



City of Bartlett
David Parsons, Mayor

DESIGN REVIEW COMMISSION AGENDA

Tuesday, September 19, 2023 – 6:30 P.M.

Bartlett City Hall Assembly Chamber

Opening Prayer

****Official Business of the Day****

Minutes of the Tuesday, March 21, 2023 Meeting

Continued

Site Plan

1. Taco Bell Renovation, 6720 Stage Road (Mike McCracken, Hospitality Restaurant Group, Inc.)

Mike McCracken, with Hospitality Restaurant Group, Inc., is requesting Design Review Commission approval of a Site Plan for exterior renovations of Taco Bell at 6720 Stage Road. The Design Review Commission will review the Site Plan to include building color(s).

NEW BUSINESS

Site Plan

2. Ladd's, 0 Bartlett Corporate Drive (Brady Moore, architect)

Architect Brady Moore is requesting Design Review Commission approval of a Site Plan for Ladd's on Bartlett Corporate Drive. The Design Review Commission will review the Site Plan to include the following: building color(s), materials of building, landscaping, site lighting, and building elevations.

3. Smoker's Shop, 6524 Memphis-Arlington Road, Suite 109 (Ahmed Saffarini, owner)

Ahmed Saffarini is requesting Design Review Commission approval of a Site Plan for Smoker's Shop at 6524 Memphis-Arlington Road. The Design Review Commission will review the plan to include retractable security bars behind the storefront windows.

Discussion

The public shall be provided an opportunity to address the Board or Commission during an Open Discussion period at the end of each regular and special meeting of the governing body. Prior to the start of the meeting, individuals will be required to complete and present to the Clerk the Open Discussion Citizen form provided at each meeting. The Open Discussion period for regular and special meetings of the Board or Commission shall be limited to twenty (20) minutes. Individuals shall be allowed to speak for up to three (3) minutes each. Open Discussion periods will not be held for any meeting where there are no actionable items on the agenda or meetings where the governing body is conducting a disciplinary hearing for a member of the governing body or a person whose profession or activities fall within the jurisdiction of the governing body.

Adjourn



City of Bartlett, Tennessee Design Review Commission Staff Report

Site Plan

Taco Bell

DATE: September 19, 2023

STAFF: Kim Taylor, Planning Director; Sam Harris, Senior Planner; Leslie Brock, Planner; Max Pedro-Gomez, Land Development Engineer; Trey Arthur, Code Enforcement Director

SUBJECT: Site Plan Application Review

APPLICANT: Mike McCracken, Hospitality restaurant Group, Inc.

SITE LOCATION: 6720 Stage Road

SITE ACREAGE: .688

ZONING: "SC-1" Planned Unit Commercial Development Zoning District

LOTS: 1

INTRODUCTION:

Mike McCracken with Hospitality Restaurant Group, Inc. is requesting Design Review Commission approval of a revised Site Plan for Taco Bell Restaurant. The subject property is located at 6720 Stage Road with in the "SC-1" Planned Unit Commercial Development Zoning District.

BACKGROUND:

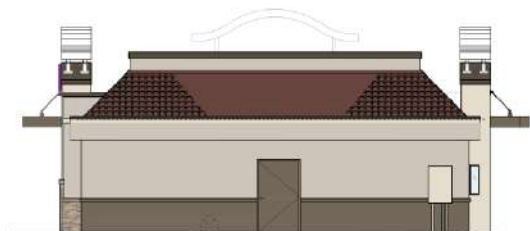
The DRC approved a revised Site Plan March 21, 2023, for façade changes, landscaping, parking lot restriping and lighting changes with the exception of the Purple SW #TB2603C band. The Commission requested Mr. McCracken return with revised elevations showing less Purple SW #TB2603C.

DISCUSSION:

The specific request to the DRC by the applicant is for the approval of building elevations details as follows:

Elevations:

The front elevation faces south toward Stage Road, and the north, east, and west elevations face a shopping center parking lot. All four elevations are EFIS (Worldly Gray SW#7043, Brainstorm Bronze SW#7033), with existing dry stacked fieldstone accents. A mock canopy with EFIS (Aged White SW#9180) and field stone accents are on the front and east elevations. The upper and middle parapet will be painted in Worldly Gray SW#7043. The trim on the parapet will be painted Aged White SW9180. The accent band on all four elevations will be painted Purple SW #TB2603C. The continuous parapet caps for the upper and middle parapets will be painted in Enduring Bronze SW7055.



The existing towers at the main entrance on the south elevation, at secondary entrance on the east elevation, and the drive thru window on the west elevation will be repainted Aged White SW#9180. The metal canopies over the entrances and drive thru window will be painted Urbane Bronze SW#7048. The internally illuminated flying arch above the towers will remain the same.



Night View

Recommendation: Approval with conditions.

Planning Conditions:

1. All proposed signage shall be submitted on a separate application to the Design Review Commission.
2. The owner/applicant shall identify all utilities on site by contacting Tennessee One Call at 811 before commencing any site work.
3. It is recommended that the owner/applicant attend the meeting in order to make decisions relative to any changes that may be suggested by the DRC.

Engineering Conditions:

None.



PROPOSED EAST ELEVATION

NOT TO SCALE



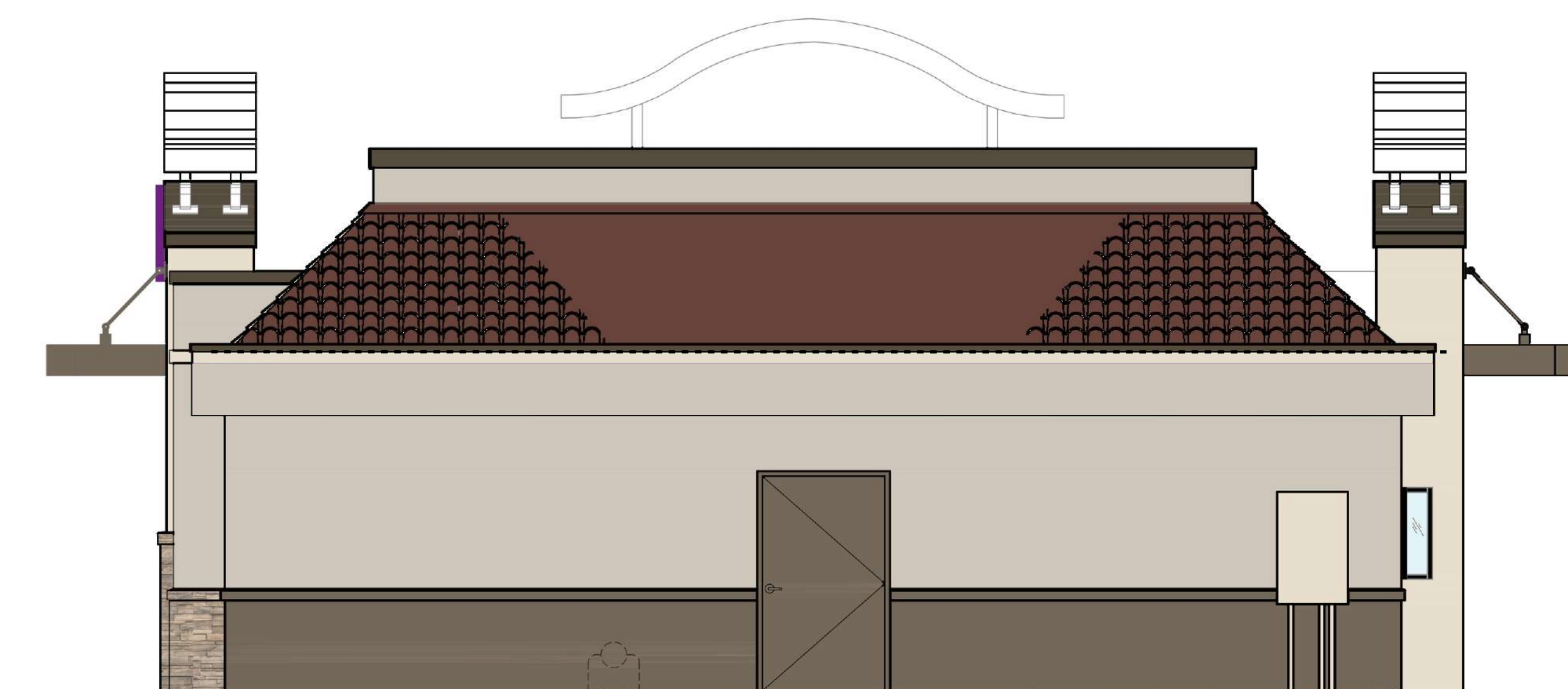
PROPOSED SOUTH ELEVATION

NOT TO SCALE



PROPOSED WEST ELEVATION

NOT TO SCALE

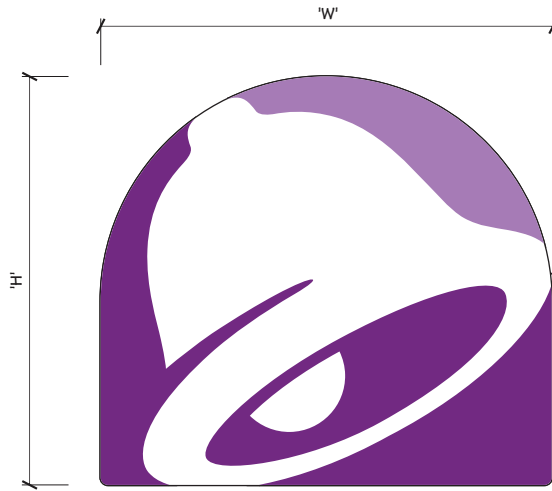


PROPOSED NORTH ELEVATION

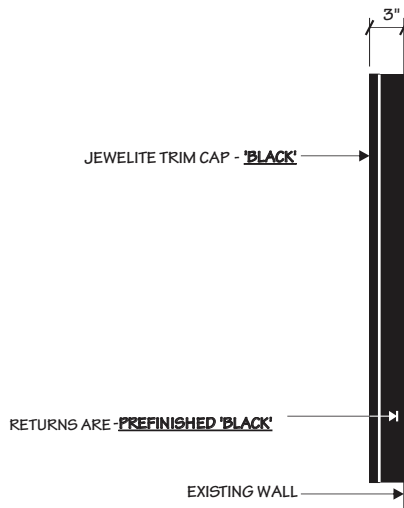
NOT TO SCALE

TACO BELL REMODEL
6720 STAGE RD
BARTLETT, TN 38134

A TAC-BELL-36P-FL



FRONT ELEVATION
NTS



SIDE VIEW
NTS

TRANSLUCENT WHITE FACE W/
APPLIED VINYL
DARK PURPLE - 3M 3630-9327
LIGHT PURPLE - 3M 3630-9141

NOTE:

- 1.) THIS DRAWING IS FOR INSTALLATION PURPOSES ONLY.
- 2.) BELL SIZE VARIES PER LOCATION
- 3.) SHOP TO PROVIDE TOUCH UP PAINT TO INSTALLER.

SIGN SCHEDULE

QTY	INT/EXT	SIGN TYPE	H'	W'
		BELL-EX	2'-0 1/8"	± 2'-2 5/8"
		BELL-SM	2'-6"	± 2'-9 1/8"
		BELL-MD	3'-0"	± 3'-3 3/8"
2	EXT.	BELL-LG	3'-6"	± 3'-10 3/8"

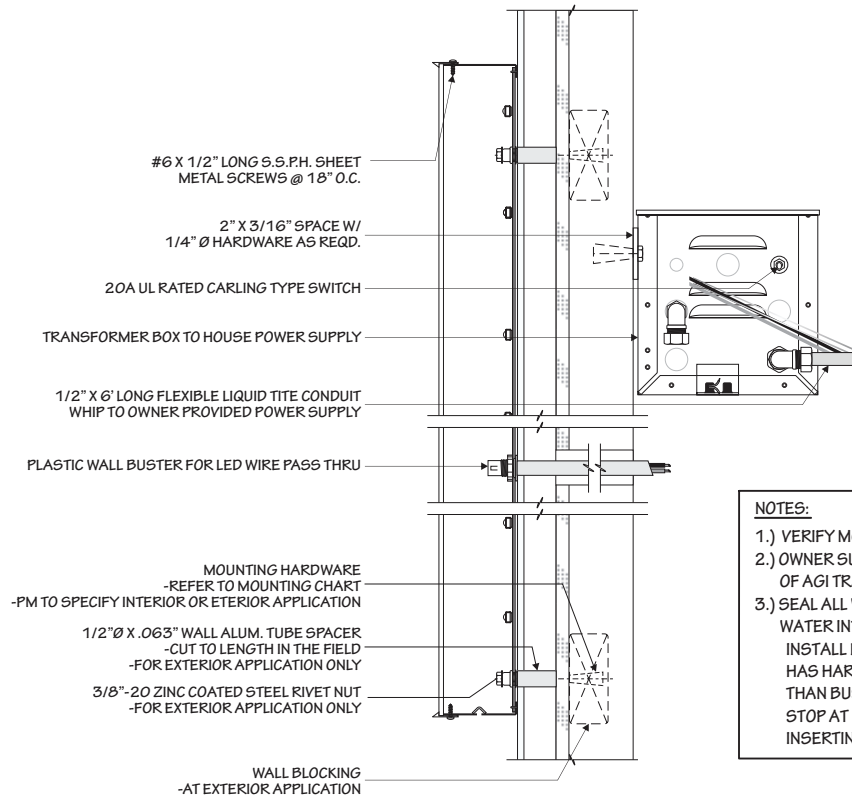
MOUNTING HARDWARE

Exterior -	3/8" ZINC PLATED STEEL THREADED ROD THRU WALL W/BLOCKING
Interior -	3/8" SNAP TOGGLE BOLTS

NOTES:

- 1.) THREADED ROD WILL BE PROVIDED STANDARD, ALL OTHER HARDWARE IS TO BE PROVIDED BY THE INSTALLER AS REQUIRED.
- 2.) DESIGN INTENDED FOR NO GREATER THAN 3RD STORY MOUNTING - HIGHER ELEVATIONS REQUIRE REVIEW.

LED TEMPERATURE IS TACO BELL STANDARD:
5000K



SECTION
NTS

NOTES:

- 1.) VERIFY MOUNTING CONDITION.
- 2.) OWNER SUPPLIED POWER TO BE WITHIN 5'-0" OF AGI TRANSFORMER BOXES.
- 3.) SEAL ALL WALL PENETRATIONS TO PREVENT WATER INTRUSION AS FOLLOWS:
INSTALL BUSHING AFTER E.I.F.S. APPLICATION HAS HARDENED. DRILL HOLE SLIGHTLY LARGER THAN BUSHING THROUGH INSULATION ONLY. STOP AT PLYWOOD. CAULK OPENING PRIOR TO INSERTING FASTENER TO SEAL PENETRATION.



B TAC-CL14W-L

MOUNTING APPLICATION	
INTERIOR	EXTERIOR
	X

SIGN SCHEDULE				
QTY	SIGN TYPE	'H'	'W'	'A'
	TB-14-W-ST	14"	± 4'-2 7/8"	± 2'-6 5/16"
3	TB-14-W	14"	± 8'-6 3/8"	N/A

NOTE:
1.) THIS DRAWING IS FOR INSTALLATION PURPOSES ONLY.
2.) SHOP TO PROVIDE TOUCH UP PAINT TO INSTALLER.

MOUNTING HARDWARE

Exterior -	3/8" ZINC PLATED STEEL THREADED ROD THRU WALL W/BLOCKING
Interior -	3/8" SNAP TOGGLE BOLTS

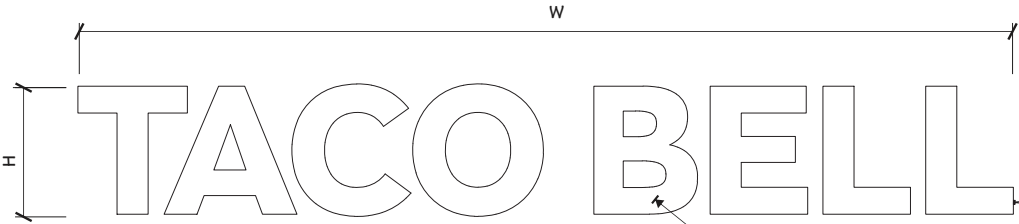
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NOTES:

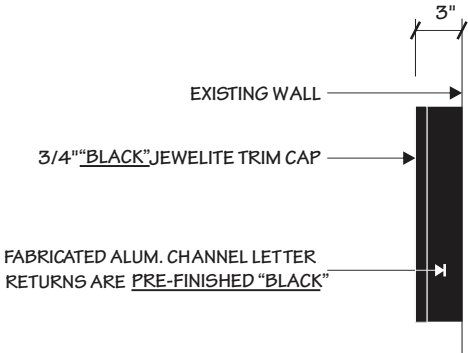
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LED TEMPERATURE IS TACO BELL STANDARD: 5000K

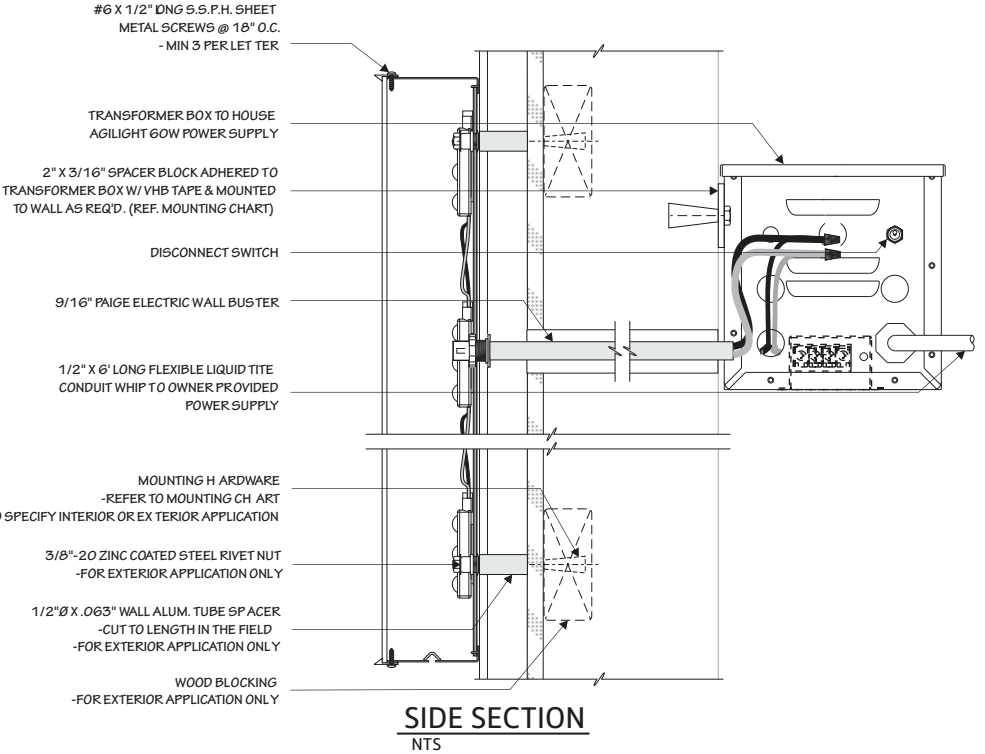


LAYOUT FRONT ELEVATION
NTS

#7328 WHITE ACRYLIC FACES
FONT: "CHEDDAR GOTHIC BOLD" -
NOT COMMERCIALY AVAILABLE



CHANNEL LETTER SIDE VIEW, TYP.
NTS



C HALO ILLUMINATED 'LIVE MAS' REVERSE CHANNEL LETTERSET



FRONT ELEVATION

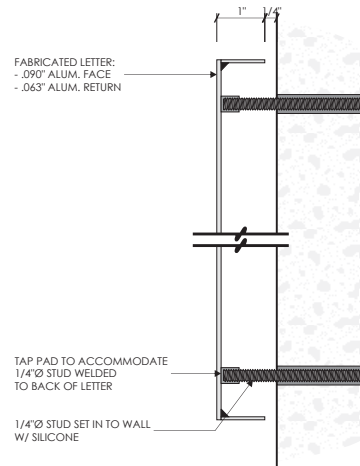
SCALE: 1"=1'-0"

NOTE: THE WORDS HAVE BEEN REVISED TO A LINEAR LAYOUT AND THE ANGLE HAS BEEN CHANGED FROM THE ORIGINAL TO BETTER FIT THE AVAILABLE MOUNTING AREA.

NOTE: "The "Live Mas" sign is custom font artwork (not a standardized font) created specifically for the Taco Bell Brand"



Night View



SECTION NTS

NOTE:
THOUGH NOT INDICATED IN THE SECTION VIEW,
THE LETTERS WILL BE HALO ILLUMINATED BY MEANS
OF LED'S.

LED Illumination Temperature is Taco Bell Standard of 5000k.



Location: Bartlett, TN

Site ID: #35153

Date: 08/11/2023

AGI Rep: K. Romanoff

Scale: as noted

Drawn by: B. Smith

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City of Bartlett, Tennessee Design Review Commission Staff Report

Site Plan

Ladd's

DATE: September 19, 2023

STAFF: Kim Taylor, Planning Director; Sam Harris, Senior Planner; Leslie Brock, Planner; Max Pedro-Gomez, Land Development Engineer; Trey Arthur, Code Enforcement Director

SUBJECT: Site Plan Application Review

APPLICANT: Brady Moore, Architect

SITE LOCATION: 0 Bartlett Corporate Drive

SITE ACREAGE: 4.6

ZONING: "I-P" Planned Industrial Park Zoning District

LOTS: 1

INTRODUCTION:

Brady Moore with Brady Moore Architects is requesting Design Review Commission approval of a Site Plan for an office building and open storage space for Ladd's. The subject property is located on the northwest corner of Bartlett Corporate Drive directly behind the TWRA Hunter Education Center. Subject property is zoned "I-P" Planned Industrial Park.

BACKGROUND:

The Planning Commission approved a site plan for the subject property on Tuesday, September 5, 2023. Specifics of the approved site plan are as follows:

Site Data	
Site Area:	4.60-acres / 200,376 square feet
Total Required Parking Spaces: 1.25 spaces per 1,000 square feet, plus 4 spaces.	18
Total Proposed Parking Spaces:	22
Handicap Accessible:	2 Van Accessible
Regular Customer Parking:	20
Proposed Office/Covered Space	3,750 square feet / 7,500 square feet
Total Proposed Building Area:	11,250 square feet
Greenspace/Open Space:	35%
Building Height:	One story

INTRODUCTION:

The specific request to the DRC by the applicant is for the approval of building elevations, landscaping, lighting details, parking, outdoor storage, dumpster enclosure, and fence. Details of the plan are as follows:

Elevations:

The front of the office building is the south elevation and is where the main entrance to the building is located. The north elevation of the office is attached to a 7,500 square foot covered open warehouse space.

The proposed front and side elevations of the office will be brick. The water table and two rowlock stripes consist of Triangle Brick "Williamsburg" while the upper portion of the wall will be Triangle Brick "Bessemer Gray." A dark bronze parapet coping will be at the top of the wall. The main entrance and office windows will have a Dark Bronze anodized aluminum frame with bronze tinted glass on both the front and side elevations. Above the main entrance is a metal hanging rod awning in "Colonial Red". The north elevation of the office building will be Almond colored metal panels. The elevation also features two roll up doors, as well as a personnel door, which will be painted to match the Almond metal panels.

The roof of the covered open space will be an Almond colored metal standing seam roof. The roof will be supported by metal building columns painted Dark Bronze set in a reinforced concrete base. The metal gutters and trim will be Almond while the downspouts will be Dark Bronze.

Recommendation: Approval with conditions.

Engineering Conditions:

General:

1. A Commercial Site Plan contract may be required and will be prepared by Engineering and submitted to the developer/engineer for review to cover the fees to be paid to the City of Bartlett.
2. Applicant/ Engineer shall provide a digital set of drawing files showing the sanitary sewer lines, drainage lines, lot lines and all improvements in Auto-CAD format to dhubbard@cityofbartlett.org and ecampbell@cityofbartlett.org for use in the preparation of the Water Design Plan. This plan will be coordinated with the site design engineer to resolve any conflicts.
3. A SWPPP and a TDEC permit may be required and shall be submitted to TDEC and also to the City of Bartlett Engineering office.
4. All new utilities shall be underground.
5. Any proposed Easements shall be recorded by an easement plat.

Site Plan:

6. Existing utilities on site shall be located and shown, including the water and sewer service lines and their connections to the mains.
7. Fire protection must be approved by the City of Bartlett Fire Marshall, to determine fire flow and associated water requirements.
8. Will need details for sidewalk, sewer clean-out, type D headwall, type E headwall, and lowered driveway.
9. Water meters will need to be installed outside fenced area.
10. Show all easements on site plan, to determine fire flow and associated water requirements.

Erosion Control Plan & Details:

11. Metal posts with wired backed fence are required on the proposed silt fences.

Grading and Drainage:

12. As built design, certifications will be required on the detention basin.

13. Applicant's engineer shall submit the stamped and signed detention calculations for the proposed detention basin and show the 'pre' and the 'post' runoff for the 2, 5, 10, 25-year storms.

Sewer:

14. If any sewer cleanout is located in a paved area, then it shall comply with the detail approved by Bartlett Codes, which involves a brass connections and a concrete collar.
15. This property is in Fletcher Creek Basin and taps and sewer line may require coordination with the City of Memphis. If a new sewer connection is required, developer shall provide said letter from the City of Memphis granting approval and meet all requirements of the City of Memphis. These may include installation of a private underground sewer storage tank and pump station.
16. Tracer wire must be installed on all sewer lines, including services.

Planning Comments:

1. The applicant would like the option of an 8-foot fence if his budget allows but is willing to go with a 6-foot fence.
2. The applicant has moved fence behind the front build-line of the office on the revised PC Site Plan.

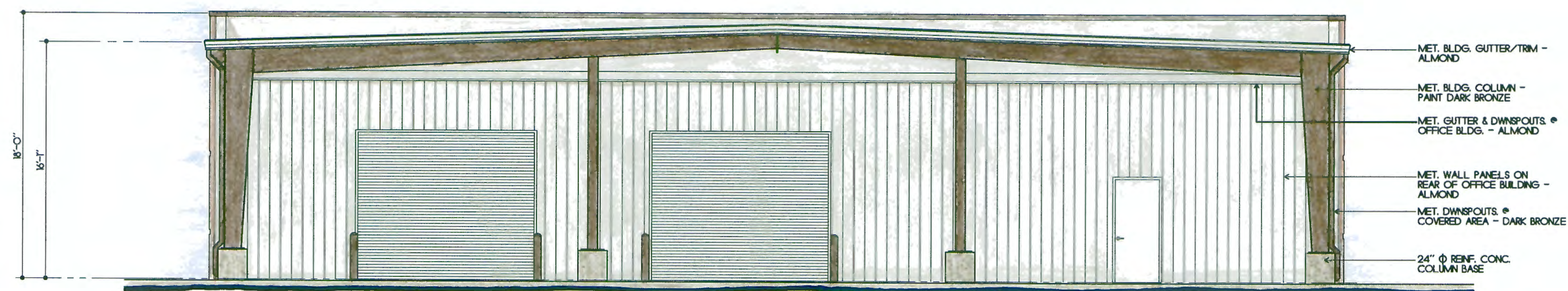
Planning Conditions:

1. Staff recommends the privacy slats for the chain-link fence be black vinyl.
2. The Fire Marshall will require a Knox Box padlock that will be dually coordinated with fire and police for emergency access.
3. Applicant shall provide a landscape plan showing truck parking buffer.
4. The applicant shall identify the green/open space of the site on the site plan data table.
5. Irrigation and maintenance is required for all planting on the landscape plan.
6. Applicant shall provide light pole diagram to reflect the installed light pole height will be less than the required 25 feet from top of grade.
7. The owner/applicant shall identify all utilities on site by contacting Tennessee One Call at 811 before commencing any site work.

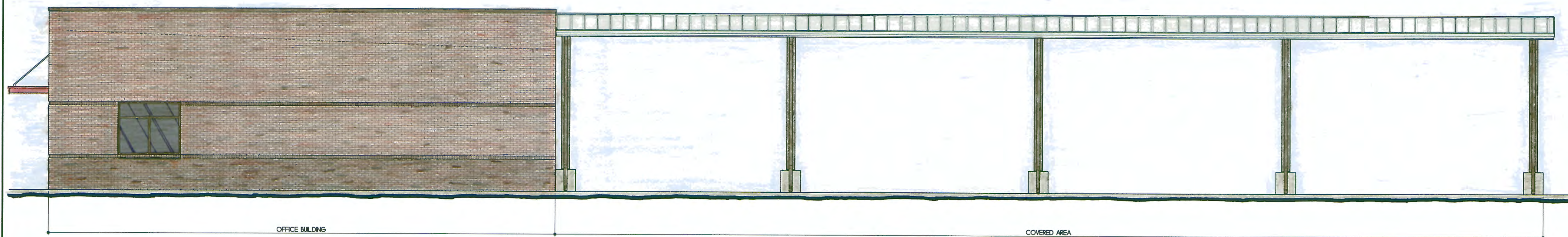
8. Owner/applicant shall be present at the meetings in order to make decisions relative to any changes that may be suggested by the Design Review Commission.



FRONT ELEVATION (SOUTH)
SCALE : 3/16" = 1'-0"



REAR ELEVATION (NORTH)
SCALE : 3/16" = 1'-0"



NOTE
THE LEFT SIDE (WEST) ELEVATION
IS SIMILAR BUT THERE IS NO
WINDOW ON THAT SIDE

FULL SIZE RIGHT SIDE ELEVATION (EAST)
SCALE : 3/16" = 1'-0"



REVISIONS

DRC SUBMITTAL GENERAL NOTES

1. LANDSCAPING
REFER TO SHEETS ?? AND ?? BY DAVID BRAY FIRM.
2. EXTERIOR LIGHTING
REFER TO SHEETS E??? AND E??? BY BURNS ENGINEERING FOR SITE ELECTRIC, LIGHTING PHOTOMETRIC PLAN, AND FIXTURE TYPE.
3. TRASH COLLECTION AREAS
DUMPSTERS ARE ENCLOSED AND SCREENED FROM VIEW BY A BRICK ON CONCRETE BLOCK ENCLOSURE THAT IS 7'-4" IN HEIGHT. BRICK SHALL MATCH BRICK @ BASE OF THE BUILDING.
4. GAS, ELECTRIC METERS, & TRANSFORMER SCREENING
 - a. GAS & ELECTRIC METERS ARE SCREENED BY NEW LANDSCAPING
 - b. ELECTRIC TRANSFORMER IS SCREENED BY NEW LANDSCAPING
5. MECHANICAL UNITS & VENTS
 - a. MECHANICAL UNITS FOR THE OFFICE AREA SHALL BE LOCATED ON THE GROUND ON THE WEST SIDE OF THE BUILDING, AND SHALL BE SCREENED BY A 4'-0" H. BRICK WALL.
 - b. ALL VENTS THRU THE ROOF AREA SHALL BE HIDDEN FROM VIEW BY THE BUILDING PARAPETS WALLS.
6. EXTERIOR MATERIALS
 - a. METAL ROOFING PANELS ARE "ALMOND" STANDING-SEAM PANELS, AND SHALL BE HIDDEN AT THE OFFICE BUT SHALL BE VISIBLE AT THE COVERED AREA BEHIND THE OFFICE.
 - b. METAL WALL PANELS, GUTTER, DOWNSPOUTS, AND FASCIA TRIM SHALL BE "ALMOND".
 - c. METAL PARAPET CORING, EXPOSED COLUMNS AT THE COVERED AREA AND STEEL BOLLARS SHALL BE "DARK BRONZE" IN COLOR
 - d. METAL HANGING ROD AWNING - COLOR SHALL BE "COLONIAL RED".
 - e. ALUMINUM & GLASS STOREFRONT SYSTEM :
 1. FRAMES - DARK BRONZE ANODIZED
 2. GLASS - BRONZE TINTED
 - f. BRICK SHALL BE MODULAR OR QUEEN SIZE MANUFACTURED BY TRIANGLE BRICK THERE SHALL BE (2) COLORS :
 1. DARK BROWN @ BASE OF BUILDING (WILLIAMSBURG)
 2. BROWN/RED/ GREY ABOVE BASE (BESSEMER GREY)



NEW ANNEX BUILDING FOR



BARTLETT CORP. DR.
BARTLETT, TN 38133

BM
ARCHITECT

INDUSTRIAL
COMMERCIAL/RETAIL
INTERIOR SPACE PLANNING

BRADY MOORE, ARCHITECT
420 PLUM POINT AVENUE
SOUTHAVEN, MS 38671
901-491-3403
bemarchitect@gmail.com

DATE : 8-15-23

SHEET : A300

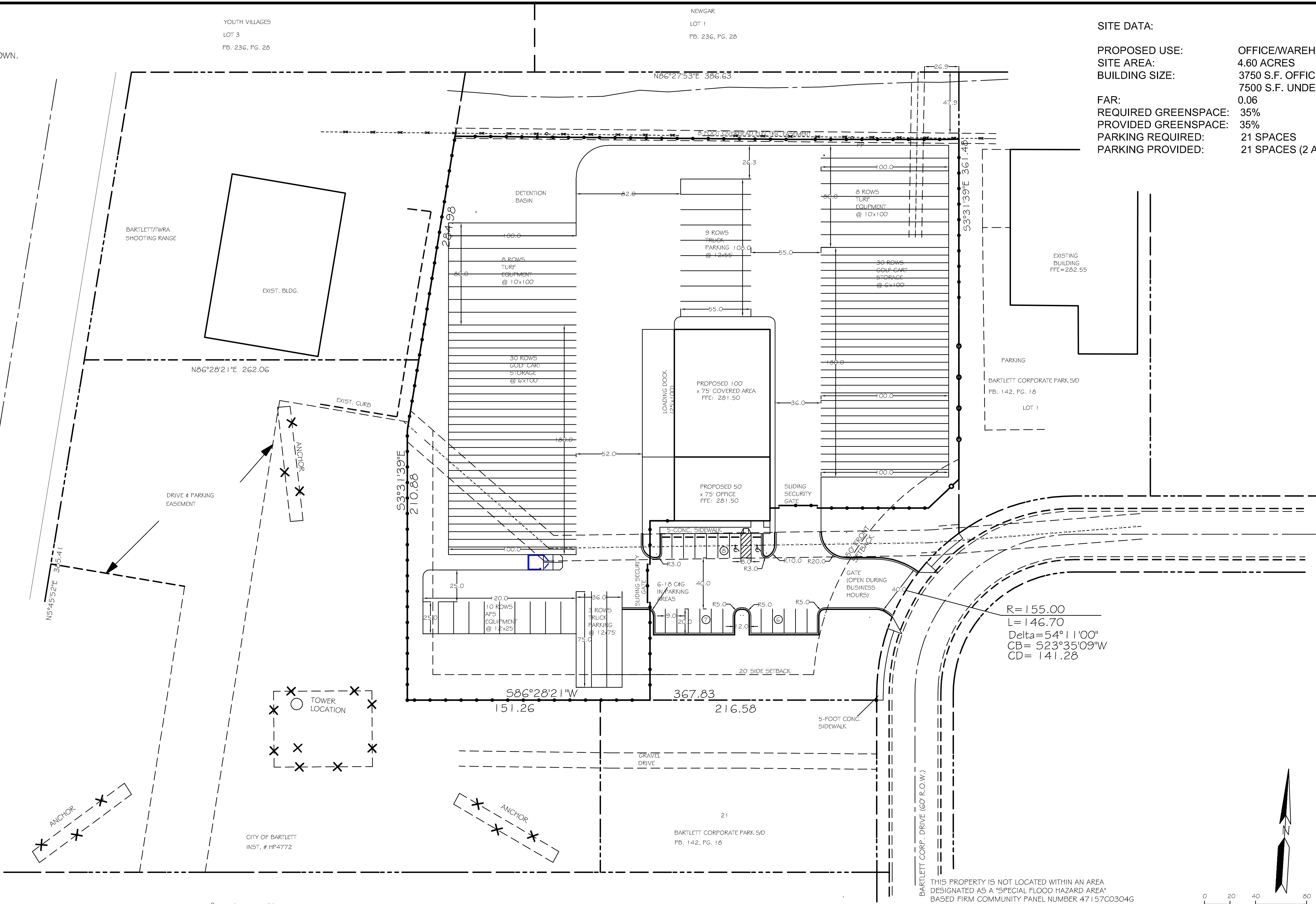
FOR
DRC REVIEW/APPROVAL

LADDS ANNEX BUILDING - BARTLETT CORP. DR. - BARTLETT, TN

NOTE:
1. DEEDS WERE PROVIDED TO THE BRAY FIRM AND THE BRAY FIRM DOES NOT GUARANTEE THE ACCURACY OF AND THE SAME AS TO ACCURACY OR COMPLETENESS.
2. THERE VISABLE AND NON-VISABLE UTILITIES THAT ARE NOT SHOWN.
3. BENCHMARK - CITY OF MEMPHIS BENCHMARK LOCATED ON THE SW CORNER OF APPLING ROAD AND BARTLETT CORP. PARK 0.9N OF A NW CORNER OF A CONCRETE PAD FOR A FLAG POLE EL. = 295.56
4. THERE IS A SEWER LINE AND WATER LINE THAT TRAVERSE THE PROPERTY THAT ARE NOT LOCATED WITHIN AN EASEMENT.
5. BUILDING SETBACKS - IP ZONING
FRONT - 50'
SIDE - 20'
REAR - 20'
6. ADJACENT RADIO TOWER HEIGHT APPROXIMATELY 295.5'
7. ALL CURB SHOTS ARE TOP OF CURB ELEVATIONS

LEGEND
SMH - SEWER MANHOLE
OHE - OVERHEAD ELEC.
HW - HEADWALL
CM - CHISEL MARK
DMH - DRAIN MANHOLE
CMP - CORRUGATED METAL PIPE
FFE - FINISH FLOOR EL.
F.I.P. - FOUND IRON PIN
S.I.P. - SET IRON PIN
WV - WATER VALVE
*** FENCE

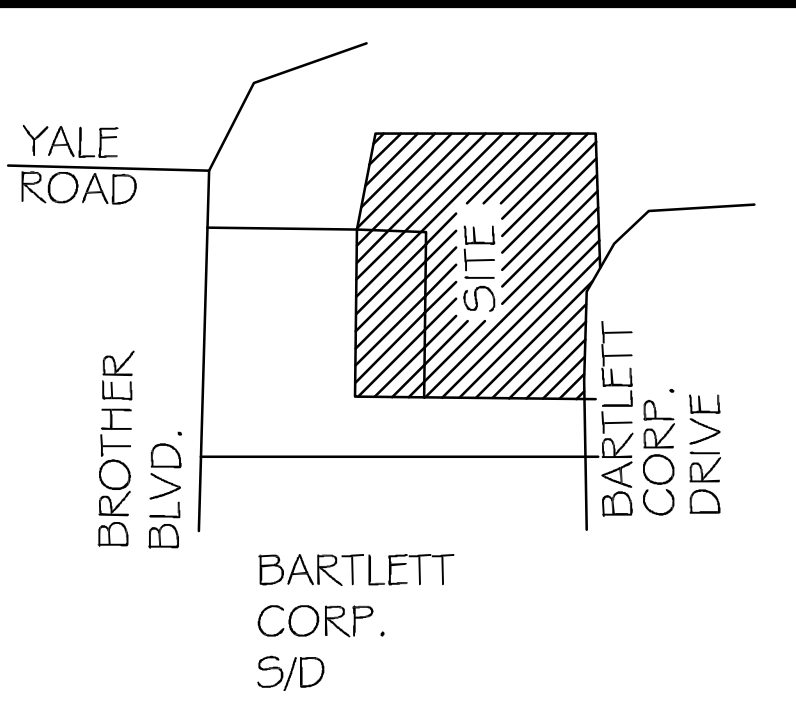
UNDERGROUND SEWER
UNDERGROUND WATER
OVERHEAD ELECTRIC
UNDERGROUND ELECTRIC
UNDERGROUND GAS



SITE DATA:

PROPOSED USE: OFFICE/WAREHOUSE
SITE AREA: 4.60 ACRES
BUILDING SIZE: 3750 S.F. OFFICE
7500 S.F. UNDER COVER
FAR: 0.06
REQUIRED GREENSPACE: 35%
PROVIDED GREENSPACE: 35%
PARKING REQUIRED: 21 SPACES
PARKING PROVIDED: 21 SPACES (2 ADA)

VICINITY MAP n.t.s.



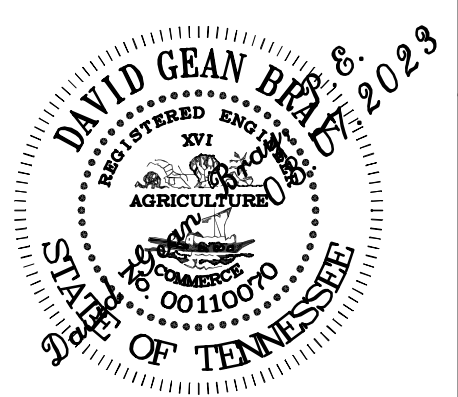
Pavement recommendations:
A Geotechnical report was prepared by Mid-Continent Laboratories, Inc.

The recommendations for pavement sections are as follows:
FLEXIBLE PAVEMENT
HEAVY DUTY PAVEMENT:
1.0 inches wearing course Hot Mix Asphaltic Concrete
2.0 inches binder course Hot Mix Asphaltic Concrete
6.0 inches Soil Cement Base or
10.0 inches Crushed Stone Base

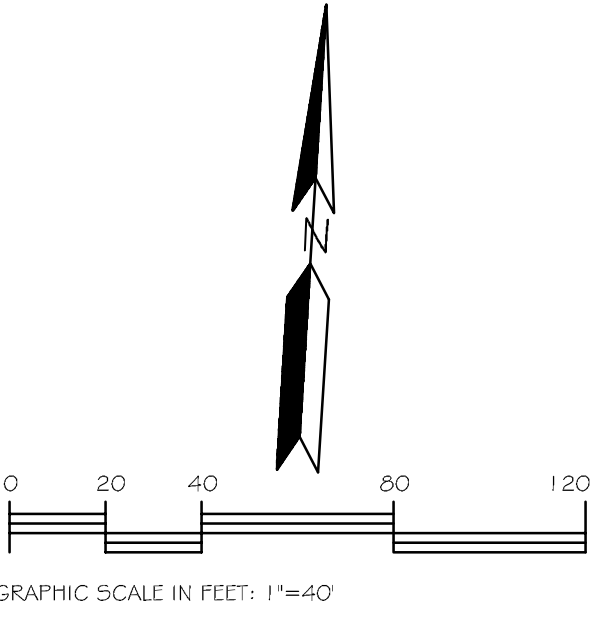
LIGHT DUTY PAVEMENT (office parking area)
1.0 inches wearing course Hot Mix Asphaltic Concrete
2.0 inches binder course Hot Mix Asphaltic Concrete
6.0 inches Soil Cement Base or
6.0 inches Crushed Stone Base
RIGID PAVEMENT
HEAVY DUTY:
6.0 inches Portland Cement Concrete
6.0 inches Granular Sub Base
LIGHT DUTY:
5.0 inches Portland Cement Concrete
6.0 inches Granular Sub Base (optional)
Dumpster areas and truck loading areas shall have be 7.0 inches.

Contractor shall refer to referenced report for complete detailing of site preparation standards and requirements.

REVISIONS		
ITEM NO.	DESCRIPTION OF CHANGE	DATE APPROVED
	CM	



LADD'S ANNEX LLC PROPERTY
INSTRUMENT # 23034764
DEVELOPER: LADD'S ANNEX LLC.
ENGINEER: THE BRAY FIRM



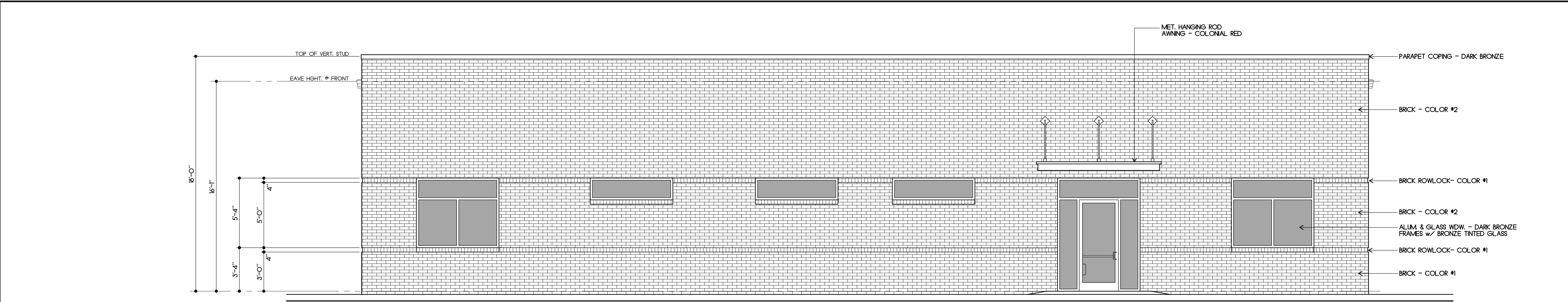
DIVISION OF ENGINEERING

SITE PLAN

BARTLETT, TENNESSEE

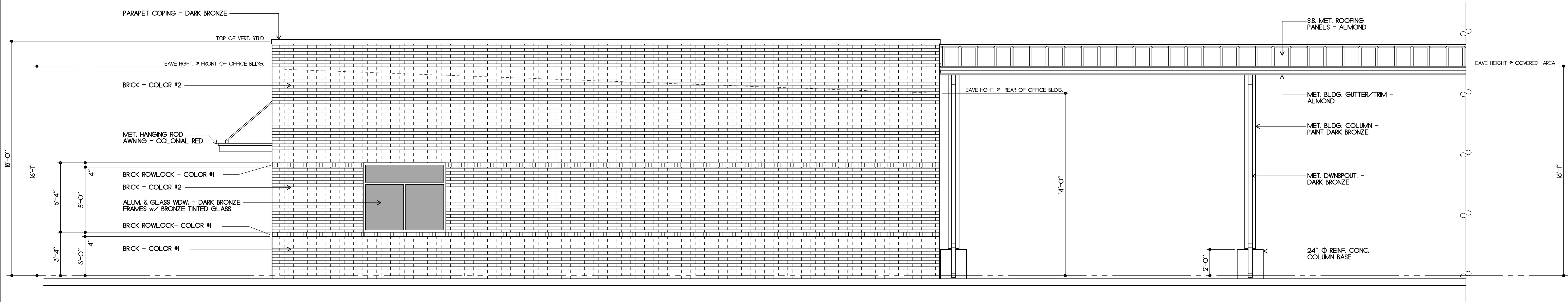
SURVEY: TBF DATE: 3-2014 BOOK: _____
DESIGN: TBF DATE: 8-2023 SCALE: 1"=40'
REVIEWED BY: _____

CITY ENGINEER DATE SHEET 2 of 7



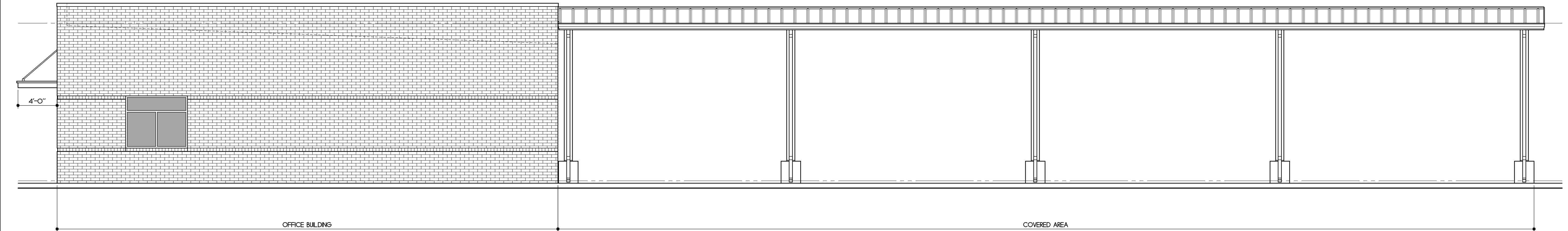
FRONT ELEVATION (SOUTH)

SCALE : 1/4" = 1'-0"



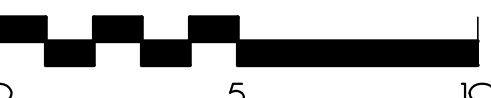
PARTIAL RIGHT SIDE ELEVATION (EAST)

SCALE : 1/4" = 1'-0"



FULL SIZE RIGHT SIDE ELEVATION (EAST)

SCALE : 3/16" = 1'-0"



REVISIONS

DRC SUBMITTAL GENERAL NOTES

1. LANDSCAPING
REFER TO LANDSCAPING PLANS BY THE REAVES FIRM.
2. EXTERIOR LIGHTING
REFER TO SHEETS EIO1 AND EIO2 BY BURNS ENGINEERING FOR SITE ELECTRIC, LIGHTING PHOTOMETRIC PLAN, AND FIXTURE TYPE.
3. TRASH COLLECTION AREAS
DUMPSTERS ARE ENCLOSED AND SCREENED FROM VIEW BY A BRICK ON CONCRETE BLOCK ENCLOSURE THAT IS 7'-4" IN HEIGHT. BRICK SHALL MATCH BRICK @ BASE OF THE BUILDING.
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b. ELECTRIC TRANSFORMER IS SCREENED BY NEW LANDSCAPING
5. MECHANICAL UNITS & VENTS
a. MECHANICAL UNITS FOR THE OFFICE AREA SHALL BE LOCATED ON THE GROUND ON THE WEST SIDE OF THE BUILDING, AND SHALL BE SCREENED BY LANDSCAPING.
b. ALL VENTS THRU THE ROOF AREA SHALL BE HIDDEN FROM VIEW BY THE BUILDING PARAPETS WALLS.
6. EXTERIOR MATERIALS
a. METAL ROOFING PANELS ARE "ALMOND" STANDING-SEAM PANELS, AND SHALL BE HIDDEN AT THE OFFICE BUT SHALL BE VISIBLE AT THE COVERED AREA BEHIND THE OFFICE.
b. METAL WALL PANELS, GUTTER, DOWNSPOUTS, AND FASCIA TRIM SHALL BE "ALMOND"
c. METAL PARAPET COPING AT OFFICE, EXPOSED COLUMNS AND DOWNSPOUTS AT THE COVERED AREA, STEEL BOLLARDS, SHALL BE "DARK BRONZE" IN COLOR.
d. METAL HANGING ROD AWNING - COLOR SHALL BE "COLONIAL RED".
e. ALUMINUM & GLASS STOREFRONT SYSTEM :
1. FRAMES - DARK BRONZE ANODIZED
2. GLASS - BRONZE TINTED
f. BRICK SHALL BE MODULAR OR QUEEN SIZE MANUFACTURED BY TRIANGLE BRICK THERE SHALL BE (2) COLORS :
1. DARK BROWN @ BASE OF BUILDING (WILLIAMSBURG)
2. BROWN/RED/ GREY ABOVE BASE (BESSEVER GREY)



NEW ANNEX BUILDING
FOR



BARTLETT CORP. DR.
BARTLETT, TN 38133

BM
ARCHITECT

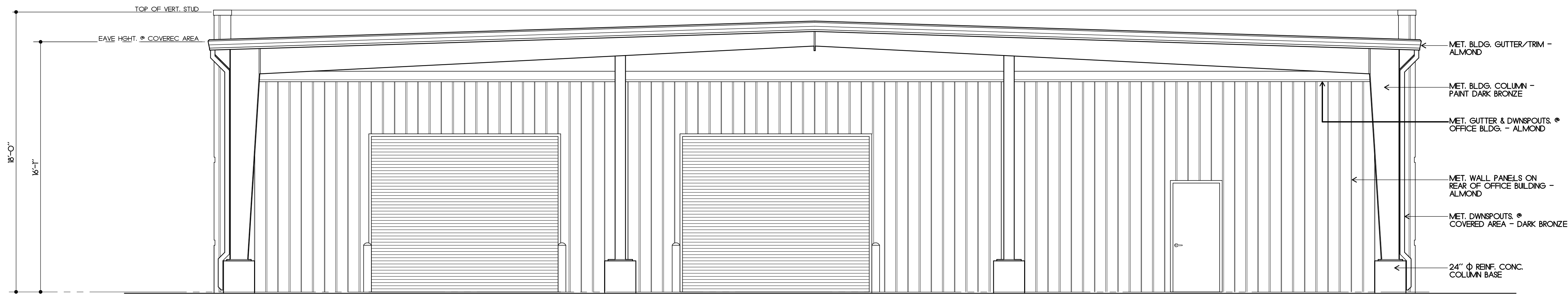
INDUSTRIAL
COMMERCIAL/RETAIL
INTERIOR SPACE PLANNING

BRADY MOORE, ARCHITECT
420 PLUM POINT AVENUE
SOUTHAVEN, MS 38671
901-491-3403
bemarchitect@gmail.com

DATE : 8-15-23 SHEET : A300

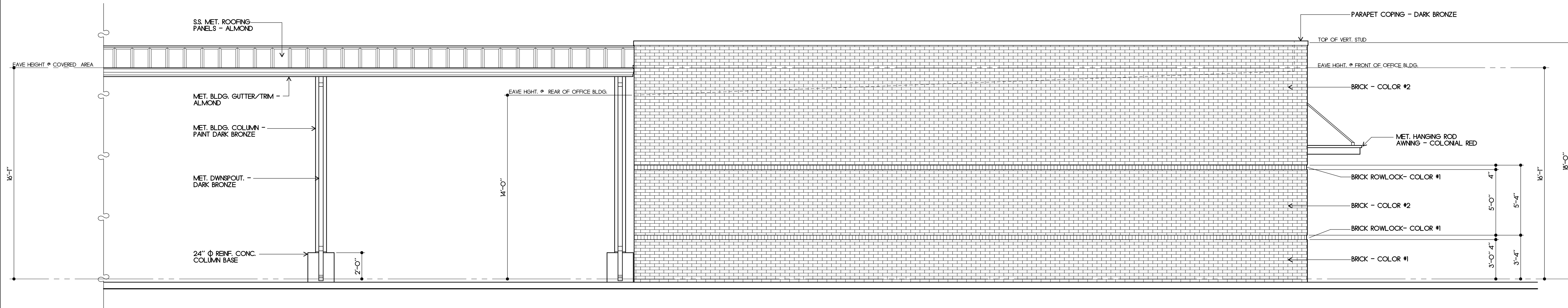
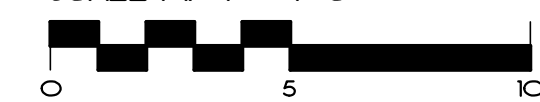
FOR
DRC REVIEW/APPROVAL

LADDS ANNEX BUILDING - BARTLETT CORP. DR. - BARTLETT, TN



REAR ELEVATION (NORTH)

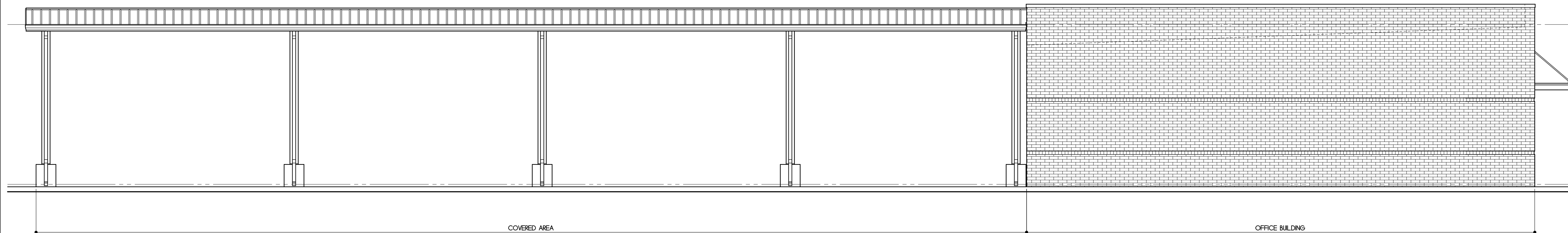
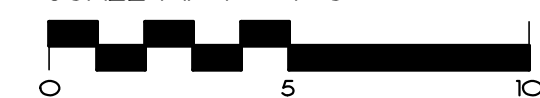
SCALE : 1/4" = 1'-0"



NOTE
SEE FULL SIZE RIGHT SIDE
ELEVATION BELOW THAT INDICATES
THE FULL LENGTH OF THE LEFT SIDE

PARTIAL LEFT SIDE ELEVATION (WEST)

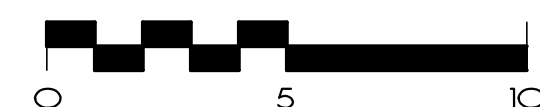
SCALE : 1/4" = 1'-0"



NOTE
PARTIAL RIGHT SIDE ELEVATION ABOVE
FOR MATERIALS & DIMENSIONS

FULL SIZE LEFT SIDE ELEVATION (WEST)

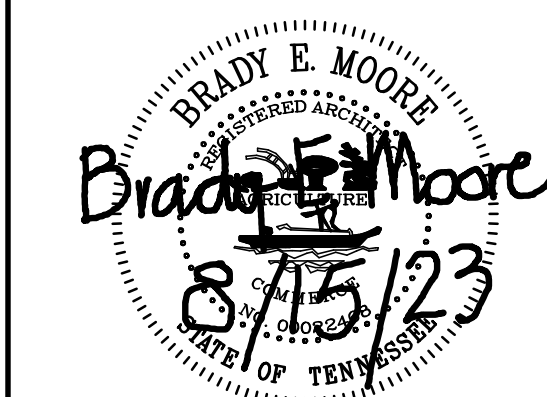
SCALE : 3/16" = 1'-0"



REVISIONS

DRC SUBMITTAL GENERAL NOTES

1. LANDSCAPING
REFER TO LANDSCAPING PLANS BY THE REAVES FIRM.
2. EXTERIOR LIGHTING
REFER TO SHEETS E101 AND E102 BY BURNS ENGINEERING FOR SITE ELECTRIC, LIGHTING PHOTOMETRIC PLAN, AND FIXTURE TYPE.
3. TRASH COLLECTION AREAS
DUMPSTERS ARE ENCLOSED AND SCREENED FROM VIEW BY A BRICK ON CONCRETE BLOCK ENCLOSURE THAT IS 7'-4" IN HEIGHT. BRICK SHALL MATCH BRICK @ BASE OF THE BUILDING.
4. GAS, ELECTRIC METERS, & TRANSFORMER SCREENING
a. GAS & ELECTRIC METERS ARE SCREENED BY NEW LANDSCAPING.
b. ELECTRIC TRANSFORMER IS SCREENED BY NEW LANDSCAPING.
5. MECHANICAL UNITS & VENTS
a. MECHANICAL UNITS FOR THE OFFICE AREA SHALL BE LOCATED ON THE GROUND ON THE WEST SIDE OF THE BUILDING, AND SHALL BE SCREENED BY A 4'-0" H. BRICK WALL.
b. ALL VENTS THRU THE ROOF AREA SHALL BE HIDDEN FROM VIEW BY THE BUILDING PARAPETS WALLS.
6. EXTERIOR MATERIALS
a. METAL ROOFING PANELS ARE "ALMOND" STANDING-SEAM PANELS, AND SHALL BE HIDDEN AT THE OFFICE BUT SHALL BE VISIBLE AT THE COVERED AREA BEHIND THE OFFICE.
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NEW ANNEX BUILDING
FOR



BARTLETT CORP. DR.
BARTLETT, TN 38133

BM
ARCHITECT

INDUSTRIAL
COMMERCIAL/RETAIL
INTERIOR SPACE PLANNING

BRADY MOORE, ARCHITECT
420 PLUM POINT AVENUE
SOUTHAVEN, MS 38671
901-491-3403
bemarchitect@gmail.com

DATE : 8-15-23 SHEET : A301

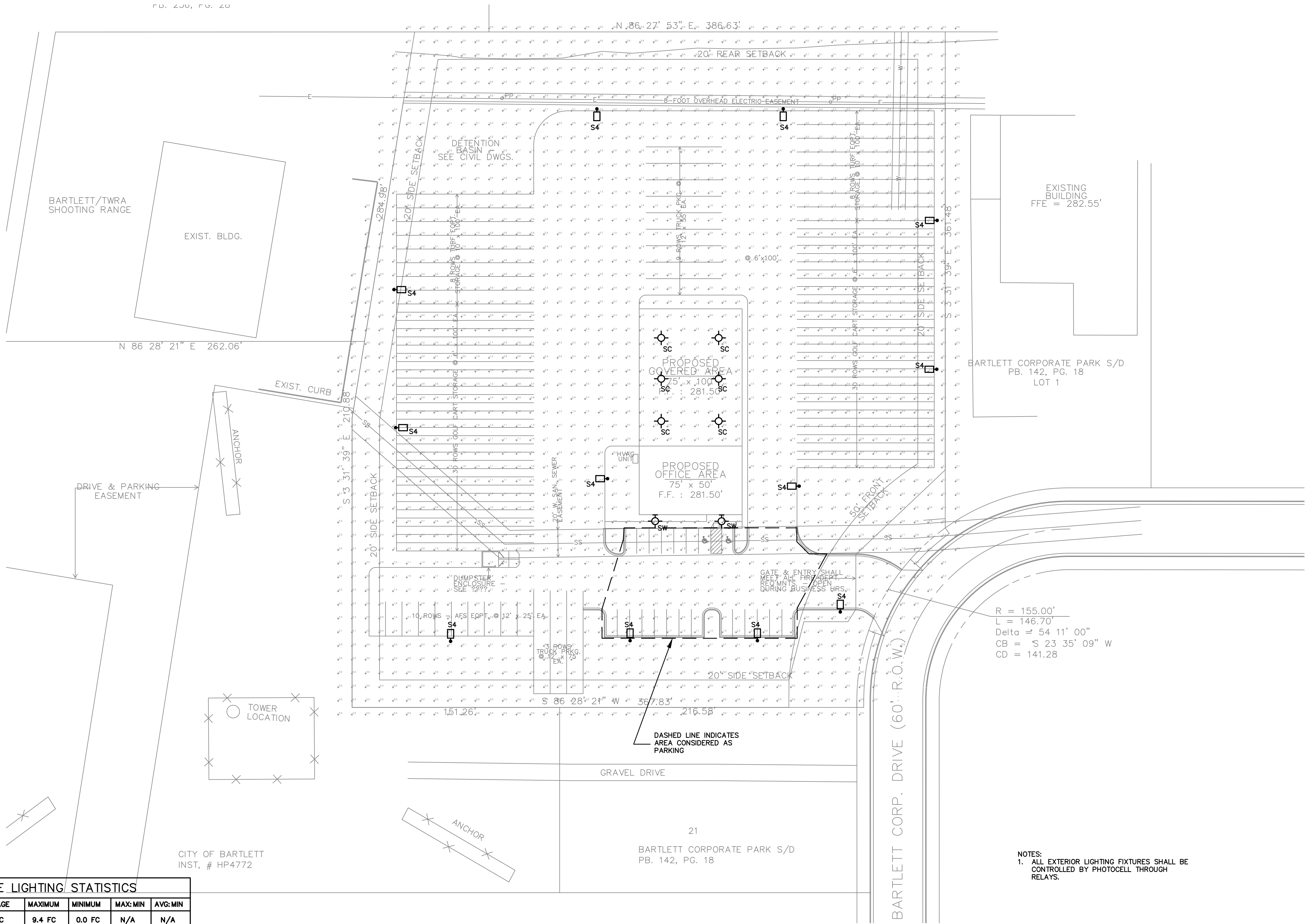
FOR
DRC REVIEW/APPROVAL

LADDS ANNEX BUILDING - BARTLETT CORP. DR. - BARTLETT, TN

SITE LIGHTING STATISTICS					
AREA	AVERAGE	MAXIMUM	MINIMUM	MAX:MIN	AVG:MIN
OVERALL	1.1 FC	9.4 FC	0.0 FC	N/A	N/A
PARKING *	2.8 FC	5.9 FC	1.2 FC	4.9:1	2.3:1

* SEE PLAN FOR PARKING AREA

LIGHTING FIXTURE SCHEDULE											
MARK	DESCRIPTION	MANUFACTURER	MODEL	LAMPS	FINISH	MOUNTING	QTY	WATTS	LUMENS	LPW	REMARKS
S4	TYPE IV AREA LIGHT	LITHONIA	DSX2 LED P2 30K 80CRI BLC4	LED	DARK BRONZE	25'-0" SSS POLE	13	179	17966	100	WITH BACK LIGHT CONTROL
SC	CANOPY FIXTURE	LITHONIA	CNY LED P2 40K MVOLT	LED	DARK BRONZE	SURFACE	6	52	6600	128	
SW	WALL FIXTURE	LITHONIA	WST LED P2 30K VW MVOLT	LED	DARK BRONZE	ON WALL 14'-0" AFF	2	25	3276	131	



SITE PHOTOMETRIC PLAN
SCALE: 1" = 40'-0"

REVISIONS



BURNS ENGINEERING
5155 HATCH LANE
ARLINGTON, TENNESSEE 38002
(901)373-8462

NEW ANNEX BUILDING
FOR



BARTLETT CORP. DR.
BARTLETT, TN 38133

BM
ARCHITECT

INDUSTRIAL
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BRADY MOORE, ARCHITECT
420 PLUM POINT AVENUE
SOUTHAVEN, MS 38671
901-491-3403
bemarchitect@gmail.com

DATE : 8-15-23 SHEET : E101

FOR
DRC REVIEW/APPROVAL

LADDS ANNEX BUILDING - BARTLETT CORP. DR. - BARTLETT, TN



City of Bartlett, Tennessee Design Review Commission Staff Report

Site Plan

Smoker's Shop

DATE: September 19, 2023

STAFF: Kim Taylor, Planning Director; Sam Harris, Senior Planner; Leslie Brock, Planner; Max Pedro-Gomez, Land Development Engineer; Trey Arthur, Code Enforcement Director

SUBJECT: Site Plan Application Review

APPLICANT: Ahmed Saffarini, Saffarini Investments, Inc.

SITE LOCATION: 6524 Memphis-Arlington Road, Suite 109

SITE ACREAGE: 2.95

ZONING: "SC-1" Planned Unit Commercial Development Zoning District

LOTS: 1

INTRODUCTION:

Mr. Ahmed Saffarini with Saffarini Investments, Inc. is requesting Design Review Commission (DRC) site plan approval for Smokers Shop tobacco retail shop. The subject property is located at 6525 Memphis-Arlington Road, Suite 109 within the "SC-1" Planned Unit Commercial Zoning District.

BACKGROUND:

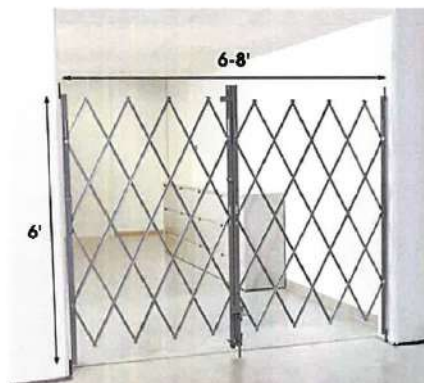
The 2.95 -acre subject property is located on lot 2 of the Altruria Creek Commercial Center Subdivision. The tenant bays being leased by the applicant was the prior location of a drive thru dry cleaner. The Smoke Shop, a tobacco retail shop, now leases the location. Other tenants within the shopping center include a nail salon, a hair studio, and three restaurants.

In May 2018, the DRC approved a site plan for the subject property to add a drive-thru window on the north elevation of the building facing the existing Walgreen's, but the DRC denied the applicant's site plan request at the same meeting to add security bars inside the window frames inside the store building on the front elevation facing Memphis-Arlington Road. In lieu of approving the security bars the DRC recommended alternative security products such as polycarbonate window frames.

DISCUSSION:

The specific request to the DRC by the applicant is for the approval of a revised building elevation to add accordion security bars behind the window frames inside the store on the front elevation of the building facing Memphis-Arlington Road. The City of Bartlett Department of Code Enforcement was notified that the applicant installed the accordion security bars in the storefront windows without obtaining DRC approval. The security bars are made of bronze aluminum to match the storefront, and they are installed by non-anchor bolted screws into the hollow aluminum window frames.

Folding Security Gate - 6-8' x 6'



Control access to hallways and receiving doors without affecting ventilation or visibility.

- For garage and hallway entrances. Center drop pin stabilizes door when closed.
- Corrosion-resistant, galvanized steel webbing.
- Gates pivot and swing 180° for unobstructed access.
- Includes bearing washers, brackets and casters.
- Padlocks available.



Recommendation: Denial of the proposed security bars since alternative security products are available for the applicant.

Planning Comments:

1. The storefront windows are made of insulated tempered glass. The DRC has not approved the installation of security bars in the windows since it is more of a visual deterrent than a structural deterrent.
2. The other tenants within the shopping center are not experiencing these security issues, so the aesthetics of the building would be altered to satisfy the attractive nuisance concerns of this specific use.
3. Alternative security products are available for the applicant. Those alternatives include the following:

- [3M™ Safety & Security Window Films, Safety Series for Commercial](#)
- Eastman KeepSafe laminated glass

<http://www.keeptsafe.com/Pages/default.aspx>

<https://www.youtube.com/watch?v=Z2HxWn6eP74>

<https://maclinsecuritydoor.com/security-doors/>

Planning Conditions:

1. Should the applicant/owner obtain a license to sell beer, then the drive-thru window shall be removed and replaced by brick or forfeit their beer license.
2. It is recommended that the owner/applicant attend the meeting in order to make decisions relative to any changes that may be suggested by the DRC.

Engineering Conditions:

None.

Bartlett Planning and
Economic Development Department
6400 Stage Road, P.O. Box 341148
Bartlett, TN 38184-1148
901-385-6417 FAX 901-385-6419
www.cityofbartlett.org

Application for Site Plan Approval to the Bartlett Design Review Commission

Project Name Smokers Shop
Project Address 6524 Memphis-Arlington Rd. Ste # (109) 108-110, Bartlett, TN. 38135

Owner/Developer Contact Ahmed Saffarini
Company Name Smokers Shop 2 Inc.
Address 8295 Tournament Dr. Memphis, TN. 38115
Phone: 901-650-8577 Fax: _____ E-mail: ahmed-saff@ya.com

Architect Contact _____
Company Name _____
Address _____
Phone: _____ Fax: _____ E-mail: _____

Engineer Contact _____
Company Name _____
Address _____
Phone: _____ Fax: _____ E-mail: _____

Submitted by H. Be. Tessa J. [Signature] 5 Aug 2023
(printed name) (signature) (date)

- _____ Attach a checked-off "Site Plan Checklist" and fifteen (15) sets of your application.
- _____ Acknowledge (by initials in the blank to the left) that the "Application Instructions: Design Review Commission" were obtained and read prior to submitting this application.
- _____ Provide an electronic PDF file of the plans. Note that an updated electronic file is required when plans are revised. The electronic file shall be labeled with the project name and accurately dated.
- _____ Include a fee of \$ 400.00 with this application (check payable to the City of Bartlett).

INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED

RECEIVED

AUG 16 2023

CITY OF BARTLETT

Site Plan Checklist

Bartlett Design Review Commission

The design of new buildings shall be compatible with the general character of the existing surroundings. Site plan applications will be reviewed for compatibility of landscaping, exterior materials, exterior colors, architectural style, scale, proportion, mass, and details. Diversity is acceptable to the extent that compatibility can be demonstrated. The applicant must explain the design to the Commission to demonstrate compatibility. A rendering and full, clear color exterior samples are required.

1. Basic Submittals

- ☒ a. * Site plan.
- ☒ b. * Building elevations (all four) and a color rendering of the building.
- ☐ c. Floor area (square feet) in buildings.
- ☒ d. One PDF file of items indicated herein by an asterisk (*), for display at the Design Review Commission meeting.

2. Landscaping

- ☒ a. * Landscaping plan.
- ☐ b. Identification of all existing trees, denoting those to remain and those to be removed; with grading shown to save trees where possible.
- ☐ c. Proposed new trees, shrubs, and ground covers, shown graphically with plant common names and size.
- ☐ d. Adequate landscape screening along property lines where required.
- ☐ e. Grass strip between sidewalk and street curb.
- ☐ f. Street trees on all commercial and residential site plans reviewed by the Commission, in accordance with the Bartlett Tree and Landscape Ordinance.
- ☐ g. Parking lot planters.

3. Exterior Lighting

Provide details on the following:

- ☐ a. Location
- ☐ b. Height
- ☐ c. Style of Fixtures
- ☐ d. * Photometric Plan with design and arrangement to prevent intrusion on adjoining property and streets.
- ☐ e. Bulb Temperature not to exceed 4K

4. Trash Collection Areas

- ☐ a. Type and location indicated on plan.
- ☐ b. Trash receptacles in accordance with Bartlett Codified Ordinance 17-103. (Ask for dumpster enclosure drawings.)

5. Gas And Electric Meters And Transformer Locations

- ☐ a. Locations shown in rear of commercial project in accessible area.
- ☐ b. Screening of all meters.
- ☐ c. Water meter location.

6. Mechanical Units, Vents (Plumbing Heating, etc.).

- ☐ a. Location
- ☐ b. Screening required

7. Exterior Material

- | | Roofing | Exterior |
|---|---------|----------------------|
| ☒ a. Material | | <u>Security Bars</u> |
| ☐ b. Colors | | |
| ☐ c. Large samples of colors and materials must be presented at the meeting. | | |

8. Plans shall be sealed, signed and dated by an architect or engineer that is registered in the State of Tennessee.

9. Owner must arrange for debris and mud to be kept from the streets during construction or the City will remove it and charge the owner.

cloverdale enterpruses LLC
9107 chicot rd

Little rock, AR 72209

Date: april 10, 2018

Whom may it concern I am jagroop singh owner of cloverdale enterprises LLC, Mr ahmed saffarini entered into lease on july 31, 2017 for property located at 6525 memphis arlington rd Bartlett, TN 38134 Suites 108-110 . Mr ahmed saffarini have my permission to install a drive thru window and add security bars to the store front windows and doors within the codes of city of bartlett or allow by city of bartlett.

A handwritten signature in cursive script that reads "Jagroop Singh". The signature is written in dark ink and is positioned above a horizontal line.

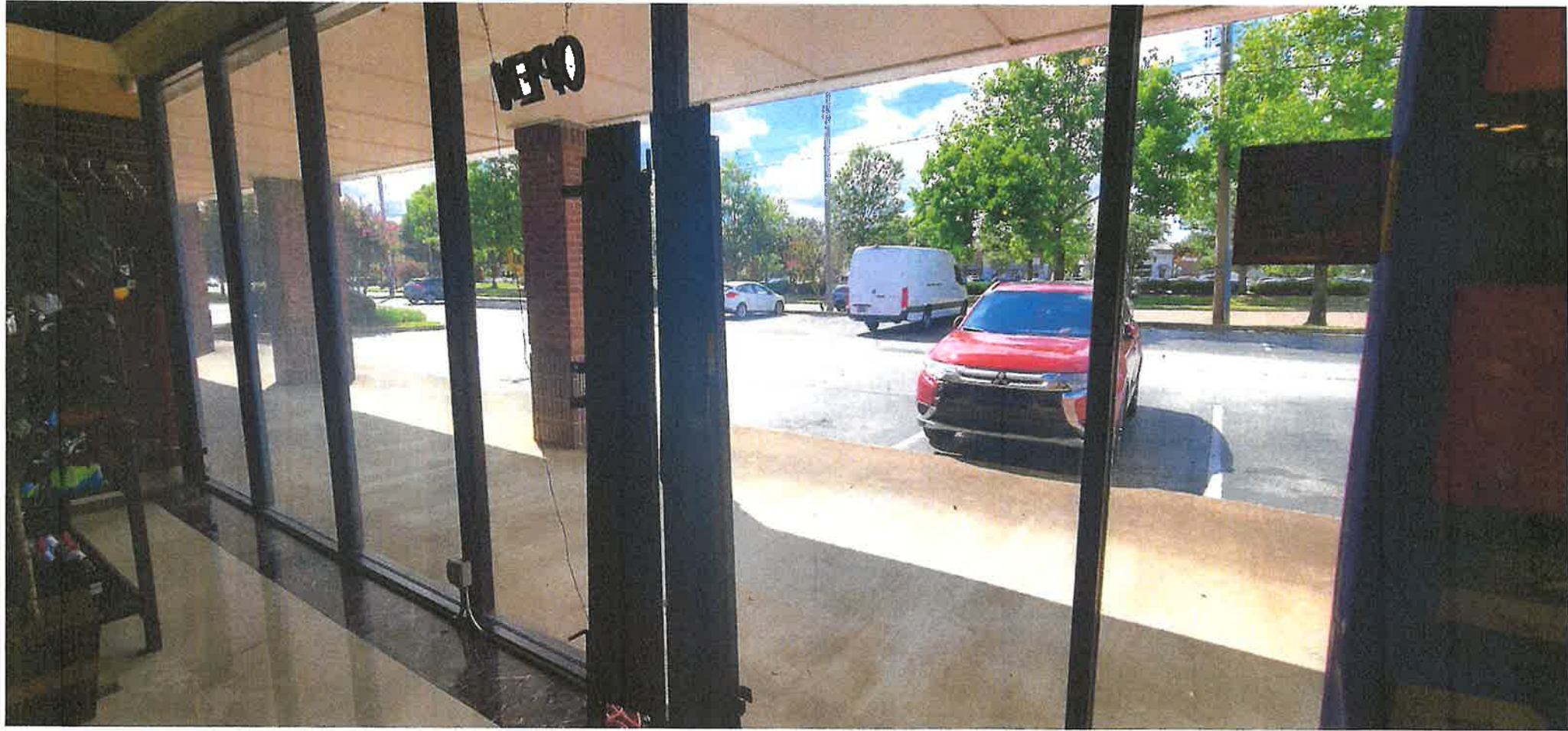
Jagroop singh

landlord







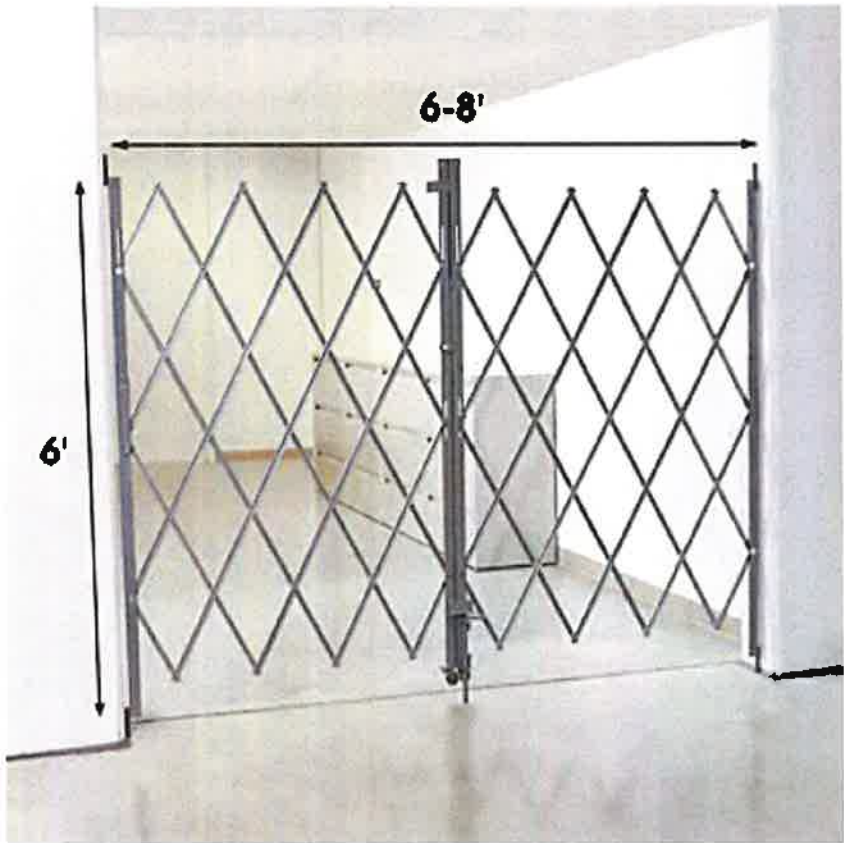








Folding Security Gate - 6-8' x 6'



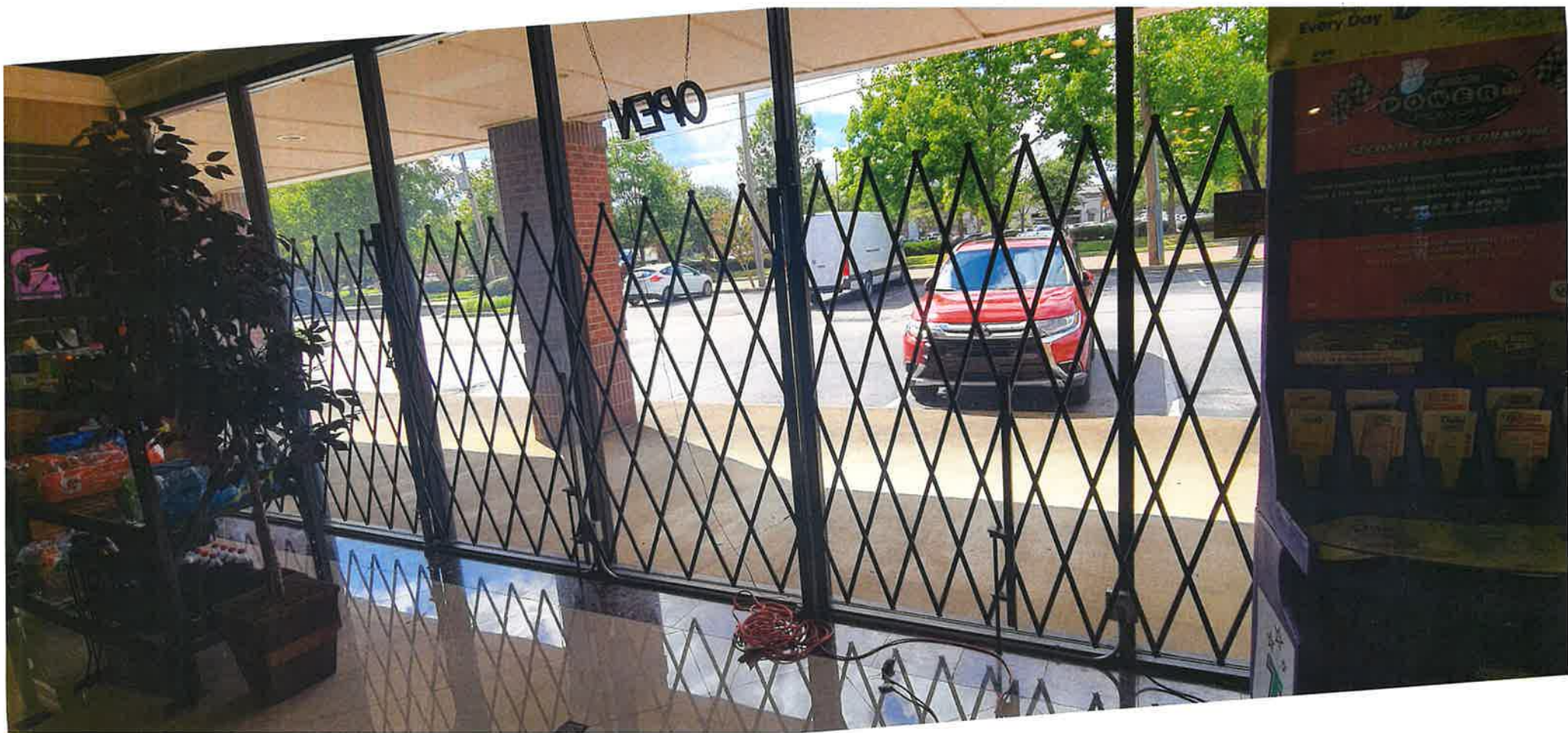
 [More Images & Video](#)

Control access to hallways and receiving doors without affecting ventilation or visibility.

- For garage and hallway entrances. Center drop pin stabilizes door when closed.
- Corrosion-resistant, galvanized steel webbing.
- Gates pivot and swing 180° for unobstructed access.
- Includes bearing washers, brackets and casters.
- Padlocks available.

MODEL NO.	DESCRIPTION	EXTENDED		FOLDED		WT. (LBS.)	PRICE PER SET		IN STOCK SHIPS TODAY
		WIDTH	HEIGHT	WIDTH	HEIGHT		1	2+	
H-2827	Fixed Double	6-8'	6'	11"	6 1/2'	56	\$310	\$300	1 ADD

SHIPS VIA UPS



SMOKERS SHOP

CIGARS VAPE & MORE

SUITE 109
888-7-4006-1110



