT
HEAVY DUTY PAVEMENT:
1.0 inches wearing course Hot Mix Asphaltic Concrete
2.0 inches binder course Hot Mix Asphaltic Concrete
8.0 inches Soil Cement Base or
10.0 inches Crushed Stone Base

LIGHT DUTY PAVEMENT (office parking areas)
1.0 inches wearing course Hot Mix Asphaltic Concrete
2.0 inches binder course Hot Mix Asphaltic Concrete
6.0 inches Soil Cement Base or
8.0 inches Crushed Stone Base

RIGID PAVEMENT
HEAVY DUTY:
6.0 inches Portland Cement Concrete
6.0 inches Granular Sub Base

LIGHT DUTY:
5.0 inches Portland Cement Concrete
6.0 inches Granular Sub Base (optional)

Dumpster areas and truck loading areas shall have be 7.0 inches.

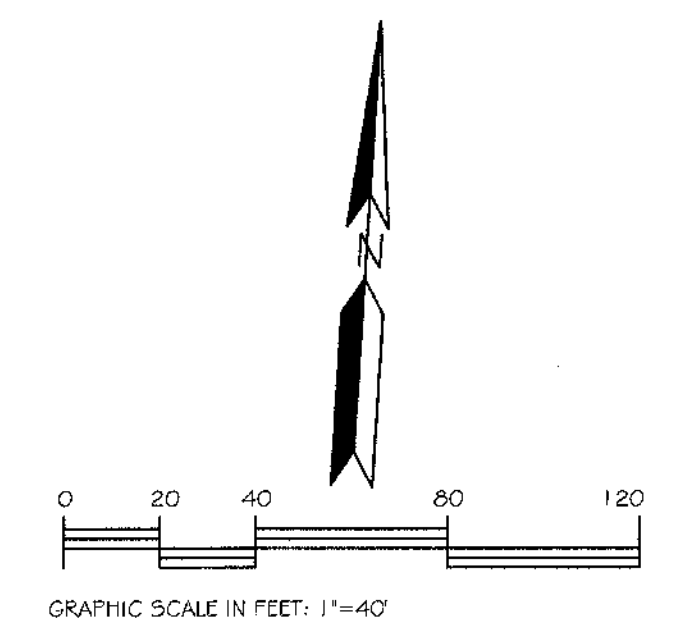
Contractor shall refer to referenced report for complete detailing of site preparation standards and requirements.

revised
8/28/2023

REVISIONS		
ITEM NO.	DESCRIPTION OF CHANGE	DATE APPROVED



LADD'S ANNEX LLC PROPERTY
INSTRUMENT # 23034764
DEVELOPER: LADD'S ANNEX LLC.
ENGINEER: THE BRAY FIRM



DIVISION OF ENGINEERING

SITE PLAN

BARTLETT, TENNESSEE

SURVEY: TBF DATE: 3-2014 BOOK: _____
DESIGN: TBF DATE: 8-2023 SCALE: 1"=40'
REVIEWED BY: _____

CITY ENGINEER: _____ DATE: _____ SHEET 2 of 7

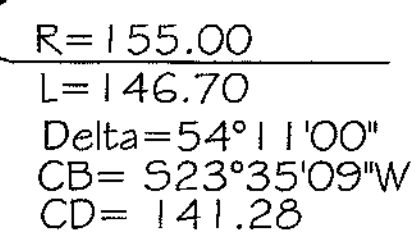
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UNDERGROUND SEWER
UNDERGROUND WATER
OVERHEAD ELECTRIC
UNDERGROUND ELECTRIC
UNDERGROUND GAS

NEWGAR
LOT 1
PB. 236, PG. 28

PROPOSED USE:	OFFICE/WAREHOUSE
SITE AREA:	4.60 ACRES
BUILDING SIZE:	3750 S.F. OFFICE 7500 S.F. UNDER COVER
FAR:	0.06
REQUIRED GREENSPACE:	35%
PROVIDED GREENSPACE:	35%
PARKING REQUIRED:	21 SPACES
PARKING PROVIDED:	22 SPACES (2 ADA)



Pavement recommendations:
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The recommendations for pavement sections are as follows:

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INSTRUMENT # 23034764
DEVELOPER: LADD'S ANNEX LLC.
ENGINEER: THE BRAY FIRM

SITE PLAN

BARTLETT, TENNESSEE

SURVEY: TBF DATE: 3-2014 BOOK: _____
DESIGN: TBF DATE: 8-2023 SCALE 1"=40'
REVIEWED BY _____

CITY ENGINEER DATE SHEET 2 of 7

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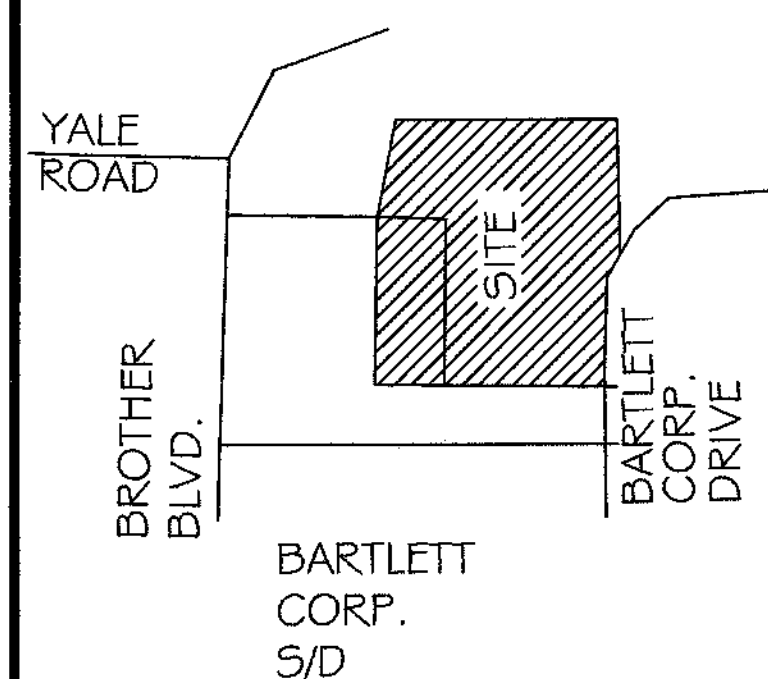
UNDERGROUND WATER ———— 3d ———— 2d ———— 6d ———— 3d ———— 2d ———— 6d ———— 3d ———— 3d ———— 2d ————

OVERHEAD ELECTRIC ———— 0E ———— 0E ———— 0E ———— 0E ———— 0E ———— 0E ———— 0E ———— 0E ————

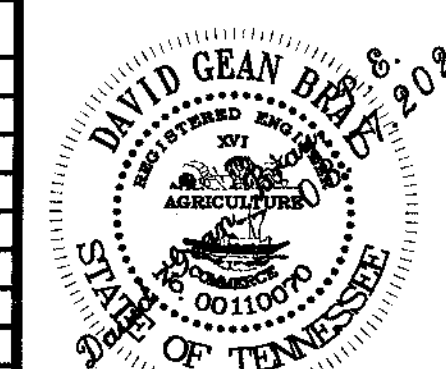
UNDERGROUND ELECTRIC ———— 1E ———— 2E ———— 3E ———— 4E ———— 5E ———— 6E ———— 7E ———— 8E ————

UNDERGROUND GAS ———— 1E ———— 2E ———— 3E ———— 4E ———— 5E ———— 6E ———— 7E ———— 8E ————

NEWGAR
LOT 1
PB. 236, PG. 28

[illegible]

LADD'S ANNEX LLC PROPERTY
INSTRUMENT # 23034764
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ENGINEER: THE BRAY FIRM



DIVISION OF ENGINEERING
SANITARY SEWER PLAN

BARTLETT, TENNESSEE

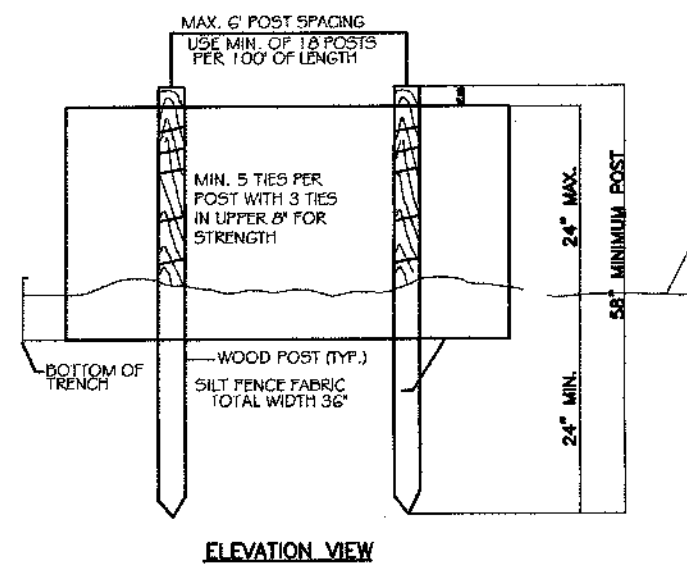
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CITY ENGINEER _____ DATE _____ SHEET 3 of 7

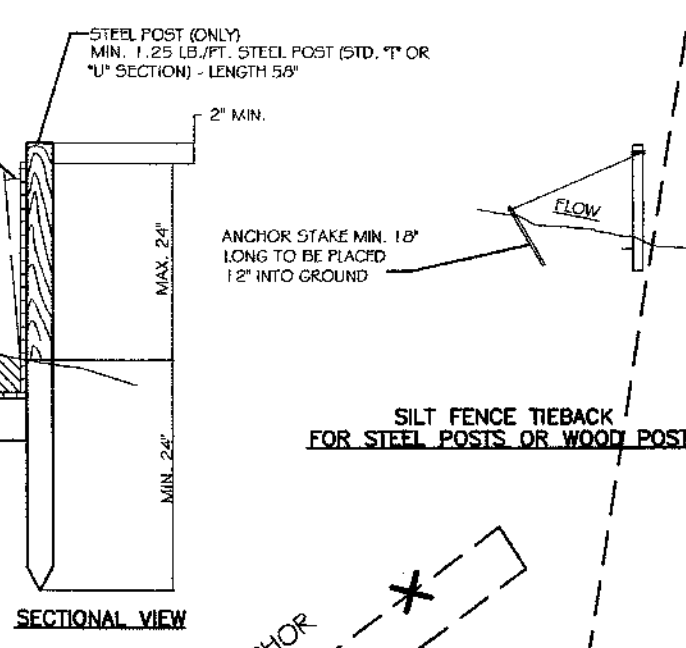
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F.I.P. - FOUND IRON PIN
S.I.P. - SET IRON PIN
WV - WATER VALVE
*** FENCE

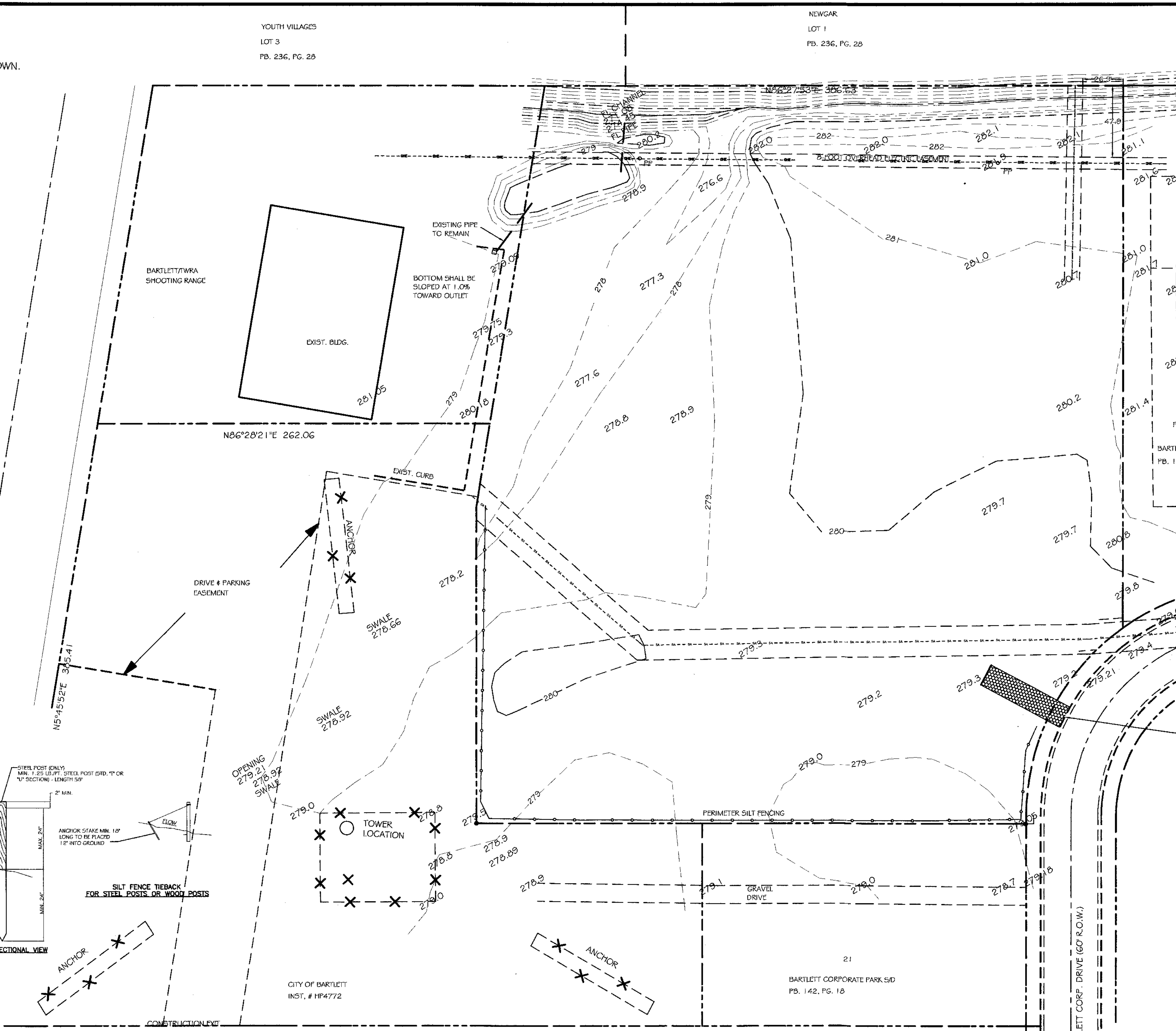
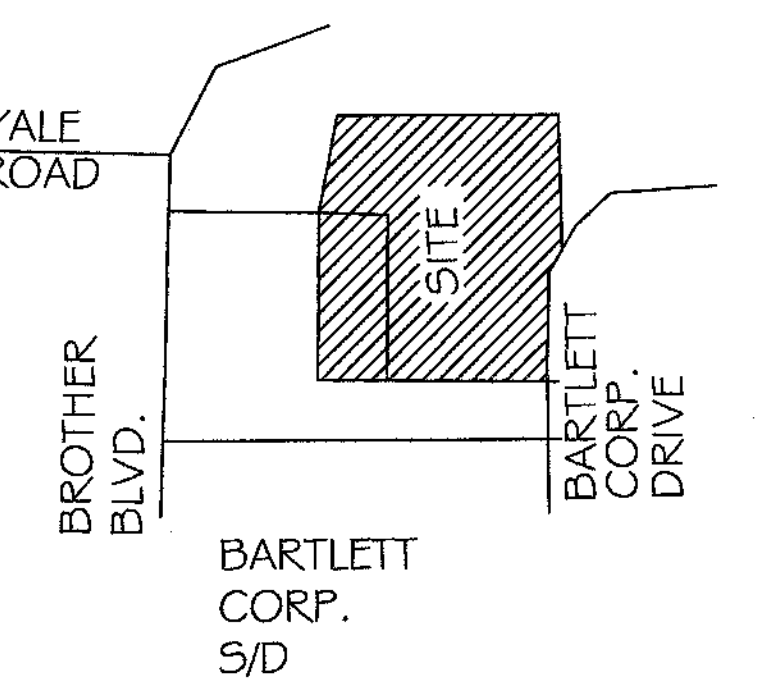
UNDERGROUND SEWER
UNDERGROUND WATER
OVERHEAD ELECTRIC
UNDERGROUND ELECTRIC
UNDERGROUND GAS



WHEN REQUIRED BY THE ENGINEER OR NOTED IN THE PLANS, COST TO BE INCLUDED IN THE ITEMS FOR SILT FENCE
EROSION CONTROL PLAN LEGEND: SILT FENCE
SILT FENCE DETAIL
SCALE: NONE



VICINITY MAP n.t.s.

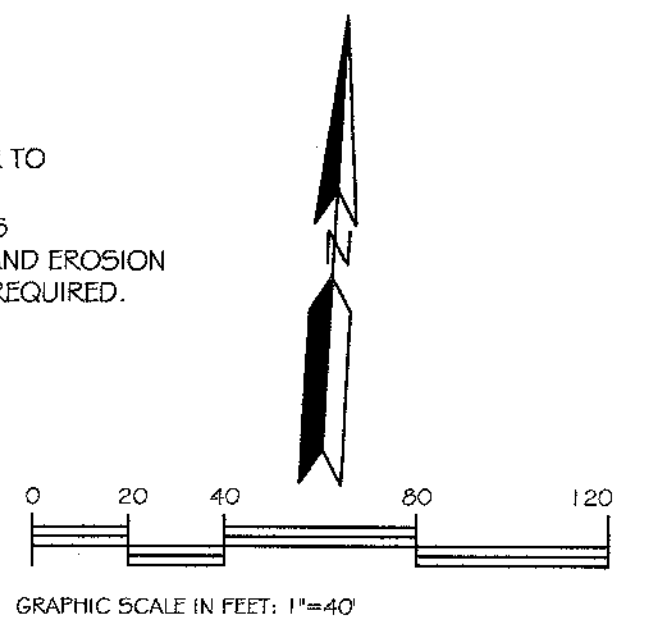


EROSION CONTROL NOTES:
1. EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE AND FUNCTIONAL PRIOR TO COMMENCEMENT OF EARTH MOVING OPERATIONS.
2. ALL EROSION AND SEDIMENT CONTROL MEASURES MUST BE PROPERLY CONSTRUCTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
3. CHECK ALL EROSION AND SEDIMENT CONTROL MEASURES PER TDEC TWICE WEEKLY AT LEAST 72 HOURS APART. DAILY CHECKING IS REQUIRED DURING PROLONGED RAINFALL. MAINTAIN A PERMANENT LOG OF CHECKS AND MAINTENANCE MEASURES.
4. KEEP CONSTRUCTION DEBRIS FROM ENTERING STORM SEWER.
5. PROMPTLY BACKFILL AND STABILIZE TRENCHES AND/OR PITS.
6. DESIGNATE A SPECIFIC INDIVIDUAL (MUST BE TDEC LEVEL 1 CERTIFIED) TO BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROLS AND TO KEEP THE PERMANENT LOG.
7. EROSION CONTROLS ARE NOT LIMITED TO THE SPECIFIED PRACTICES, HOWEVER, ALTERNATIVE MEASURES MUST BE AT LEAST AS EFFECTIVE IN CONTROLLING EROSION AND SEDIMENTATION.
8. RE-VEGETATION OF EXPOSED GROUND SHOULD BEGIN AS SOON AS CONSTRUCTION IS COMPLETED.
9. INSTALL STAKED AND ENTRENCHED SILT FENCE ALONG THE BASE OF ALL BACKFILLS AND CUTS, ON THE DOWNHILL SIDE OF STOCKPILED SOIL, AND ALONG DITCH BANKS IN CLEARED AREAS TO PREVENT EROSION INTO DITCHES, DO NOT PLACE SILT FENCE IN FLOWING DITCH.

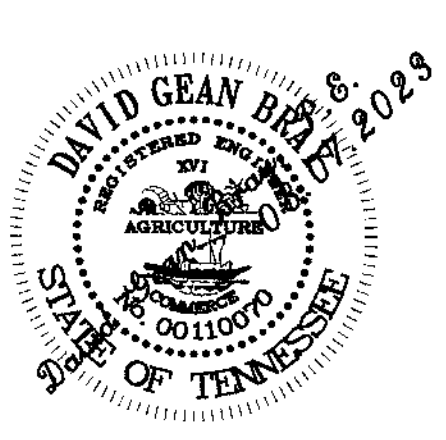
CONSTRUCTION EXIT IN LOCATION OF FUTURE DRIVE. ONCE DRIVE IS INSTALLED, CONSTRUCTION EXIT MAY STILL BE NECESSARY IF PORTIONS OF SITE ARE NOT STABILIZED. CONTRACTOR SHALL LOCATE AS NEEDED ON THE SITE.
STREET SHALL BE CHECKED DAILY FOR TRACKED SILT/SEDIMENT AND SHALL BE CLEANED DAILY AS NECESSARY.

DISTURBED AREA: 4.0 ACRES
NOTE TO DEVELOPER AND CONTRACTOR:
1. STATE NPDES PERMITS ARE REQUIRED PRIOR TO LAND DISTURBANCE
2. IF FULL IMPLEMENTATION OF THIS PLAN DOES NOT PROVIDE EFFECTIVE SEDIMENT CONTROL AND EROSION PROTECTION, ADDITIONAL MEASURES MAY BE REQUIRED.

THIS PROPERTY IS NOT LOCATED WITHIN AN AREA DESIGNATED AS A "SPECIAL FLOOD HAZARD AREA" BASED FIRM COMMUNITY PANEL NUMBER 47157C0304G AND 310G DATED FEBRUARY 6, 2013.



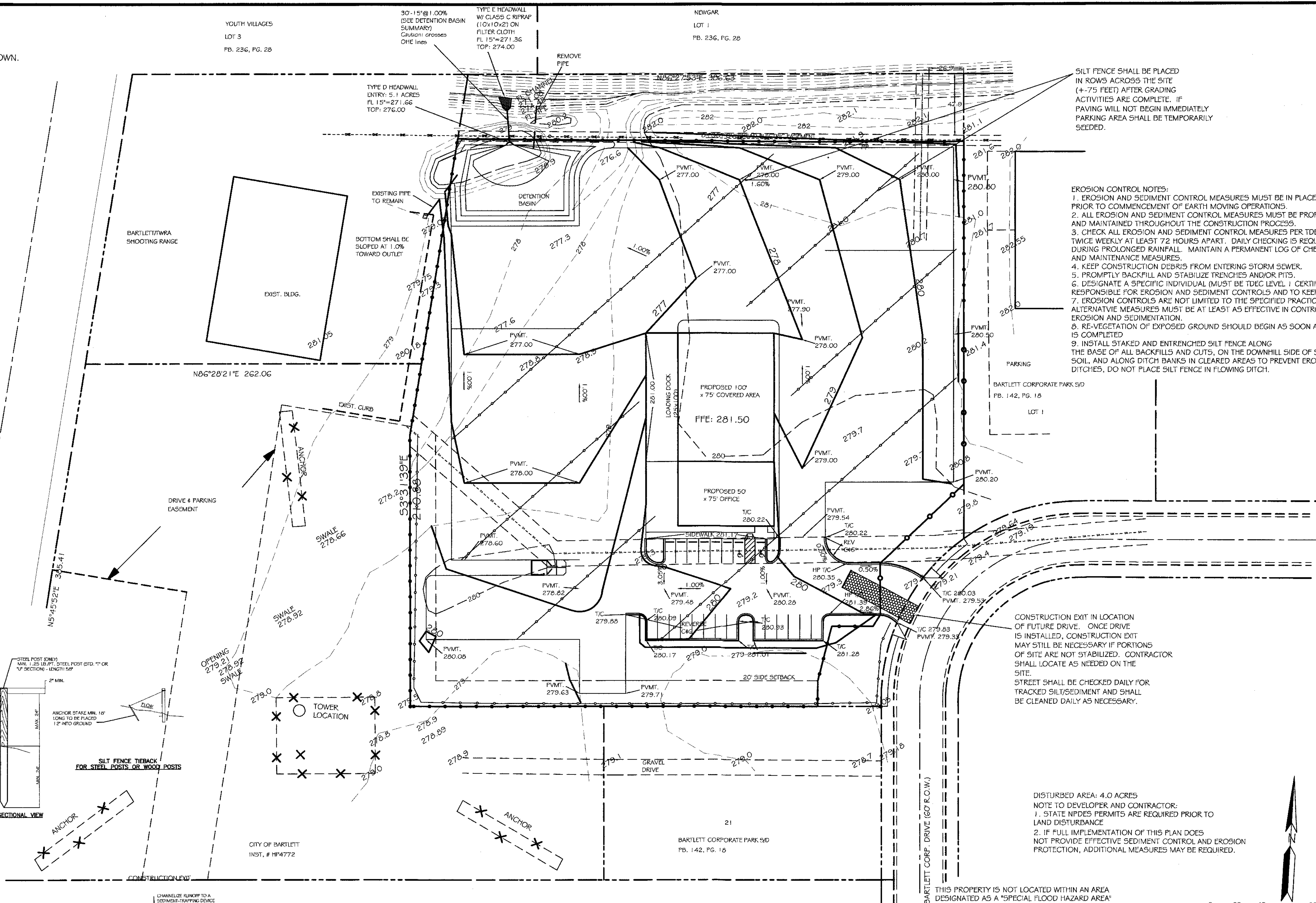
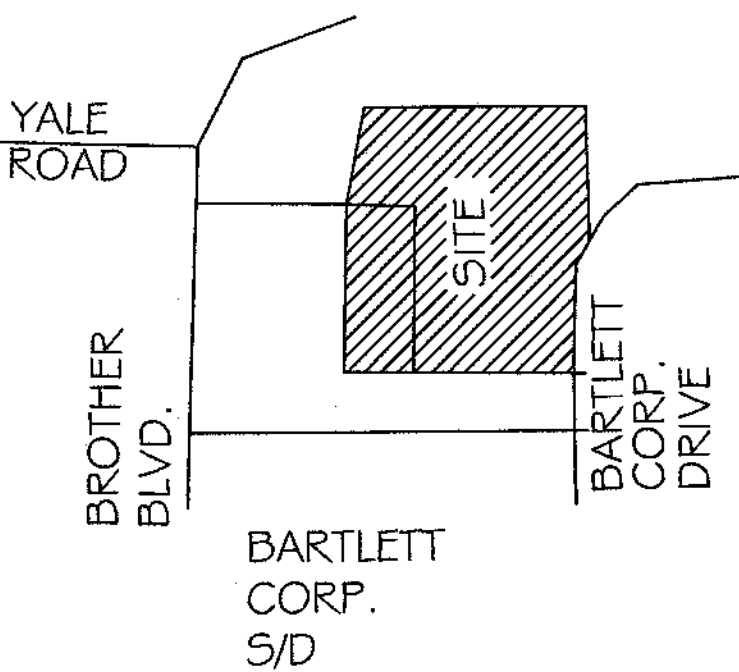
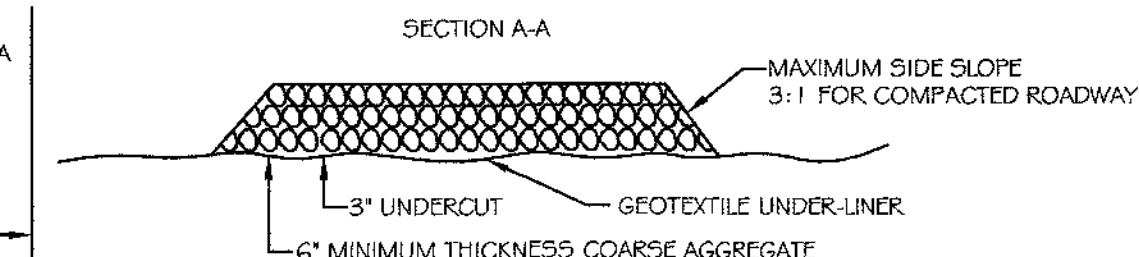
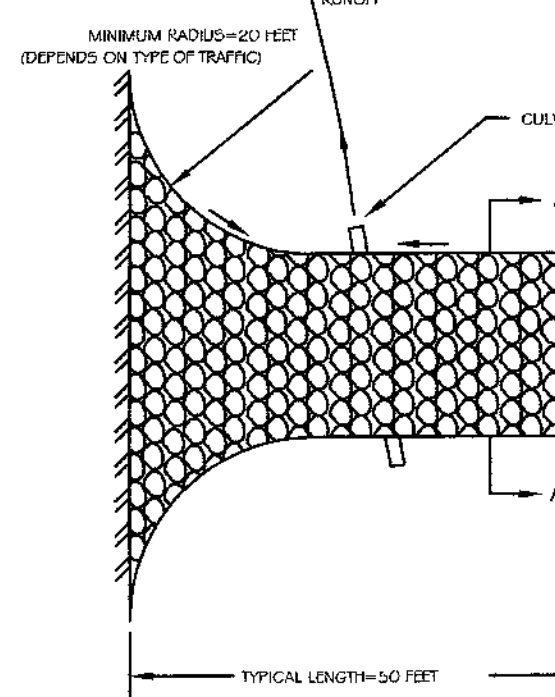
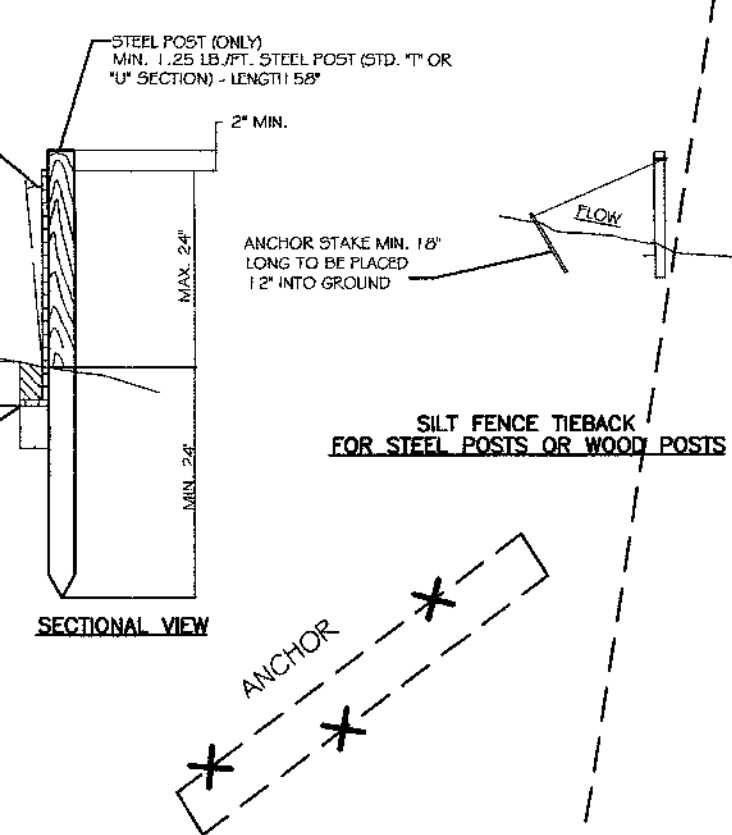
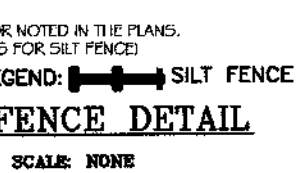
REVISIONS		
ITEM NO.	DESCRIPTION OF CHANGE	DATE APPROVED



LADD'S ANNEX LLC PROPERTY
INSTRUMENT # 23034764
DEVELOPER: LADD'S ANNEX LLC.
ENGINEER: THE BRAY FIRM

DIVISION OF ENGINEERING
EROSION CONTROL PLAN
PHASE I
BARTLETT, TENNESSEE

SURVEY: TBF DATE: 3-2014 BOOK: _____
DESIGN: TBF DATE: 8-2023 SCALE: 1"=40'
REVIEWED BY: _____



EROSION CONTROL NOTES:

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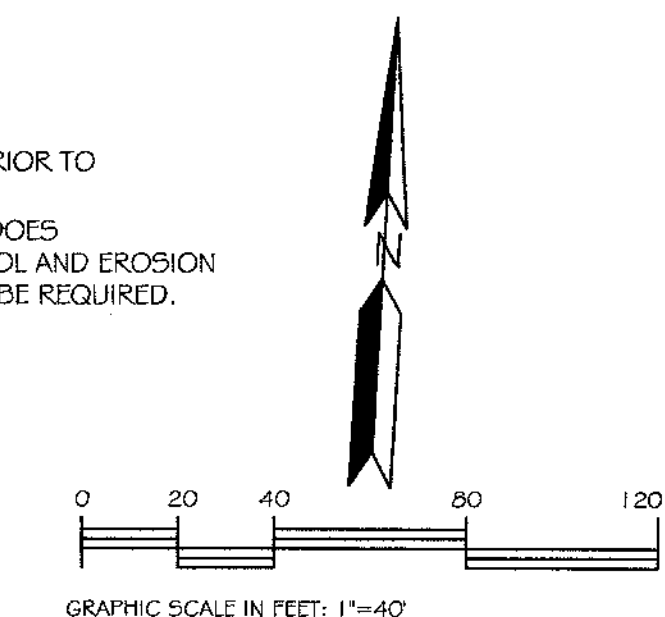
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[illegible]

LADD'S ANNEX LLC PROPERTY
INSTRUMENT # 23034764
DEVELOPER: LADD'S ANNEX LLC.
ENGINEER: THE BRAY FIRM



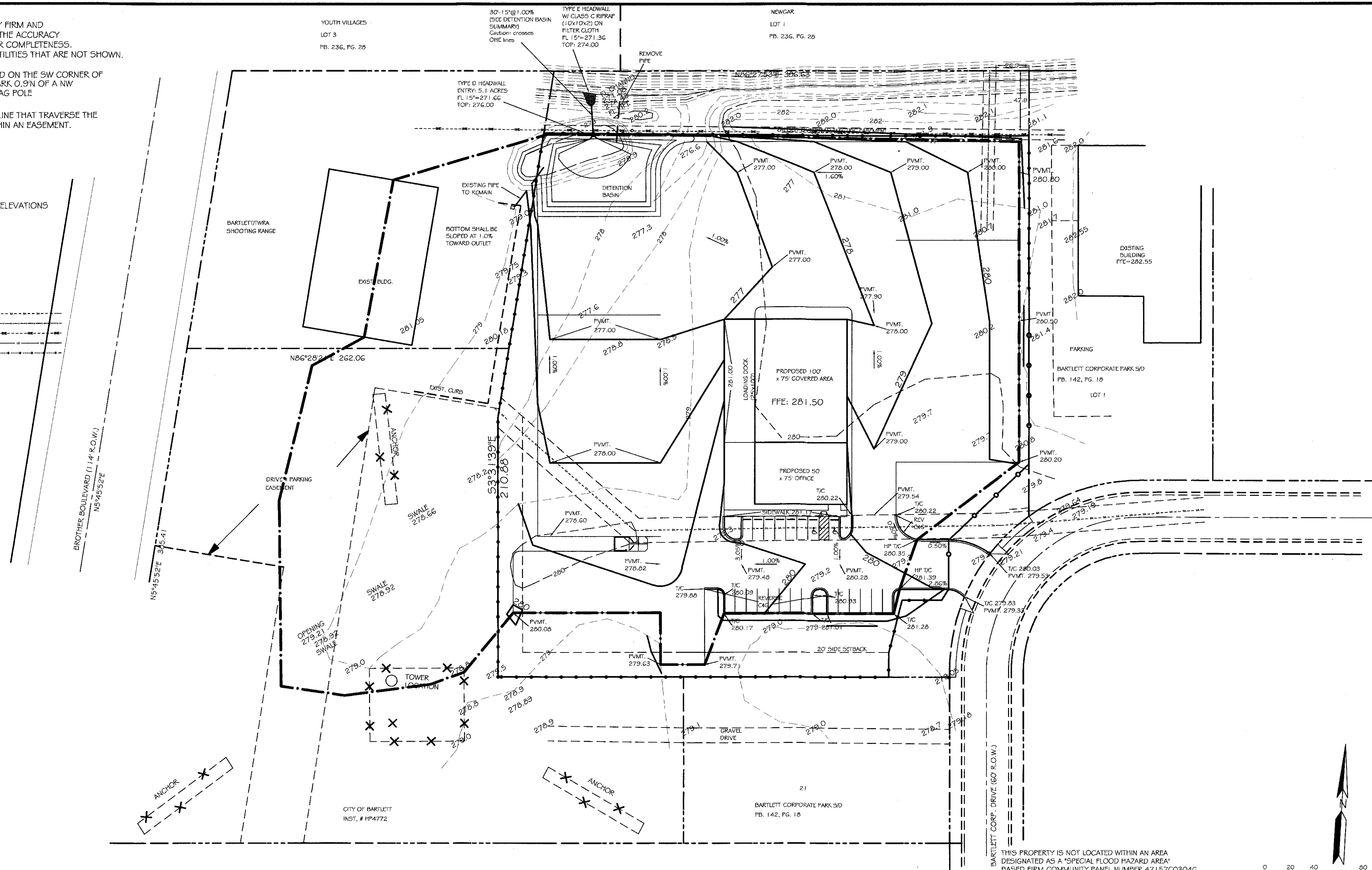
DIVISION OF ENGINEERING
EROSION CONTROL PLAN
PHASE 2
BARTLETT, TENNESSEE

SURVEY: TBF DATE: 3-2014 BOOK: _____
DESIGN: TBF DATE: 8-2023 SCALE 1"=40'
REVIEWED BY _____

CITY ENGINEER _____ DATE _____ SHEET 5 of 7

1. DEEDS WERE PROVIDED TO THE BRAY FIRM AND THE BRAY FIRM DOES NOT GUARANTEE THE ACCURACY OF AND THE SAME AS TO ACCURACY OR COMPLETENESS.
2. THERE VISABLE AND NON-VISABLE UTILITIES THAT ARE NOT SHOWN.
3. BENCHMARK -
CITY OF MEMPHIS BENCHMARK LOCATED ON THE SW CORNER OF APPLING ROAD AND BARTLETT CORP. PARK 0.9'N OF A NW CORNER OF A CONCRETE PAD FOR A FLAG POLE
EL. = 295.56
4. THERE IS A SEWER LINE AND WATER LINE THAT TRAVERSE THE PROPERTY THAT ARE NOT LOCATED WITHIN AN EASEMENT.
5. BUILDING SETBACKS - IP ZONING
FRONT - 50'
SIDE - 20'
REAR - 20'
6. ADJACENT RADIO TOWER HEIGHT
APPROXIMATELY 295.5'
7. ALL CURB SHOTS ARE TOP OF CURB ELEVATIONS

SMH - SEWER MANHOLE
OHE - OVERHEAD ELEC.
HW - HEADWALL
CM - CHISEL MARK
DMH - DRAIN MANHOLE
CMP - CORRUGATED METAL
PIPE
PFE - FINISH FLOOR EL.
P.I.P. - POUND IRON PIN
S.I.P. - SET IRON PIN
WV - WATER VALVE
XX - FENCE

[illegible]

YALE ROAD

BROTHER BLVD.

SITE

BARTLETT CORP. DRIVE

BARTLETT CORP. S/D

DETENTION BASIN SUMMARY
DRAINAGE AREA: 5.0 ACRES
Cpre=0.38 Tcpre=10 MIN.
Cpost=0.81 Tcpost=5 minutes

ELEV.	STORAGE CUFT	OUTFLOW CFS
271.66	0	0
272.00	208	1.1
273.00	2650	4.4
274.00	6709	7.5
275.00	11890	11.0
276.00	18470	13.0

RETURN	ALLOWABLE	ACTUAL		W.S.E.
	FLOW	OUTFLOW	STORAGE	
YRS	CF5	CF5	CUF5	F
0	7.3	8.6	8.84	274.28
10	10.6	9.6	10409	274.71
20	11.8	10.2	11999	275.02
25	13.4	11.2	14607	275.41
100	15.9	12.0	18372	275.99

[illegible]

LADD'S ANNEX LLC PROPERTY
INSTRUMENT # 23034764
DEVELOPER: LADD'S ANNEX LLC.
ENGINEER: THE BRAY FIRM



DIVISION OF ENGINEERING

GRADING & DRAINAGE PLAN

BARTLETT, TENNESSEE

SURVEY: TBF DATE: 3-2014 BOOK: _____
DESIGN: TBF DATE: 8-2023 SCALE 1"=40'
REVIEWED BY _____

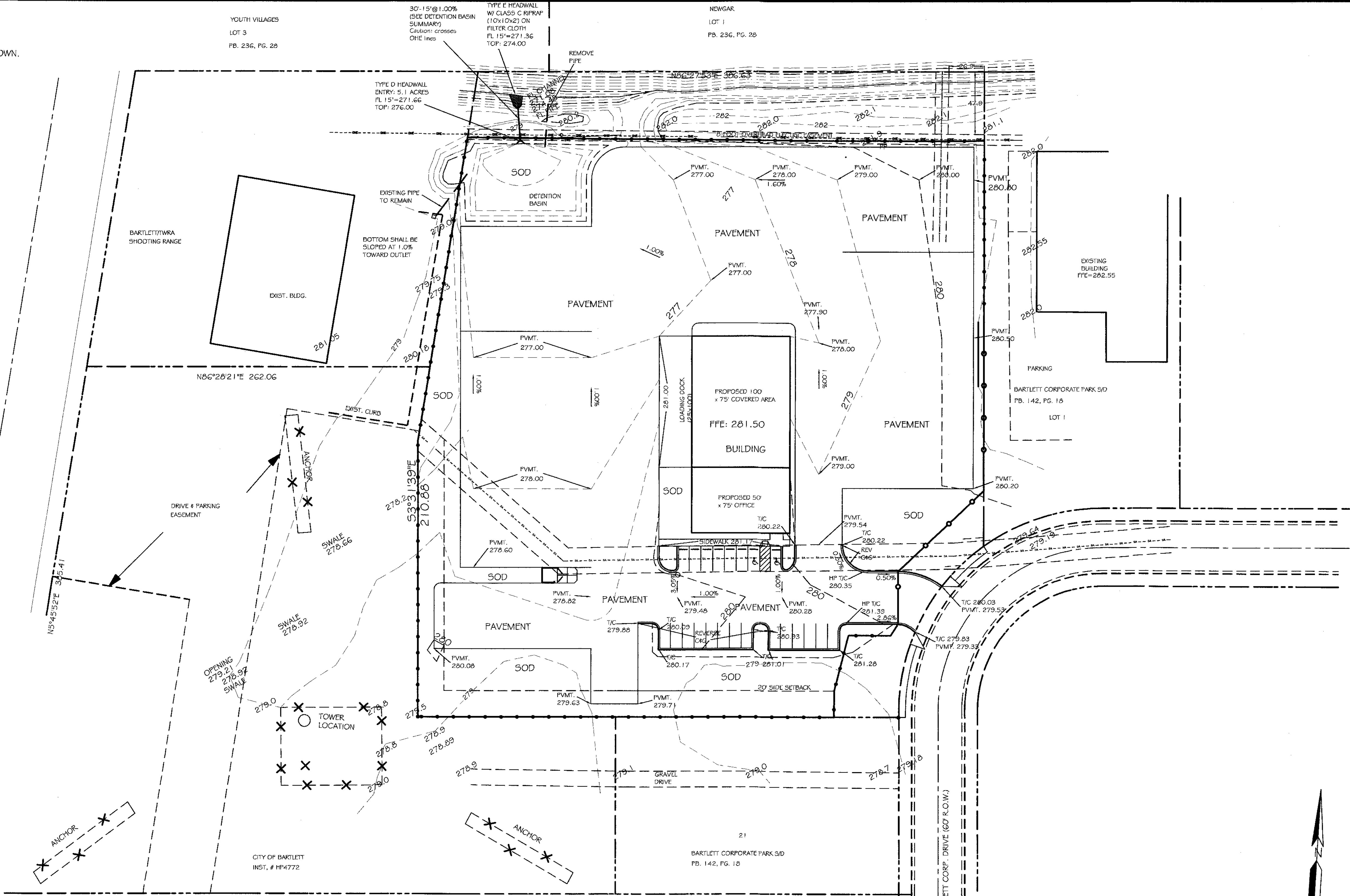
CITY ENGINEER DATE SHEET 6 of 7

- NOTE:
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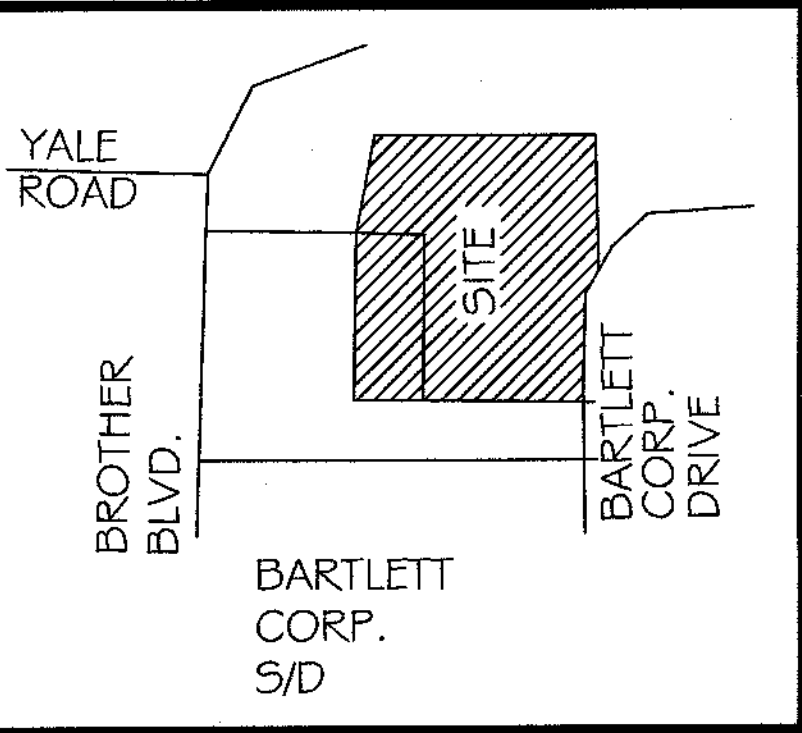
LEGEND

SMH - SEWER MANHOLE
OHE - OVERHEAD ELEC.
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CMP - CORRUGATED METAL
PIPE
FFE - FINISH FLOOR EL.
F.I.P. - FOUND IRON PIN
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WV - WATER VALVE
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UNDERGROUND SEWER
UNDERGROUND WATER
OVERHEAD ELECTRIC
UNDERGROUND ELECTRIC
UNDERGROUND GAS



VICINITY MAP n.t.s.



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DETENTION BASIN SUMMARY				
DRAINAGE AREA: 5.0 ACRES				
Cpre=0.38 Tcpre=10 MIN.				
Cpost=0.81 Tcpost=5 minutes				
RETURN	ALLOWABLE FLOW CFS	ACTUAL FLOW CFS	STORAGE CUFT	W.S.E. FT.
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REVISIONS		
ITEM NO.	DESCRIPTION OF CHANGE	DATE APPROVED
	CM	



LADD'S ANNEX LLC PROPERTY
INSTRUMENT # 23034764
DEVELOPER: LADD'S ANNEX LLC.
ENGINEER: THE BRAY FIRM

DIVISION OF ENGINEERING

FINAL SITE STABILIZATION

BARTLETT, TENNESSEE

SURVEY: TBF DATE: 3-2014 BOOK:
DESIGN: TBF DATE: 8-2023 SCALE: 1"=40' REVIEWED BY:
CITY ENGINEER: DATE: SHEET 7 of 7