



City of Bartlett

David Parsons, Mayor

Municipal Planning Commission

AGENDA

Tuesday, January 2, 2024 — 6:30 p.m.

Bartlett City Hall Assembly Chamber

Opening Prayer

****Official Business of the Day****

Minutes of the Monday, December 4, 2023 Meeting

Continued Special Use Permit

1. School Use, 9375 Davies Plantation Road (Roy Lamica, EFI Global)

Roy Lamica with EFI Global, on behalf of Christian Life Church Memphis, is requesting approval of an amended Special Use Permit to allow for a school use to be added to the existing church use on property located at 9375 Davies Plantation Road. This property is in the "R-E" Residential Estate Zoning District.

New Business Site Plan

2. MMK Lot 12, Northeast Corner of Ladurl Drive and Ladurl Cove (Roy Lamica, EFI Global)

Roy Lamica with EFI Global on behalf of North Star Development, LLC is requesting Site Plan approval of a 20,000 square foot Contractor's Office Building.

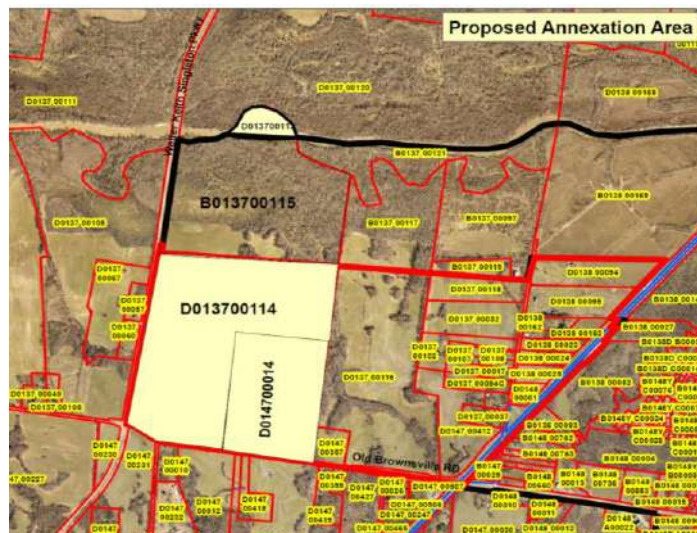
3. Shamali Subdivision Lot 1, 7771 Highway 70 (David Bray, The Bray Firm)

David Bray with the Bray Firm, on behalf of Marwan Shamali, is requesting Site Plan approval of a retail store. This property is in the "C-H" Highway Business Zoning District.

Annexation and Plan of Services

4. Resolution 01-24, 02-24, 03-24, and 04-24 Resolutions to annex three parcels in the Bartlett Annexation Reserve Area, adopt a Plan of Services for these three areas, and establish zoning under the City of Bartlett Zoning Ordinance.

This is a City initiated request for “Annexation by Property Owners Consent” with an “Annexation Plan of Services” review and recommendation. The subject properties are located within the City’s northwestern region of its Urban Growth Boundary area also identified as Parcels D013700114, D014700014 and D013700113.

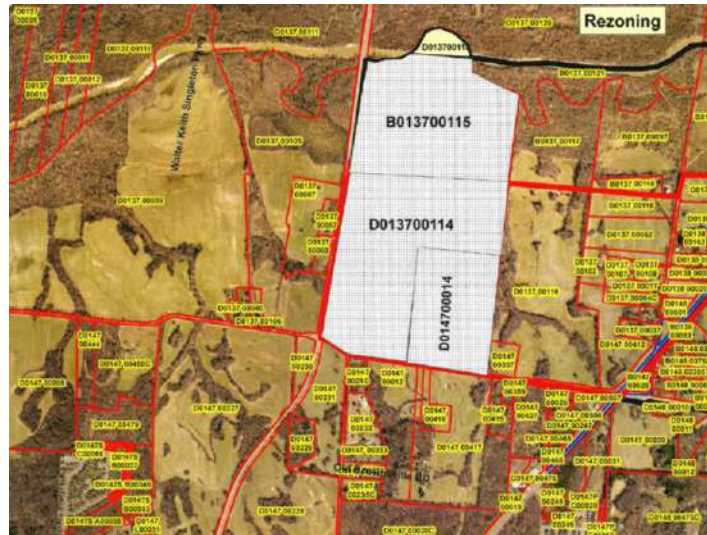


Public Hearing Rezoning

5. Ordinance 24-01 An ordinance to rezone Warlick and Marshall Properties from "CA" Conservation Agricultural and "AO" Agriculture and Open Land to "I-O" Warehouse and Wholesale in conjunction with the annexation, Northeast Corner of Walter Singleton Parkway and Bolen Huse Road.

This is a City initiated request to rezone property located within the City of Bartlett's northwestern region of its Urban Growth Boundary. Parcels are proposed to be rezoned from Shelby County's "CA" Conservation Agriculture designation to Bartlett's "I-O" Wholesale and Warehouse once annexed into Bartlett's jurisdiction. The City also proposes to rezone a parcel adjacent to the proposed annexation parcels (Parcel ID#s B013700115) from "A-O" Agricultural and Open Land

to “I-O” Wholesale and Warehouse.



Open Discussion

The public shall be provided an opportunity to address the Board or Commission during an Open Discussion period at the end of each regular and special meeting of the governing body. Prior to the start of the meeting, individuals will be required to complete and present to the Clerk the Open Discussion Citizen form provided at each meeting. The Open Discussion period for regular and special meetings of the Board or Commission shall be limited to twenty (20) minutes. Individuals shall be allowed to speak for up to three (3) minutes each. Open Discussion periods will not be held for any meeting where there are no actionable items on the agenda or meetings where the governing body is conducting a disciplinary hearing for a member of the governing body or a person whose profession or activities fall within the jurisdiction of the governing body.

Adjourn

PLANNING COMMISSION
Tuesday, January 2, 2024 - 6:30 P.M.
Bartlett City Hall Assembly Chamber
Staff Comments

Continued
Special Use Permit

1. School Use, 9375 Davies Plantation Road (Roy Lamica, EFI Global)

INTRODUCTION: Mr. Roy Lamica with EFI Global is requesting Planning Commission approval of a favorable recommendation for a Special Use Permit to allow a school use with an existing church. The subject property is located at 9375 Davies Plantation Road within the "R-E" Residential Estate Zoning District.

BACKGROUND: August 6, 2012, the Planning Commission approved a Special Use permit to allow church use at 9375 Davies Plantation. November 2, 2015, the Planning Commission approved the Site Plan for Christian Life Church with an 18,600 square foot main building and a 1,200 square foot storage building. Surrounding uses include residential single-family homes, museum, and a church.

On December 4, 2023, the Planning Commission held a public hearing concerning the recommendation for a Special Use Permit to allow a school use with the existing church use. The public hearing produced favorable messages from the church and church members and uncertain to nonfavorable messages from Davies Plantation homeowners and the Davies Plantation HOA. More specifically, the Davies Plantation HOA expressed concern about the City providing proper and adequate public notification of the public hearing despite the City following the same legal public notice requirements as the previously approved church use SUP and the same legal public notice requirements as the Ashmont Mixed Use Development in the City of Lakeland adjacent to Davies Plantation. The homeowners of Davies Plantation did not express any concern about being properly notified with either of the previous public hearings. Furthermore, the church stated that they did submit a notification web form on the Davies Plantation HOA website to seek their input prior to making any applications with the City of Bartlett, but the church did not receive a reply back from Davies Plantation HOA. Be that as it may, the Planning Commission motioned to defer their recommendation to the January Planning Commission meeting to allow for the church and Davies Plantation to have a meeting.

DISCUSSION: The specific request by the applicant is for Planning Commission's approval of a favorable recommendation to the Board of Mayor and Aldermen for a Special Use Permit (SUP) to allow the church to add a school use to be

utilized by their church members predominantly. The school was not a part of the original SUP concept plan for Christian Life Church. More specifically, the church's conceptual site plan is proposing to utilize seven classrooms within a proposed 17,428 square foot church annex building addition that would require additional site plan approvals from the Planning Commission and Design Review Commission.

The school will start with Pre-K through Third Grade with additional grades to be added in the future. The school plans to open with approximately 30 students expanding as growth occurs. The Church estimates 150 students at its maximum with 20 % of the student body coming from outside Christian Life Church. However, according to the applicant a realistic number of students would be 50-60 students after several years of operation.

A community meeting was held between the church and Davies Plantation HOA on December 18, 2023. The Davies Plantation HOA presented six points of concern from a neighborhood survey. The concerns expressed were as follows:

1. **Traffic volume increases throughout the neighborhood with no infrastructure to support it.**
2. **Changes to the nature of the neighborhood's quiet, secluded, family-friendly environment.**
3. **Once this is approved, what is next? What is the continued growth plan?**
4. **Bringing outside elements (non-church members) into our neighborhood daily, some might be less desirable elements that could endanger peace and security.**
5. **Will the mixed-use facility be able to be rented for non-church events or family gatherings?**
6. **What will the average tuition cost?**

The church responded to those concerns with the following:

1. **Traffic volume increases throughout the neighborhood with no infrastructure to support it.**

We understand that a potential increase in traffic through the northwest neighborhoods in Davies Plantation is a primary concern of our neighbors. We believe that the proposed school will not create a traffic burden to our neighborhood for the following reasons:

First, our current Sunday services with nearly 300 attendees do not create traffic issues. Attendance at our worship services is twice the number of students we envision attending the school, even after many years of operation. We are not experiencing any traffic issues before or after worship at any of our services. Therefore, we do not think the substantially smaller number of students will create traffic issues.

Second, very few of our members access the church via Davies Plantation from the West. To better understand the potential traffic impact of a school, we sent

a poll via email to 186 drivers in our congregation. We received **135** responses to the following question - From which direction do you access Christian Life Church? East via I40/Canada Road? Or West via the Davies Plantation neighborhood?

- a. **80% (108)** of the respondents indicated they access the church via Canada Road/I40. **20% (27)** Indicated they access the church from the West via Davies Plantation.
- b. For those who indicated they access the church from the neighborhood (option b), we asked the following question: Do you have school-aged children? **9** families indicated they have school-aged children. Assuming a 50% member participation and allowing for the 80/20 member/non-member enrollment – 5 to 6 vehicles will access the school from the Davies Plantation neighborhood. But considering these members who live in the neighborhood are already utilizing neighborhood streets to bring their children to school elsewhere, the traffic increase will be negligible.

2. Changes to the nature of the neighborhood's quiet, secluded, family-friendly environment.

Our church chose to locate on Davies Plantation because it is a quiet, secluded, family-friendly neighborhood close to most of our membership. We are passionate about maintaining the quality of our neighborhood. We do not wish to make any change that will jeopardize the quality of life we enjoy here.

3. Once this is approved, what is next? What is the continued growth plan?

Christian Life Church purchased this property in 2012. We needed space to adequately serve the needs of our congregation. When we initially applied for the Special Use Permit to build this church on Davies Plantation, we envisioned a three-phase development to reach full build-out.

- A. **Phase 1** is our current facility, which contains a sanctuary, four classrooms, offices, and some multi-purpose space. Our sanctuary currently seats **381** with room to add more seating if needed.
- B. **Phase 2** is an annex building to accommodate both current and future needs. The proposed annex is **17,006** square feet and will feature a gym, a large kitchen, seven classrooms, four offices, and a small multi-purpose space. The annex will be used to expand Sunday school classes, fellowship dinners, and youth programming. A school for early childhood education is only one use of the annex.
- C. **Phase 3** will be a larger sanctuary should the congregation grow to a point when this is needed. We currently do not have a time frame or design for Phase 3.

4. Bringing outside elements (non-church members) into our neighborhood daily, some might be less desirable elements that could endanger peace and security.

Our school will primarily serve our members. The 80/20 member/non-member ratio will limit the number of outsiders. All non-member students will be carefully screened. We will not accept any student with a sex offender status or drug issues. We believe families who are willing to invest significant monies into private education are likely to be law-abiding, hard-working, honorable citizens.

5. Will the mixed-use facility be able to be rented for non-church events or family gatherings?

We do not rent the church for private events. The exception is for weddings of members. Our regular church programming does not allow ample space for private events. Also, we do not want to create legal liabilities for denying an event rental that conflicts with the church's religious convictions.

6. What will the average tuition cost?

Quality private education requires a substantial investment. Area private schools are averaging \$8,000 - \$12,000 tuition. Some schools are higher. We anticipate our school will set tuition in line with that of other private institutions.

Recommendation: Favorable recommendation to be forwarded to the Board of Mayor and Aldermen

Engineering Conditions:

General:

1. A Commercial Site Plan contract may be required and will be prepared by Engineering and submitted to the developer/engineer for review to cover the fees to be paid to the City of Bartlett.
2. Applicant/ Engineer shall provide a **digital set of drawing** files showing the sanitary sewer lines, drainage lines, lot lines and all improvements in AutoCAD format to dhubbard@cityofbartlett.org and ecampbell@cityofbartlett.org for use in the preparation of the Water Design Plan. This plan will be coordinated with the site design engineer to resolve any conflicts.
3. A SWPPP and a TDEC permit may be required and shall be submitted to TDEC and also to the City of Bartlett Engineering office.
4. All new utilities shall be underground.

Plans:

5. Grading and drainage plan will be required.
6. A fire suppression system will be required.
7. Applicant must verify the detention pond is appropriately sized to handle additional required detention.

Planning Conditions:

1. The recommendation of the Planning Commission concerning the Special Use Permit request to add school use does not convey any site plan vested

rights to the applicant. All future site plan additions are subject to Planning Commission and Design Review Commission approval.

2. The owner/applicant shall be present at the meeting in order to make decisions relative to any changes that may be suggested by the Planning Commission.
3. The applicant shall be present at the corresponding Board of Mayor and Aldermen meetings to make decisions relative to any changes that may be suggested by the Board of Mayor and Aldermen.
4. Should the Special Use Permit be approved by the Board of Mayor and Aldermen, the applicant shall submit site plan applications for approval by the Planning Commission and Design Review Commission.

New Business

Site Plan

2. MMK Lot 12, Northeast Corner of Ladurl Drive and Ladurl Cove (Roy Lamica, EFI Global)

INTRODUCTION: Roy Lamica with EFI Global is requesting Planning Commission approval of a Site Plan for a contractors business office and warehouse. The subject property is located on the Northeast corner of Ladurl Drive and Ladurl Cove on Lot 12 of the MMK Subdivision. Subject property is zoned "I-P" Planned Industrial Park.

BACKGROUND: In June 2004, the Planning Commission approved the MMK Subdivision as a planned industrial park. The subdivision was approved with a 10-foot streetscape landscape buffer along all street frontage, and a regional detention basin was installed with the subdivision.

DISCUSSION: The specific request by the applicant is for the approval of a site plan to construct a 20,800 square foot office building and warehouse for a contractors business. Access to the site will be from a curb cut on Ladurl Drive and another curb cut on Ladurl Cove. Other features of the development include a streetscape landscape buffer and a 20-foot residential landscape buffer along the east property line.

Site Data	
Site Area:	2.176-acres / 94,791 square feet
Total Required Parking Spaces: 2.55 spaces per 1,000 square feet, plus 3 spaces.	56
Total Proposed Parking Spaces:	80
Handicap Accessible:	4 Van Accessible
Regular Customer Parking:	52

Proposed Building:	20,800 square feet
Greenspace/Open Space:	38%
Building Height:	40 feet

Recommendation: Approval with conditions.

Engineering Conditions:

General:

- 1) A Commercial Site Plan contract may be required and will be prepared by Engineering and submitted to the developer/engineer for review to cover the fees to be paid to the City of Bartlett.
- 2) Applicant/ Engineer shall provide a **digital set of drawing** files showing the sanitary sewer lines, drainage lines, lot lines and all improvements in AutoCAD format to dhubbard@cityofbartlett.org and ecampbell@cityofbartlett.org for use in the preparation of the Water Design Plan. This plan will be coordinated with the site design engineer to resolve any conflicts.
- 3) A SWPPP and a TDEC permit may be required and shall be submitted to TDEC and also to the City of Bartlett Engineering office.
- 4) Fire protection must be approved by the City of Bartlett Fire Marshall, to determine fire flow and associated water requirements.
- 5) Water extension maybe required due to sprinkling and/or fire hydrant requirements.
- 6) All new utilities shall be underground.

Site Plan:

- 7) Sidewalk will be required along Ladurl Dr and Ladurl Cv.
- 8) Since this project is located in the Fletcher Creek Sewer Basin new tap approval is dependent on developer receiving written approval from the City of Memphis for sewer connection. This lot is shown to have an existing tap. If no tap exists then the developers engineer shall work with City of Memphis on holding tank design and approval.
- 9) Driveway location on Ladurl appears to be on top of water and sewer tap, relocation of taps or driveway will be required.
- 10) Detention for this site is provided by a regional detention basin installed with the subdivision.

Planning Conditions:

1. Applicant shall adjust the site plan to reflect the correct number of required and proposed parking spaces.
2. Irrigation and maintenance is required for all planting on the landscape plan.
3. Should the proposed site plan be approved by the Planning Commission, the applicant shall seek site approval from the Design Review Commission for landscaping, lighting, fence, signage and exterior elevation design, colors, and materials.

4. The owner/applicant shall identify all utilities on site by contacting Tennessee One Call at 811 before commencing any site work.
5. Owner/applicant shall be present at the meetings in order to make decisions relative to any changes that may be suggested by the Planning Commission.

3. Shamali Subdivision Lot 1, 7771 Highway 70 (David Bray, The Bray Firm)

INTRODUCTION: Mr. David Bray with the Bray Firm is requesting Planning Commission approval of a Site Plan for a retail building. The subject property is located at 7771 Highway 70. The property is located within the "C-H" Highway Business District.

BACKGROUND: On December 4, 2023, the Planning Commission approved the Construction and Final Plan applications for the Shamali Subdivision.

DISCUSSION: The specific request by the applicant is for the approval of a Site Plan for a 3,500 square foot retail building. Other features of the development include a 20-foot commercial landscape buffer and a 625 square foot outdoor seating area. Access to the subdivision will be from a new curb cut on Highway 70.

Site Data	
Site Area:	.98 acres/42,688.8 square feet
Total Required Spaces: (One space for each 200 square feet of non-storage first floor area)	18
Total Proposed Parking Spaces:	16
Handicap Accessible:	1 Van accessible
Regular:	15
Proposed Building Area:	3,500 square feet
Greenspace/Openspace:	59%
Building Height:	One story

Recommendation: Approval with Conditions.

Engineering Conditions:
General:

1. A Commercial Subdivision Plan contract will be required and will be prepared by Engineering and submitted to the developer/engineer for

review to cover the fees to be paid to the City of Bartlett. The Developer's name on the Construction Plans must match the Developer's name on the Bond & Contract.

2. All new utilities shall be underground.
3. All mark-ups and corrections shall be addressed on the revised plans.

Plat:

4. ROW dedication of 57' from the centerline will be required, this shall be called out as "To be dedicated to the City of Bartlett."
5. Any public easements for utilities shall also be shown

Site Plan:

6. Construction plans will be required.
7. Construction of a paved shoulder of an additional 10' wide will be required on HWY 70. This additional asphalt section shall be full depth pavement, consistent with the existing roadway, and must conform to TDOT standards. This shall be added to the construction plans with TDOT approval. This shall be coordinated with TDOT as this is a state route.
8. The driveway on HWY 70 will require a TDOT permit. A construction detail shall be added to the plans.
9. Utility work in HWY 70 will require a TDOT permit.

Sewer Plan:

10. The existing sewer line along HWY 70 shall be shown on the drawings, and the Developer's engineer is responsible for insuring that the sewer is deep enough to provide sewer service for the desired building's location.
11. Since this project is located in the Fletcher Creek Sewer Basin new tap approval is dependent on developer receiving written approval from the City of Memphis for sewer connection. Developer's engineer will be responsible for establishing if an existing tap is in place. If no tap exists then the developers engineer shall work with City of Memphis on holding tank design and approval.

Water Plan:

12. Developer's engineer will be responsible for establishing if an existing tap is in place. If not, a new 2" Water Service will be required. Applicant must request and purchase a Water Meter. The water tap will need to be a reverse tap.
13. An 8" water line is available across the street and/or directly behind the property. It may be necessary to loop these for the required Fire flows. This

would require HWY 70 to be bored. In addition, a 12" waterline will need to be installed across the entire frontage on Hwy 70. Certified as-builts will be required on the public water.

14. An additional fire hydrant may be required on site.

15. Fire protection must be approved by the City of Bartlett Fire Marshall.

Grading and Drainage and Detention Plan:

16. Detention will be required.

17. Applicant's engineer shall submit the stamped and signed detention calculations for the proposed detention basin and show the 'pre' and the 'post' runoff for the 2, 5, 10, 25-year storms.

18. A structure table and pipe table must be labeled to show public and private drainage lines.

19. There is an existing blue line stream along the south property line. The storm water ordinance requires a minimum buffer of 30' from the stream in all locations with an overall average of 60'. This stream buffer shall be drawn in and hatched as non-buildable area on both sides of the existing blue line stream.

Erosion Control Plan:

20. The Engineer shall prepare and submit a SWPPP to TDEC with a copy sent to the City of Bartlett Engineering Department.

21. Once TDEC has issued the Notice of Coverage (NOC), a copy shall be sent to the City of Bartlett Engineering Department.

22. Metal posts with wired backed fence are required on the proposed silt fences.

Planning Conditions:

1. Applicant shall update the minimum parking spaces required on the site to meet the Parking Design Requirements for the use of Retail Store. According to Article VI, Chart 12a (Parking Design Requirements) of the Zoning Ordinance, the required minimum number of parking spaces of the use of Retail Store is 1 space for each 200 square feet of non-storage first floor area.
2. Applicant shall ensure that all parking spaces are within a maximum distance of 75 feet from a tree.
3. Should the proposed site plan be approved by the Planning Commission, the applicant shall seek site approval from the Design Review Commission for landscaping, lighting, signage and exterior elevations, colors, and materials.
4. The owner/applicant shall identify all utilities on site by contacting Tennessee One Call at 811 before commencing any site work.

5. The commercial property owner will be responsible for landscape maintenance of the entire lot and the fence adjacent to the residential neighbors in perpetuity.
6. The applicant shall be present at the meeting in order to make decisions relative to any changes that may be suggested by the Planning Commission.

Annexation

4. Resolution 01-24, 02-24, 03-24, and 04-24 Resolutions to annex three parcels in the Bartlett Annexation Reserve Area, adopt a Plan of Services for these three areas, and establish zoning under the City of Bartlett Zoning Ordinance.

INTRODUCTION

This Plan of Services has been developed for the proposed annexation of ±219.43-acres of land located in the northwestern region of the City of Bartlett's Reserve Areas that is within our designated Urban Growth Boundary. The properties are within the Shelby County unincorporated area and they are zoned "CA" Conservation Agricultural.

The proposed annexation area consists of three parcels of land owned by the Warlick family and Marshal family totaling ±219.43-acres (Parcels ID#s D013700114, D013700113, and D014700014). The City has received official owner approvals from both families consenting to be annexed into the City of Bartlett's municipal jurisdiction.

The purpose of the Plan of Services is to provide Administration with an analysis of the financial impacts involved in an annexation, as well as information useful in incorporating the required public improvements into the City's Capital Improvement Program. The Plan of Services also meets the State's legal requirements regarding municipal annexation of any territory by the City.

In the case of this proposed annexation, understanding that the use of the property will remain agricultural and/or green open space with the intent that in the future (3 to 5 years), an industrial user(s) with large employment numbers will occupy the property. This will be in line with the Tennessee Department of Economic Development mission to bring jobs to our state. Additionally, the goal is to have site ready developable land that is eligible for State and Federal Infrastructure Grants as well as other monies that will support this endeavor.

As the annexation process begins, the properties will be rezoned from the Shelby County zoning designation of "CA" Conservation Agriculture to the City of Bartlett's zoning designation of "I-O" Warehouse and Wholesale district, which allows the largest selection of industrial uses. Based on information provided by

the Shelby County Tax Assessor's Office, as long as the use continues as agricultural, or green open space/greenbelt, the property will be assessed taxes based on that current use. Once the property is developed as an industrial use, it will be assessed taxes based on the new industrial use (with a three-year tax rollback caveat).

Costs

Costs of Services: The estimated Plan of Services costs are projected over the next 3-5 years when a user/developer has selected all or some of the parcels. The estimates in this document are based on full build-out.

Sewer Service: The site is to remain as is until such time that a user is identified, or a site development infrastructure grant is available for an industrial user supported by TNECD. However, the estimates for the sewer service extensions are as follows:

- Sewer Infrastructure estimate is approximately \$3 million

Water Service: The City's water service falls within two categories, water consumption and fire protection. The existing water service in this area is adequate for its current use; however, that use will change once a development is proposed. At that time, waterline extensions and tap fees will be covered either by the developer, or possible grant monies. The needed water service improvement cost are estimated as follows:

- Water Infrastructure estimate is approximately \$4 million

Police Services: The City of Bartlett currently has one police officer per 400 residents. This annexation will not generate a need for additional police personnel with the current use. However, there may be a need for an additional station and personnel based on the workforce population generated by the new industrial users.

Fire Protection: Fire protection for this area is currently provided by Shelby County. Fire Station #4 located at 6875 Old Brownsville Road will service the proposed annexed areas.

Garbage Pickup: An industrial or commercial land user will need to obtain a private garbage collection service once the properties are developed.

Grass Cutting: Should grass cutting and weed control be needed within our right-of-ways once improved. The Public Works Department or the Parks Department will provide the needed service. Otherwise, grass cutting will be the responsibility of the industrial or commercial land user for their property.

Street Lighting: The City will be responsible for working with MLGW for the installation of street lights along the public roads as the properties are developed. The estimated cost for the installation of the lights including the poles are as follows:

- The addition of 16 street lights is approximately \$100,000
- Monthly cost of power paid to MLGW is approximately \$240
- If retro fitting existing light poles with LED lights is need, the approximate cost will be \$550.00 per light fixture.

Street and Sidewalks Improvements: The site is to remain as is until such time that a user is identified, or a site development infrastructure grant is available for an industrial user supported by TNECD. However, should the properties be developed within the next 3 to 5 years, street and sidewalk costs are estimated as follows:

- Street and Sidewalk improvements are approximately \$3.2 million

Revenue

Building Permits:

- It is estimated that the building permit fees will be approximately \$4,300.00 based on a 1 million square feet building or development.

State Share Taxes:

- Not applicable, since there are no residences in the proposed annexed areas.

Property Taxes:

- Shelby County Property taxes will continue under the current rate category until such time that the use changes. City of Bartlett property taxes will be assessed as agricultural vacant land until the use changes.

Zoning Recommendation

The proposed annexation area is currently Zoned "CA" Conservation Agriculture in unincorporated Shelby County. The City is proposing to rezone the properties to the "I-O" Warehouse and Wholesale, which allows the largest selection of industrial uses according to the Bartlett Zoning Ordinance Use Chart. Based on the information provided by the Shelby County Tax Assessor's Office, as long as the use continues as agricultural, or green open space/greenbelt, the property will be assessed taxes based on that current use. Once the property is developed as an industrial use, it will be assessed taxes based on the new industrial use (with a three-year tax rollback caveat). The annexation by property owner consent, and the rezoning of the property will be reviewed by

the Planning Commission for a recommendation to the Board of Mayor and Aldermen for Final approval based on the future intended use of the property.

Summary

This Plan of Services was undertaken due to the "Property Owners Consent" to be annexed into the City of Bartlett's municipal jurisdiction. Based on the 2014 amended Tennessee Codes Annotated regulations relative to annexations, properties that are used for agricultural purposes may be annexed whether or not they are contiguous with the City's jurisdictional boundaries as long as the annexation is by property owners consent, and the future intended use of the subject properties are for industrial, commercial, or residential land uses. At this time, the City anticipates an industrial user for the proposed annexed properties. The City also plans to rezone the property to an industrial zoning designation, from Shelby County's zoning designation of "CA" Conservation Agricultural to the City of Bartlett's zoning designation of "I-O" Warehouse and Wholesale. There is a portion of a parcel (B013700115) that is between the Loosahatchie river floodway and the proposed annexation parcels that is already within the City of Bartlett's jurisdiction, which will be rezoned from "A-O" Agricultural and Open Land to "I-O" Warehouse and Wholesale as well.

Public Hearing **Rezoning**

5. Ordinance 24-01 An ordinance to rezone Warlick and Marshall Properties from "CA" Conservation Agricultural and "AO" Agriculture and Open Land to "I-O" Warehouse and Wholesale in conjunction with the annexation, Northeast Corner of Walter Singleton Parkway and Bolen Huse Road.

INTRODUCTION: This is a City initiated request to rezone property (Parcels D013700114 and D014700014) located within the City of Bartlett's northwestern region of its Urban Growth Boundary. The parcels are proposed to be rezoned from Shelby County's "CA" Conservation Agriculture designation to the City of Bartlett's "I-O" Wholesale and Warehouse designation once annexed into Bartlett's jurisdiction.

The City also proposes to rezone a parcel (Parcel B013700115) that is currently in the City of Bartlett's jurisdiction but adjacent to the proposed annexation parcels from the "A-O" Agricultural and Open Land designation to the "I-O" Wholesale and Warehouse Zoning designation.

BACKGROUND: The request for rezoning of this property comes with the consent of the property owners of the subject parcels.

DISCUSSION: This is a conjunctive request to rezone property that is also proposed to be annexed into the City of Bartlett corporate limits. There are three parcels proposed for the zone change. All but one of parcels is within unincorporated Shelby County. The surrounding zoning districts includes "FW" Floodway to the north, "CA" Conservation Agriculture to the south, east, and west.

Therefore, the City with the support of the property owners request that all three of the parcels currently identified as Parcel ID#s D013700114, D014700014, and B013700115 be rezoned to the "I-O" Warehouse and Wholesale zoning designation, immediately upon the approval of the annexation into the City of Bartlett's jurisdiction.

Planning Comments:

1. Since this is a City initiated request to rezone the parcels of land with the support of the property owners, there is no formal conceptual site plan, but instead a conceptual build-out plan is attached.
2. The rezoning of the parcels will not change the existing use until such time that the parcels are developed as an one of the "I-O" uses, as listed in "Article V, Chart 1 Uses Permitted in Zoning Districts" in the Bartlett Zoning Ordinance.
3. The copy of the list of uses for the "I-O" zoning district from the Bartlett Zoning Ordinance "Article V, Chart 1 Uses Permitted in Zoning Districts" zoning district is attached.

Bartlett Planning and
Economic Development Department
6382 Stage Road, P.O. Box 341148
Bartlett, TN 38184-1148
901-385-6417 FAX 901-385-6419
www.cityofbartlett.org

Bartlett Planning Commission
Application for Special Use Permit Approval

Consultation with the staff is encouraged prior to the completion of this application form.

Requested Special Use Private School

Property Address 9375 Davies Plantation Road

Present Zoning R-E

Owner/Developer Contact Pastor Caleb Adams Phone 901-606-3000

Company Name Christian Life Tabernacle Inc. Fax _____

Address 9375 Davies Plantation Road

Email Address pastor@cltmemphis.org

Architect Contact _____ Phone _____

Company Name _____ Fax _____

Address _____

Email Address _____

Engineer Contact Roy Lamica, P.E. Phone 901-355-1347

Company Name EFI Global Fax _____

Address 7975 Stage Hills Blvd, Suite 1

Email Address roy.lamica@efiglobal.com

Submitted by Roy Lamica, P.E. Roy D. Lamica 10/20/23

(printed name) (signature) (date)
Email Address roy.lamica@efiglobal.com Phone 901-355-1347 Fax _____

- RL Acknowledge (by initials in the blank to the left) that the “**Application Instructions: Planning Commission**” were obtained and read prior to submitting this application.
- RL Attach a checked-off “**Special Use Permit Checklist**” and all items required therein.
- RL Provide 18-folded ($\pm 10'' \times 13''$) sets of plans with a copy of the signed application attached to each set.
- RL Provide an electronic PDF file of the plans. Note that an updated electronic file is required when plans are revised. The electronic file shall be labeled with the project name and accurately dated.
- RL Include a fee with this application (check payable to the City of Bartlett) of \$500 for five (5) acres or less, plus \$50 per acre (after the first five) to a maximum of \$3,000. **The fee is not refundable.**

I, the property owner(s) hereby authorize the filing of this application.

(print name) (signature) (date)

Special Use Permit Checklist

Plot Plan and Legal Description (each parcel, if more than one)

- X Plot plan, drawn to scale, showing the following information for each parcel (several parcels may be included on one sheet):
 - X Adjoining public street rights-of-way
 - X Area (acres)
 - X Present zoning
 - X Requested special use, including purpose (attach statement, one page maximum)
 - X Area in which buildings are proposed to be located, showing setback dimensions from line.
 - X Drainage
 - X Driveways
 - X Parking area
 - X Buffer planting areas
 - X Type and location of any easements
- N/A If Site Plan application and approval are necessary, conformance to Tree Ordinance is required.

X Other pertinent information as required through staff consultation.

X Legal description (may be attached to plot plan).

X One (1) PDF file of the plot plan, for display at the Planning Commission meeting.

Vicinity Map

X Vicinity map, drawn to a convenient scale, showing the subject property and all parcels within a 1,000-foot radius. Every parcel shall indicate owner's name and the streets, roads or alleys that each parcel fronts upon.

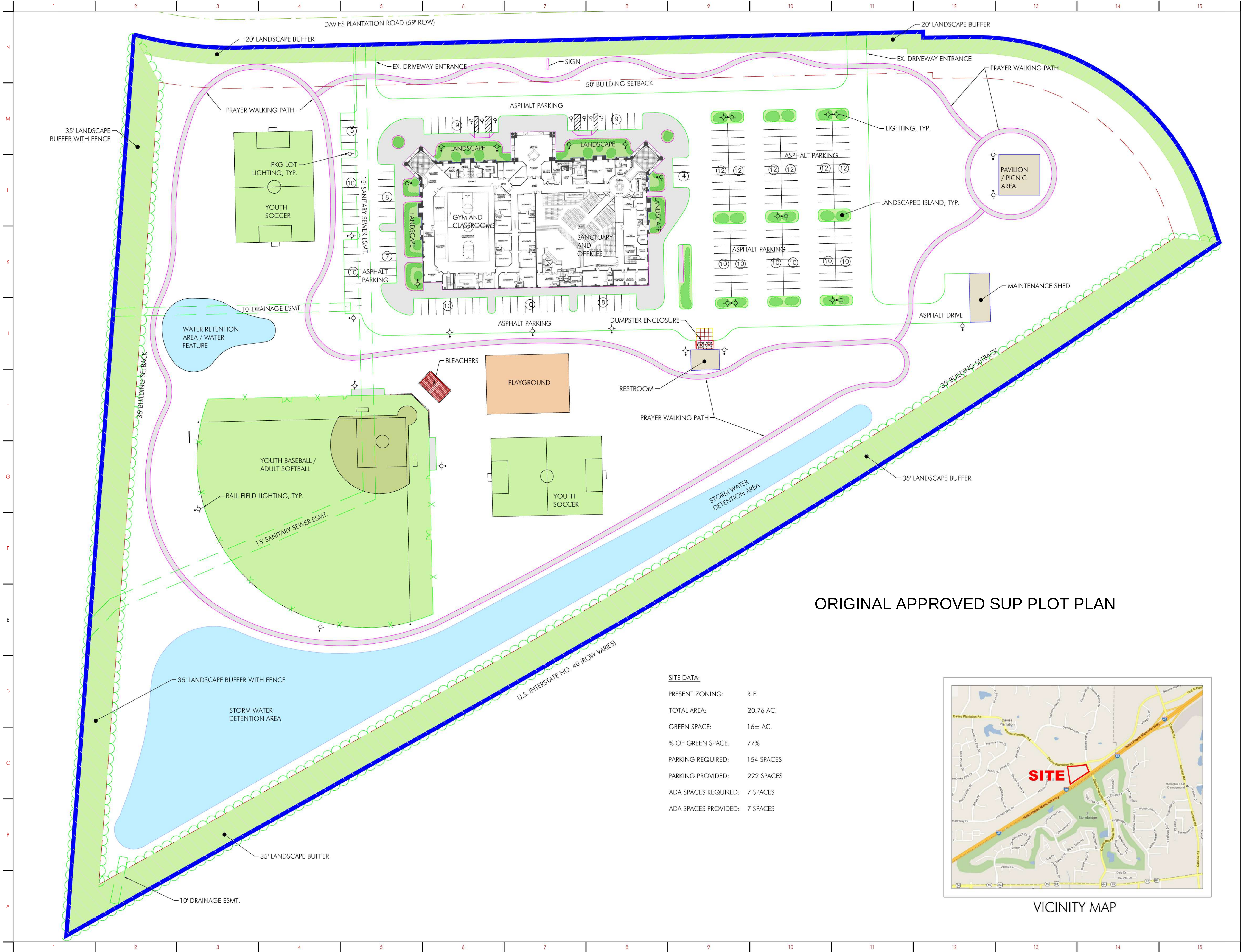
X One (1) PDF file of the vicinity map, for display at the Planning Commission meeting.

Property Owners

X List of all property owners within 1,000 feet or a minimum of fifty (50) property owners, whichever results in the greater number of owners. A xerographic copy of the mailing labels may serve as the list.

X Self-adhesive mailing labels for the list of property owners (two sets).

INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED

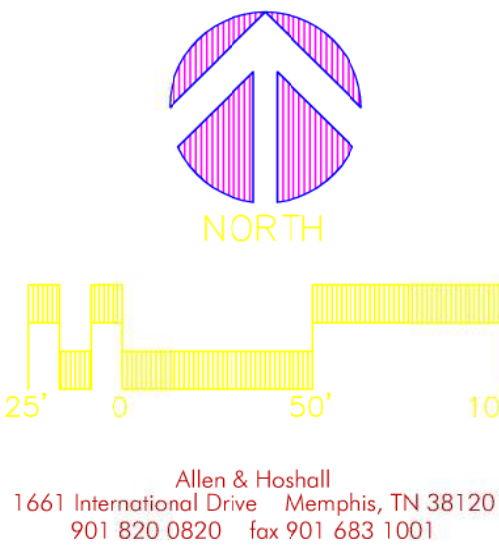


ORIGINAL APPROVED SUP PLOT PLAN

SITE DATA:	
PRESENT ZONING:	R-E
TOTAL AREA:	20.76 AC.
GREEN SPACE:	16± AC.
% OF GREEN SPACE:	77%
PARKING REQUIRED:	154 SPACES
PARKING PROVIDED:	222 SPACES
ADA SPACES REQUIRED:	7 SPACES
ADA SPACES PROVIDED:	7 SPACES



VICINITY MAP



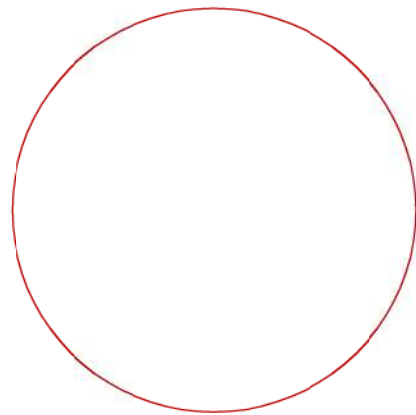
COPYRIGHT
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CHRISTIAN LIFE TABERNACLE

BARTLETT, TN

SPECIAL USE PERMIT
PLOT PLAN

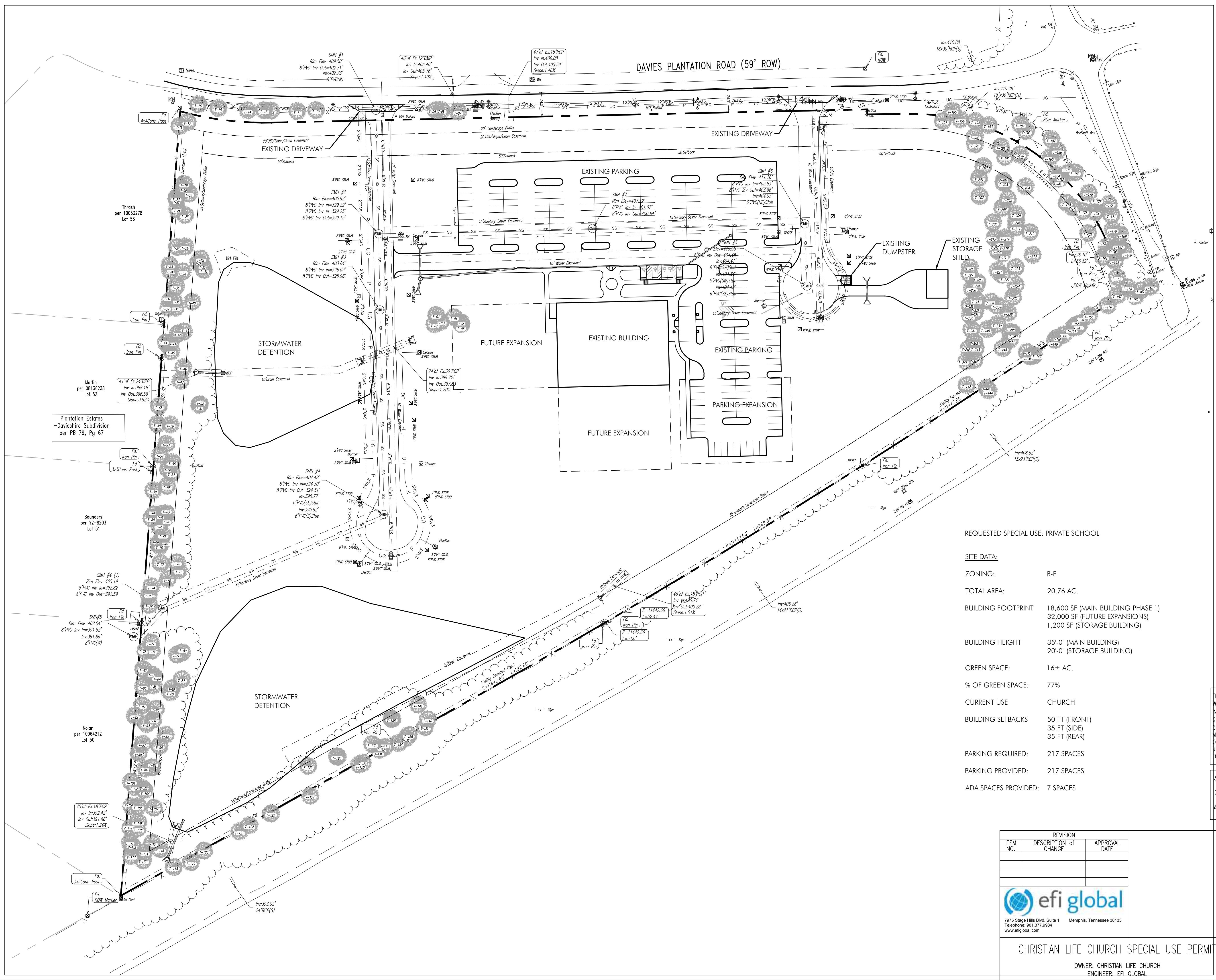
JOB NO:
DATE: 06.22.12
DRAWN:
CHECKED:
CAD FILE:



SUP-1



VICINITY MAP
(N.T.S.)



REQUESTED SPECIAL USE: PRIVATE SCHOOL

SITE DATA:

ZONING:	R-E
TOTAL AREA:	20.76 AC.
BUILDING FOOTPRINT	18,600 SF (MAIN BUILDING-PHASE 1) 32,000 SF (FUTURE EXPANSIONS) 1,200 SF (STORAGE BUILDING)
BUILDING HEIGHT	35'-0" (MAIN BUILDING) 20'-0" (STORAGE BUILDING)
GREEN SPACE:	16± AC.
% OF GREEN SPACE:	77%
CURRENT USE	CHURCH
BUILDING SETBACKS	50 FT (FRONT) 35 FT (SIDE) 35 FT (REAR)
PARKING REQUIRED:	217 SPACES
PARKING PROVIDED:	217 SPACES
ADA SPACES PROVIDED:	7 SPACES



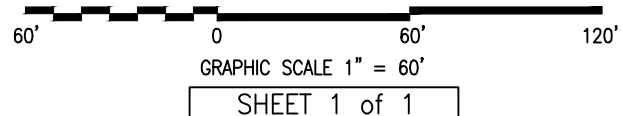
THIS IS TO CERTIFY THAT THIS PROPERTY (THE SUBJECT PROPERTY SURVEYED) IS NOT WITHIN THE LIMITS OF A DESIGNATED "SPECIAL FLOOD HAZARD AREAS SUBJECT TO FLOODING BY THE 1% ANNUAL CHANCE FLOOD". THE SUBJECT PROPERTY, BY GRAPHICAL REPRESENTATION ONLY, LIES WITHIN ZONE X DEFINED AS BEING, "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN" PER FEMA FIRM MAP NUMBER 47157C0310G & 47157C0330G DATED FEBRUARY 6, 2013 BASED UPON OUR INTERPRETATION OF THE LOCATION OF THE FLOOD HAZARD BOUNDARY LIMITS IN RELATION TO THE PROPERTY LINES. NO SURVEYING OR ENGINEERING WAS PERFORMED FOR THIS SURVEY TO DETERMINE FEMA FLOOD LIMITS.

SITE BENCH MARK
TOP OF UPPER MOST NE FLANGE BOLT ON HYDRANT
ELEVATION = 409.16'

REVISION		
ITEM NO.	DESCRIPTION OF CHANGE	APPROVAL DATE



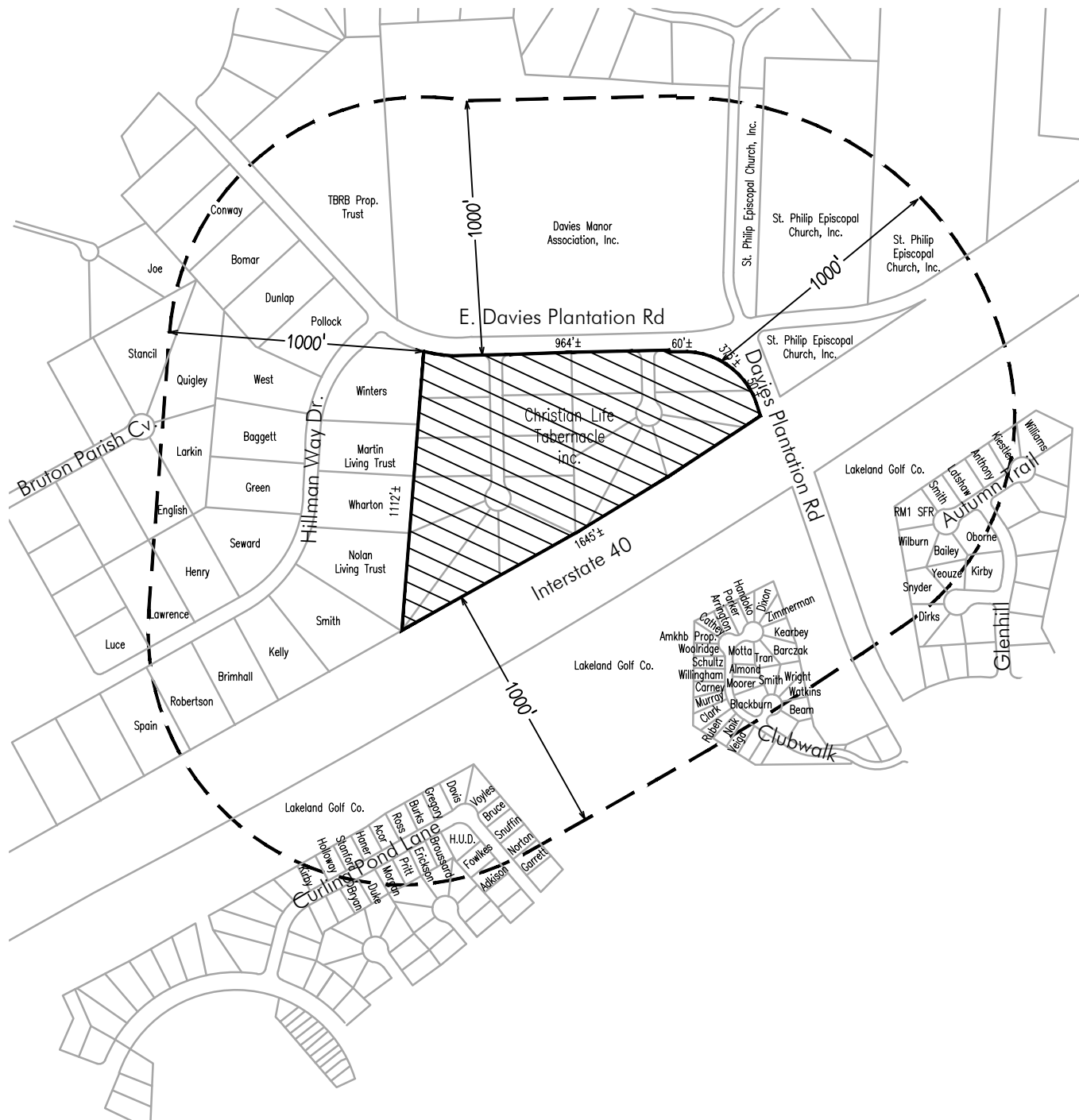
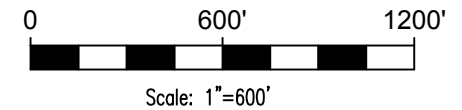
CHRISTIAN LIFE CHURCH SPECIAL USE PERMIT
OWNER: CHRISTIAN LIFE CHURCH
ENGINEER: EFL GLOBAL



SHEET 1 of 1
CITY OF BARTLETT DIVISION OF ENGINEERING
SITE PLAN
LOCATION: 9375 DAVIES PLANTATION ROAD
BARTLETT, TENNESSEE

SURVEY	ALLEN & HOSHAL	DATE	10.27.23	BOOK	AS NOTED
DESIGN BY:	EFL GLOBAL	DATE	10.27.23	SCALE	AS NOTED
REVIEWED					
DEPUTY CITY ENGINEER	DATE	CITY ENGINEER	DATE		

Vicinity Map



Vicinity Map prepared by:



7975 Stage Hills Blvd, Suite 1
Telephone: 901.377.9984
www.efiglobal.com

Memphis, Tennessee 38133

LEGAL DESCRIPTION

Being all of Lots 1 through 18, inclusive, Davies Cove (closed) and Old Manor Cove (closed) of the Davies Manor Subdivision as shown on Plat of record in Plat Book 222, Page 27 in the Shelby County Register's Office, City of Memphis, Shelby County, State of Tennessee.

BEGINNING at the intersection of the southeast corner of Lot 50 of the Plantation Estates – Davieshire subdivision as recorded in Plat Book 79, Page 67 at the Shelby County Register's office, City of Memphis, Shelby County, State of Tennessee with the northwest right of way line of U.S. Interstate 40, said intersection being the southwest corner of the property herein describe and the TRUE POINT OF BEGINNING; thence with the east line of said Lot 50, Lots 51, 52 and 53, North $04^{\circ}19'46''$ East a distance of 1104.18' to the intersection with the south right of way line of Davies Plantation Road (34' from centerline); thence with said south right of way line in a southeasterly direction along the arc of a non-tangent curve to the left having a radius of 444.00' (Long Chord = $S82^{\circ}56'22''E$, 128.72') an arc length of 129.18' to a point of tangency; thence North $88^{\circ}43'33''$ East a distance of 836.38' to a point; thence South $00^{\circ}44'06''$ East a distance of 7.00' to a point; thence North $89^{\circ}21'54''$ East a distance of 59.60' to a point of curvature; thence in a southeasterly direction along the arc of a curve to the right having a radius of 298.10' (Long Chord = $S54^{\circ}33'27''E$, 350.18') an arc length of 375.06' to a point of tangency; thence South $18^{\circ}30'49''$ East a distance of 50.49' to the intersection with said north right of way line of U.S. Interstate 40; thence with said north right of way line, South $56^{\circ}16'26''$ West a distance of 187.86' to a point of curvature in said line; thence continuing with said north right of way line in a southwesterly direction along the arc of a curve to the right having a radius of 11442.66' (Long Chord = $S58^{\circ}27'25''W$, 871.76') an arc length of 871.97' to a point of tangency; thence continuing with said north right of way line, South $60^{\circ}42'51''$ West a distance of 584.27' to said TRUE POINT OF BEGINNING.

Said described property containing 903,117 square feet or 20.73 acres, more or less.

REDD KEVIN C & JENNIFER L
9531 AUTUMN TRAIL CV #
LAKELAND TN 38002

YEOUZE DAVID A & KRISTINA A
9512 GLENHILL CV #
LAKELAND TN 38002

SMITH WILLIAM & MARIAN
3247 CLUB GROVE CV #
LAKELAND TN 38002

KIESTLER JONATHAN
9530 AUTUMN TRAIL CV #
LAKELAND TN 38002

SNYDER CHARLES & KERI
9508 GLENHALL CV #
LAKELAND TN 38002

BLACKBURN KENNETH E & RUTH R
9420 CLUB WALK CT #
LAKELAND TN 38002

ANTHONY CHRISTOPHER & COURTNEY BRICKER-
9524 AUTUMN TRAIL CV #
LAKELAND TN 38002

DIRKS TRENTON C
9509 GLENHILL CV #
LAKELAND TN 38002

MOORER ROBIN T & JEFFREY A
9404 CLUB WALK CT #
LAKELAND TN 38002

LATSHAW SARA G & JASON M
9516 AUTUMN TRAIL CV #
ARLINGTON TN 38002

CHRISTIAN LIFE TABERNACLE INC
9375 DAVIES PLANTATION RD #
BARTLETT TN 38133

ALMOND RICHARD & BARBARA
9392 CLUB WALK CT #
ARLINGTON TN 38002

SMITH KIMBERLY & JAMES S
9508 AUTUMN TRAIL CV #
LAKELAND TN 38002

JOE BEVERLY W
9170 GUNTHER CV #
BARTLETT TN 38133

MOTTA JESSICA
9376 CLUB WALK CT #
LAKELAND TN 38002

RM1 SFR PROPCO B L P
1850 PARKWAY PL #
MARIETTA GA 30067

LAKELAND GOLF CO
6345 TORRINGTON RD #
NASHVILLE TN 37202

NGUYEN TRAN FAMILY REVOCABLE LIVING
10278 SILVER HERON LN #
LAKELAND TN 38002

WILBURN PHILLIP C & MARTHA D
9503 AUTUMN TRAIL CV #
LAKELAND TN 38002

LAKELAND GOLF CO
6345 TORRINGTON RD #
NASHVILLE TN 37202

BARCZAK DAVID & ALISON
9346 CLUB WALK CT #
LAKELAND TN 38002

BAILEY CHAD M
9509 AUTUMN TRAIL CV #
ARLINGTON TN 38002

BEAM JOHN E & BRINDA L
3246 CLUB GROVE CV #
LAKELAND TN 38002

KEARBAY LARRY E
9340 CLUB WALK CT #
LAKELAND TN 38002

OBORNE JOHN L & NANCY K
9515 AUTUMN TRAIL CV #
LAKELAND TN 38002

WATKINS MYRA
3252 CLUB GROVE CV #
LAKELAND TN 38002

ZIMMERMAN PARKER A & ALLYSON K
9339 CLUB WALK CT #
LAKELAND TN 38002

KIRBY JERRY D & SANDRA J
9524 GLENHILL CV #
ARLINGTON TN 38002

WRIGHT BELINDA B
3253 CLUB GROVE CV #
LAKELAND TN 38002

DIXON KENNETH A & GRETA G
9345 CLUB WALK CT #
LAKELAND TN 38002

HANDOKO LIEDY
9351 CLUB WALK CT #
ARLINGTON TN 38002

CLARK LAURIE H
9411 CLUB WALK CT #
LAKELAND TN 38002

CONWAY PAUL J III & DONNA
9233 DAVIES PLANTATION RD #
MEMPHIS TN 38133

PARKER RONALD R & SANDRA
9357 CLUB WALK CT #
LAKELAND TN 38002

RUBEN CLEOTRIES SR
9417 CLUB WALK CT #
LAKELAND TN 38002

BOMAR CHARLES K & SHERYL L
9241 DAVIES PLANTATION RD #
MEMPHIS TN 38133

ARRINGTON CHELSEY B
12066 CRANSTON DR #
LAKELAND TN 38002

NAIK DHARMESH & NUTAN
9423 CLUB WALK CT #
ARLINGTON TN 38002

POLLOCK GREGORY D & ASHLEY H
9269 DAVIES PLANTATION RD #
BARTLETT TN 38133

CATHEY WALTER E
9369 CLUB WALK CT #
LAKELAND TN 38002

VEIGA JUSSARA B
1118 FRAGILE SAIL CT #
KATY TX 77495

WEST JIMMY R LIVING TRUST
9266 HILLMAN WAY DR #
MEMPHIS TN 38133

AMKHB PROPERTY 1 LLC
1557 W 925 #
SYRACUSE UT 84075

BRIMHALL REBECCA B
9250 DAVIES PLANTATION RD #
BARTLETT TN 38133

BAGGETT PAUL D
9260 HILLMAN WAY DR #
MEMPHIS TN 38133

WOOLDRIDGE RACHEL LIVING TRUST
9381 CLUB WALK CT #
LAKELAND TN 38002

ST PHILIP EPISCOPAL CHURCH DAVIESHIRE
9380 DAVIES PLANTATION RD #
MEMPHIS TN 38133

GREEN MARY A AND STEVEN A GREEN (RS)
8228 WOODSTOCK CUBA RD #
MILLINGTON TN 38053

SCHULZ OLAF H
9387 CLUB WALK CT #
ARLINGTON TN 38002

DAVIES MANOR ASSOC INC
PO BOX 56 #
BRUNSWICK TN 38014

SEWARD BEN A & MOLLY M
9244 HILLMAN WAY DR #
MEMPHIS TN 38133

WILLINGHAM CHARLES E AND SHARON D MILLER
9393 CLUB WALK CT #
LAKELAND TN 38002

ST PHILIP EPISCOPAL CHURCH
9380 DAVIES PLANTATION RD #
MEMPHIS TN 38133

HENRY FORREST AND PEGGY HENRY LIVING
9224 HILLMAN WAY DR #
MEMPHIS TN 38133

CARNEY BOBBIE G
9399 CLUB WALK CT #
ARLINGTON TN 38002

ST PHILIP EPISCOPAL CHURCH INC
9830 DAVIES PLANTATION RD #
MEMPHIS TN 38133

LAWRENCE JOSEPH K & AUDREY L
9206 HILLMAN WAY DR #
MEMPHIS TN 38133

MURRAY LINDA & WILLIAM H
9405 CLUB WALK CT #
LAKELAND TN 38002

ST PHILIP EPISCOPAL CHURCH INC
9830 DAVIES PLANTATION RD #
MEMPHIS TN 38133

LUCE NATHAN & ANGELA
9188 HILLMAN WAY DR #
MEMPHIS TN 38133

ENGLISH REVOCABLE LIVING TRUST
9183 BRUTON PARISH CV #
BARTLETT TN 38133

WHARTON CLIFFORD C & SANDRA K
9253 HILLMAN WAY DR #
MEMPHIS TN 38133

PRITT PAUL T & SANDRA S
9309 CURLING POND LN #
LAKELAND TN 38002

LARKIN ELTON E JR & MARY T
9191 BURTON PARISH CV #
MEMPHIS TN 38133

MARTIN LYDIA K REVOCABLE LIVING TRUST
9259 HILLMAN WAY DR #
MEMPHIS TN 38133

ERICKSON BETHANY M & ZACHARY EMINETH
9315 CURLING POND LN #
LAKELAND TN 38002

QUIGLEY KYLE A & BRENNAN A AND
9196 BRUTON PARISH CV #
BARTLETT TN 38133

WINTERS DAVID & DIANA
9289 DAVIES PLANTATION RD #
BARTLETT TN 38133

BROUSSARD KIM & SHEILA NAZEMI
1040 CEDARVIEW LN #
FRANKLIN TN 37067

STANCIL STEPHEN P & JESSICA D
9190 BRUTON PARISH CV #
BARTLETT TN 38133

DUNLAP REVOCABLE LIVING TRUST
9255 DAVIES PLANTATION RD #
MEMPHIS TN 38133

JN US INVESTMENTS LLC
#

SPAIN ROBIN L & BONNIE S
9187 HILLMAN WAY DR #
BARTLETT TN 38133

WHITE LARRY D & BONNIE L
3176 BIRCHTON GLADE CV #
ARLINGTON TN 38002

FOWLKES KATHY A
3201 GLADE VERDE LN #
LAKELAND TN 38002

ROBERTSON FRANCES L (LE) AND JANICE R
9203 HILLMAN WAY DR #
BARTLETT TN 38133

MOORE DYLAN R
3180 BIRCHTON GLADE CV #
LAKELAND TN 38002

ADKISON DAVID W & KIMBERLY A
3195 GLADE VERDE LN #
ARLINGTON TN 38002

BRIMHALL NICHOLAS & CATHERINE
9221 HILLMAN WAY DR #
MEMPHIS TN 38133

FKH SFR PROPCO A LP
1850 PARKWAY PL #
MARIETTA GA 30067

GARRETT DERRICK & TAMMY
3190 GLADE VERDE LN #
LAKELAND TN 38002

KELLY CHRISTOPHER J & KIMBERLY A
9237 HILLMAN WAY DR #
MEMPHIS TN 38133

BRYAN JUDY & PHILLIP E
9289 CURLING POND LN #
LAKELAND TN 38002

NORTON JULIA R
3196 GLADE VERDE LN #
LAKELAND TN 38002

SMITH GLENN L & BRENDA C
9245 HILLMAN WAY DR #
MEMPHIS TN 38133

DUKE PAMELA AND RACHEL DUKE (RS)
9295 CURLING POND LN #
LAKELAND TN 38002

SNUFFIN GARY R & MARION L
3202 GLADE VERDE LN #
ARLINGTON TN 38002

NOLAN KATHLEEN L REVOCABLE LIVING TRUST
9249 HILLMAN WAY DR #
BARTLETT TN 38133

MORGAN ROGER D
9301 CURLING POND LN #
LAKELAND TN 38002

BRUCE MARTIN JR & KIMBERLY
3208 GLADE VERDE LN #
LAKELAND TN 38002

VOYLES RUBEN M & CYNTHIA A
3218 GLADE VERDE LN #
LAKELAND TN 38002

DAVIS RICHARD A JR
9332 CURLING POND LN #
LAKELAND TN 38002

GREGORY PAUL R
50 S 100 #
MILLVILLE UT 84326

BURKS CATHERINE L
9320 CURLING POND LN #
ARLINGTON TN 38002

ROSS TOMMY D & CATHERINE M
2100 LATTING HILLS CV #
CORDOVA TN 38016

ACOR JACK O
9308 CURLING POND LN #
LAKELAND TN 38002

HANER CHARLES D & ROBIN G
9300 CURLING POND LN #
LAKELAND TN 38002

STANFORD JUSTIN & LILLIAN ZALDUONDO
9292 CURLING POND LN #
LAKELAND TN 38002

HOLLOWAY COLEMAN & SHANNON
9286 CURLING POND LN #
LAKELAND TN 38002

KIRBY JEANNETTE E
9280 CURLING POND LN #
LAKELAND TN 38002

Community Meeting

December 18, 2023

Location: Christian Life Church Sanctuary

Presenter: Pastor Caleb Adams

Our vision

To launch a Christian School to provide quality education with a Christian worldview to the members of our congregation.

Our why

- Bartlett has inadequate private school options (One Catholic, one Islamic, and one pre-school – kindergarten).
- Some Shelby County Schools do not provide consistent quality education.
- Drugs, crime, and ideology that conflict with a Christian worldview are becoming more common (E.g., Satan club that was started at Chimney Rock Elementary last week).

School stats

- We currently have a membership of **264** with **85** children ages 0-17. 27 students K-6th grade.
- We anticipate approximately 50% of our members opting to send their children to our school.
- We will use an 80/20 ratio of members/non-members for enrollment.
- The school will initially begin with Kindergarten to 3rd grade and add grades as needed. We plan to offer all grades within 5 years.

Neighborhood Impact

Davies Plantation is the crown jewel of Bartlett. The members of this community have worked a lifetime to acquire homes in this neighborhood. This community's secluded, safe, and rural feel is home to some of the best citizens of the Memphis metro area. Any new development must be carefully considered to not infringe on anyone's quality of life or property values.

We know that our church exists as an extension of the community. We do not operate in a vacuum. Everything we do has an impact on our neighborhood. We hope that we are an asset and not a liability. We believe our church is a valuable addition to our community, and our plans for a school will not become a liability.

Davies Plantation Home Owners Association provided a forum for concerned neighbors to submit questions regarding our proposed project. The HOA passed along six points of concern that summarize the feedback from the community.

Concerns

The Davies HOA polled the community members to get a feel for concerns regarding the church's SUP permit. Out of the responses, six primary concerns emerged. I will offer a response to each of these.

1. Traffic volume increases throughout the neighborhood with no infrastructure to support it.

We understand that a potential increase in traffic through the northwest neighborhoods in Davies Plantation is a primary concern of our neighbors. We believe that the proposed school will not create a traffic burden to our neighborhood for the following reasons:

First, our current Sunday services with nearly 300 attendees do not create traffic issues. Attendance at our worship services is twice the number of students we envision attending the school, even after many years of operation. We are not experiencing any traffic issues before or after worship at any of our services. Therefore, we do not think the substantially smaller number of students will create traffic issues.

Second, very few of our members access the church via Davies Plantation from the West. To better understand the potential traffic impact of a school, we sent a poll via email to 186 drivers in our congregation. We received **135** responses to the following question - From which direction do you access Christian Life Church? East via I40/Canada Road? Or West via the Davies Plantation neighborhood?

- a. **80% (108)** of the respondents indicated they access the church via Canada Road/I40. **20% (27)** Indicated they access the church from the West via Davies Plantation.
- b. For those who indicated they access the church from the neighborhood (option b), we asked the following question: Do you have school-aged children? **9** families indicated they have school-aged children. Assuming a 50% member participation and allowing for the 80/20 member/non-member enrollment – 5 to 6 vehicles will access the school from the Davies Plantation neighborhood. *But considering these members who live in the neighborhood are already utilizing neighborhood streets to bring their children to school elsewhere, the traffic increase will be negligible.*

2. Changes to the nature of the neighborhood's quiet, secluded, family-friendly environment.

Our church chose to locate on Davies Plantation because it is a quiet, secluded, family-friendly neighborhood close to most of our membership. We are passionate about maintaining the quality of our neighborhood. We do not wish to make any change that will jeopardize the quality of life we enjoy here.

3. Once this is approved, what is next? What is the continued growth plan?

Christian Life Church purchased this property in 2012. We needed space to adequately serve the needs of our congregation. When we initially applied for the Special Use Permit to build this church on Davies Plantation, we envisioned a three-phase development to reach full build-out.

- A. **Phase 1** is our current facility, which contains a sanctuary, four classrooms, offices, and some multi-purpose space. Our sanctuary currently seats **381** with room to add more seating if needed.
- B. **Phase 2** is an annex building to accommodate both current and future needs. The proposed annex is **17,006** square feet and will feature a gym, a large kitchen, seven classrooms, four offices, and a small multi-purpose space. The annex will be used to expand Sunday school classes, fellowship dinners, and youth programming. A school for early childhood education is only one use of the annex.
- C. **Phase 3** will be a larger sanctuary should the congregation grow to a point when this is needed. We currently do not have a time frame or design for Phase 3.

4. Bringing outside elements (non-church members) into our neighborhood daily, some might be less desirable elements that could endanger peace and security.

Our school will primarily serve our members. The 80/20 member/non-member ratio will limit the number of outsiders. All non-member students will be carefully screened. We will not accept any student with a sex offender status or drug issues. We believe families who are willing to invest significant monies into private education are likely to be law-abiding, hard-working, honorable citizens.

5. Will the mixed-use facility be able to be rented for non-church events or family gatherings?

We do not rent the church for private events. The exception is for weddings of members. Our regular church programming does not allow ample space for private events. Also, we do not want to create legal liabilities for denying an event rental that conflicts with the church's religious convictions.

6. What will the average tuition cost?

Quality private education requires a substantial investment. Area private schools are averaging \$8,000 - \$12,000 tuition. Some schools are higher. We anticipate our school will set tuition in line with that of other private institutions.

Bartlett Planning and
Economic Development Department
6382 Stage Road, P.O. Box 341148
Bartlett, TN 38184-1148
901-385-6417 FAX 901-385-6419
www.cityofbartlett.org

Bartlett Planning Commission
Application for Site Plan Approval

RECEIVED
DEC 01 2023

CITY OF BARTLETT

Project Name MMK Lot 12

Project Address Northeast corner of Ladurl Drive and Ladurl Cove

Owner/Developer Contact Dale Hoskins Phone 901-389-7578

Company Name North Star Development, LLC Fax _____

Address 4053 Seed Tick Road Lakeland, TN

Email Address northstarhomes1@yahoo.com

Architect Contact _____ Phone _____

Company Name _____ Fax _____

Address _____

Email Address _____

Engineer Contact Roy Lamica, P.E. Phone 901-355-1347

Company Name EFI Global Fax _____

Address 7975 Stage Hills Blvd, Suite 1 Bartlett, TN

Email Address roy.lamica@efiglobal.com

Submitted by Roy Lamica, P.E. Roy D Lamica 12/4/2023
(printed name) (signature) (date)

Email Address roy.lamica@efiglobal.com Phone 901-355-1347 Fax _____

RL Acknowledge (by initials in the blank to the left) that the "Application Instructions: Planning Commission" were obtained and read prior to submitting this application.

RL The "Site Plan Checklist" has been completed and required all items have been provided. (See reverse page/or attached checklist)

RL Provide 18-folded ($\pm 10"x13"$) sets of plans with a copy of the signed application attached to each set.

RL Provide an electronic PDF file of the plans. Note that an updated electronic file is required when plans are revised. The electronic file shall be labeled with the project name and accurately dated.

RL **Without Contract:** Include a fee of \$400.00 with this application (check payable to the City of Bartlett).

RL **With Contract:** Include a fee of \$500.00 with this application (check payable to the City of Bartlett).

The fee is non-refundable. Approval may be granted to the entire development for construction purposes, or approval may be granted by stages. Any unauthorized deviation from the approved Site Plan shall constitute a violation of the Building Permit. If the site is subject to the Subdivision process, all requirements of the Subdivision Ordinance must be met.

I, the property owner(s) hereby authorize the filing of this application.

M Spence Ray [Signature] 11/30/23
(print name) (signature) (date)

Site Plan Checklist

The site plan package shall include the information below, with dimensions as necessary to show compliance with the Zoning Ordinance and to locate required features:

- ☒ a. The proposed development's name and location, the name(s) and address(es) of the owner(s), and the name of the designer of the site plan.
- ☒ b. A site location (vicinity) map.
- ☒ c. Date, north point and *graphic* scale. Draw to scale on sheets **no larger than 24" x 36"**. Scale shall be no smaller than 1" = 100' and large enough to show required detail clearly and distinctly. Use an engineer's scale. An architect's scale may be used for building elevations.
- ☒ d. The locations of existing and platted property lines and any existing streets, buildings, easements, etc.
- ☒ e. The locations and dimensions of proposed streets, buildings, easements, lot lines and other site plan features.
- ☒ f. The proposed types of uses and their locations, height of buildings, arrangement, lot coverage, yards and open spaces.
- ☒ g. A grading and drainage plan that has provisions for detention. Also, provide flood hazard details when applicable.
- ☒ h. Floor area of proposed buildings or building additions (each floor, in square feet).
- ☒ i. Proposed off-street parking with parking spaces shown and dimensioned.
- ☒ j. Landscaping and screening plan, evidence of compliance with required landscaping.
- ☒ k. Table on the landscape plan showing compliance with the Tree Ordinance.
- ☒ l. Other information as may be required by the Planning Commission.
- ☒ m. A tree survey by a certified arborist is required if there are trees larger than 6" in diameter on the site.
- ☒ n. A tree protection plan that is signed by a surveyor and arborist showing trees to be removed and saved is required.
- ☒ o. Erosion control plan.
- ☒ p. Location of sewer and water services and water meter sizes.
- ☒ q. The applicant must provide one PDF file of the pictorial portion of the site plan (and also one of any separate landscaping plan), for display at the Planning Commission meeting.

Plans shall be sealed, signed and dated by an engineer that is registered in the State of Tennessee.

INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED



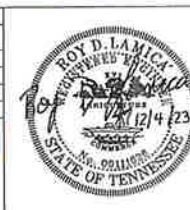
VICINITY MAP
(N.T.S.)



THIS IS TO CERTIFY THAT THIS PROPERTY (THE SUBJECT PROPERTY SURVEYED) IS NOT WITHIN THE LIMITS OF A DESIGNATED 'SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD'. THE SUBJECT PROPERTY, BY GRAPHICAL REPRESENTATION ONLY, LIES WITHIN ZONE X DEFINED AS BEING, 'AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN' PER FEMA FIRM MAP NUMBER 47157C0310G & 47157C0330G DATED FEBRUARY 6, 2013 BASED UPON OUR INTERPRETATION OF THE LOCATION OF THE FLOOD HAZARD BOUNDARY LIMITS IN RELATION TO THE PROPERTY LINES. NO SURVEYING OR ENGINEERING WAS PERFORMED FOR THIS SURVEY TO DETERMINE FEMA FLOOD LIMITS.

REVISION		
ITEM NO.	DESCRIPTION OF CHANGE	APPROVAL DATE

efi global
2715 Stage Barn Blvd Suite 1
Birmingham, AL 35211-1144
www.efiglobal.com



SCALE 1" = 20'

SHEET 1 of 1

CITY OF BARTLETT DIVISION OF ENGINEERING

TREE PROTECTION PLAN

LOCATION: NE CORNER OF LADURL DR AND LADURL CV
BARTLETT, TENNESSEE

SURVEY BY: EFI GLOBAL DATE: NOV. 2023 BOOK:

DESIGN BY: EFI GLOBAL DATE: 12.04.23 SCALE: AS SHOWN

REVIEWED

DEPUTY CITY ENGINEER DATE CITY ENGINEER DATE

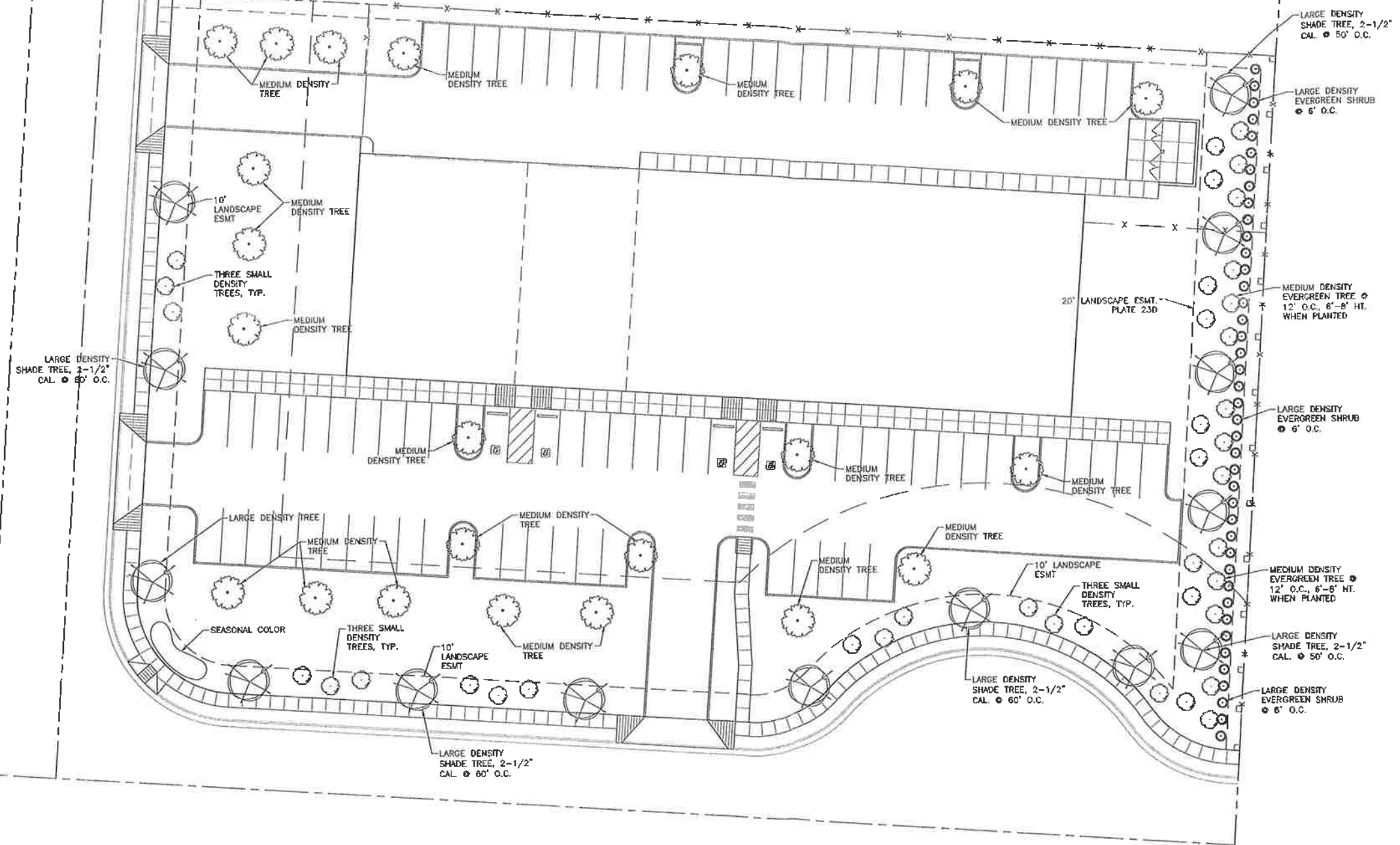
MMK SUBDIVISION - LOT 12

DEVELOPER: NORTH STAR CONSTRUCTION, LLC
ENGINEER: EFI GLOBAL

NOT FOR CONSTRUCTION



VICINITY MAP
(N.T.S.)



SITE AREA = 2.176 AC.
REQUIRED SITE DENSITY UNITS = 44
PROVIDED DENSITY UNITS:
22 MEDIUM DENSITY TREES AT 2" DBH = 44 DU



THIS IS TO CERTIFY THAT THIS PROPERTY (THE SUBJECT PROPERTY SURVEYED) IS NOT WITHIN THE LIMITS OF A DESIGNATED 'SPECIAL FLOOD HAZARD AREAS SUBJECT TO FLOODING BY THE 1% ANNUAL CHANCE FLOOD'. THE SUBJECT PROPERTY, BY GRAPHICAL REPRESENTATION ONLY, LIES WITHIN ZONE X DEFINED AS BEING, 'AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN' PER FEMA FIRM MAP NUMBER 47157C03100 & 47157C03300 DATED FEBRUARY 6, 2013 BASED UPON OUR INTERPRETATION OF THE LOCATION OF THE FLOOD HAZARD BOUNDARY LIMITS IN RELATION TO THE PROPERTY LINES. NO SURVEYING OR ENGINEERING WAS PERFORMED FOR THIS SURVEY TO DETERMINE FEMA FLOOD LIMITS.

NOT FOR CONSTRUCTION

REVISION		
ITEM NO.	DESCRIPTION OF CHANGE	APPROVAL DATE

efi global
7973 Stage 1 City Blvd Suite 1 Memphis, Tennessee 38123
www.efiglobal.com



MMK SUBDIVISION - LOT 12			
DEVELOPER: NORTH STAR CONSTRUCTION, LLC			
ENGINEER: EFI GLOBAL			
CITY OF BARTLETT DIVISION OF ENGINEERING			
LANDSCAPE PLAN			
LOCATION: NE CORNER OF LADURL DR AND LADURL CV BARTLETT, TENNESSEE			
SURVEY	BY: EFL	DATE: NOV. 2023	BOOK:
DESIGN BY:	EFL	DATE: 12.04.23	SCALE: AS SHOWN
REVIEWED			
DEPUTY CITY ENGINEER	DATE:	CITY ENGINEER	DATE:



VICINITY MAP
(N.T.S.)

LEGEND

- PROPOSED DRAINAGE PIPE
EXISTING CONTOUR
PROPOSED CONTOUR

ABBREVIATIONS

FG	FINISHED GRADE
FTE	FINISHED FLOOR ELEV.
TH	THRESHOLD
TW	TOP OF WALL
BW	BOTTOM OF WALL
TC	TOP OF CURB
BC	BOTTOM OF CURB
FL	FLOWLINE
RM	RIM
HP	HIGH POINT
LP	LOW POINT
TS	TOP OF STAIRS
BS	BOTTOM OF STAIRS

FFE = 376.00

STORM WATER DETENTION IS
BEING HANDLED BY A SHARED
BASIN FOR THE INDUSTRIAL PARK



THIS IS TO CERTIFY THAT THIS PROPERTY (THE SUBJECT PROPERTY SURVEYED) IS NOT
WITHIN THE LIMITS OF A DESIGNATED "SPECIAL FLOOD HAZARD AREAS SUBJECT TO
FLOODING BY THE 1% ANNUAL CHANCE FLOOD". THE SUBJECT PROPERTY, BY
GRAPHICAL REPRESENTATION ONLY, LIES WITHIN ZONE X, DEFINED AS BEING "AREAS
DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN" PER FEMA FIRM
MAP NUMBER 4715703100 & 4715703300 DATED FEBRUARY 5, 2013 BASED UPON
OUR INTERPRETATION OF THE LOCATION OF THE FLOOD HAZARD BOUNDARY LIMITS IN
RELATION TO THE PROPERTY LINES. NO SURVEYING OR ENGINEERING WAS PERFORMED
FOR THIS SURVEY TO DETERMINE FEMA FLOOD LIMITS.



NOT FOR CONSTRUCTION

MMK SUBDIVISION - LOT 12
DEVELOPER: NORTH STAR CONSTRUCTION, LLC
ENGINEER: EFI GLOBAL

CITY OF BARTLETT DIVISION OF ENGINEERING			
GRADING AND DRAINAGE PLAN			
LOCATION: NE CORNER OF LADURL DR AND LADURL CV BARTLETT, TENNESSEE			
SURVEY	EFI GLOBAL	DATE	NOV. 2023
DESIGN BY	EFI GLOBAL	DATE	12.04.23
REVIEWED		SCALE	AS NOTED
DEPUTY CITY ENGINEER		DATE	
CITY ENGINEER		DATE	



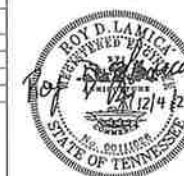
VICINITY MAP
(N.T.S.)

NOTES:

1. ALL DISTURBED EARTHEN AREAS SHALL BE SODED OR LANDSCAPED.
2. EROSION CONTROL MEASURES SHOWN ARE MINIMUM AND DO NOT ACCOUNT FOR THE CONTRACTOR'S SEQUENCE OF CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR MODIFYING THE EROSION CONTROL MEASURES AS REQUIRED FOR CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL BE REQUIRED TO MAINTAIN EROSION AS REQUIRED BY TDEC.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION CONTROL INSPECTIONS AND REPORTING AS REQUIRED BY TDEC. TYPICAL INSPECTIONS ARE TWICE A WEEK.
4. CONTRACTOR SHALL ONLY USE PROPOSED CONSTRUCTION ENTRANCE FOR INGRESS/EGRESS FROM THE SITE.



THIS IS TO CERTIFY THAT THIS PROPERTY (THE SUBJECT PROPERTY SURVEYED) IS NOT WITHIN THE LIMITS OF A DESIGNATED "SPECIAL FLOOD HAZARD AREAS SUBJECT TO FLOODING BY THE 1% ANNUAL CHANCE FLOOD". THE SUBJECT PROPERTY, BY GRAPHICAL REPRESENTATION ONLY, LIES WITHIN ZONE X DEFINED AS BEING "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN" PER FEMA FIRM MAP NUMBER 4715700310G & 4715700330G DATED FEBRUARY 6, 2013 BASED UPON OUR INTERPRETATION OF THE LOCATION OF THE FLOOD HAZARD BOUNDARY LIMITS IN RELATION TO THE PROPERTY LINES. NO SURVEYING OR ENGINEERING WAS PERFORMED FOR THIS SURVEY TO DETERMINE FEMA FLOOD LIMITS.



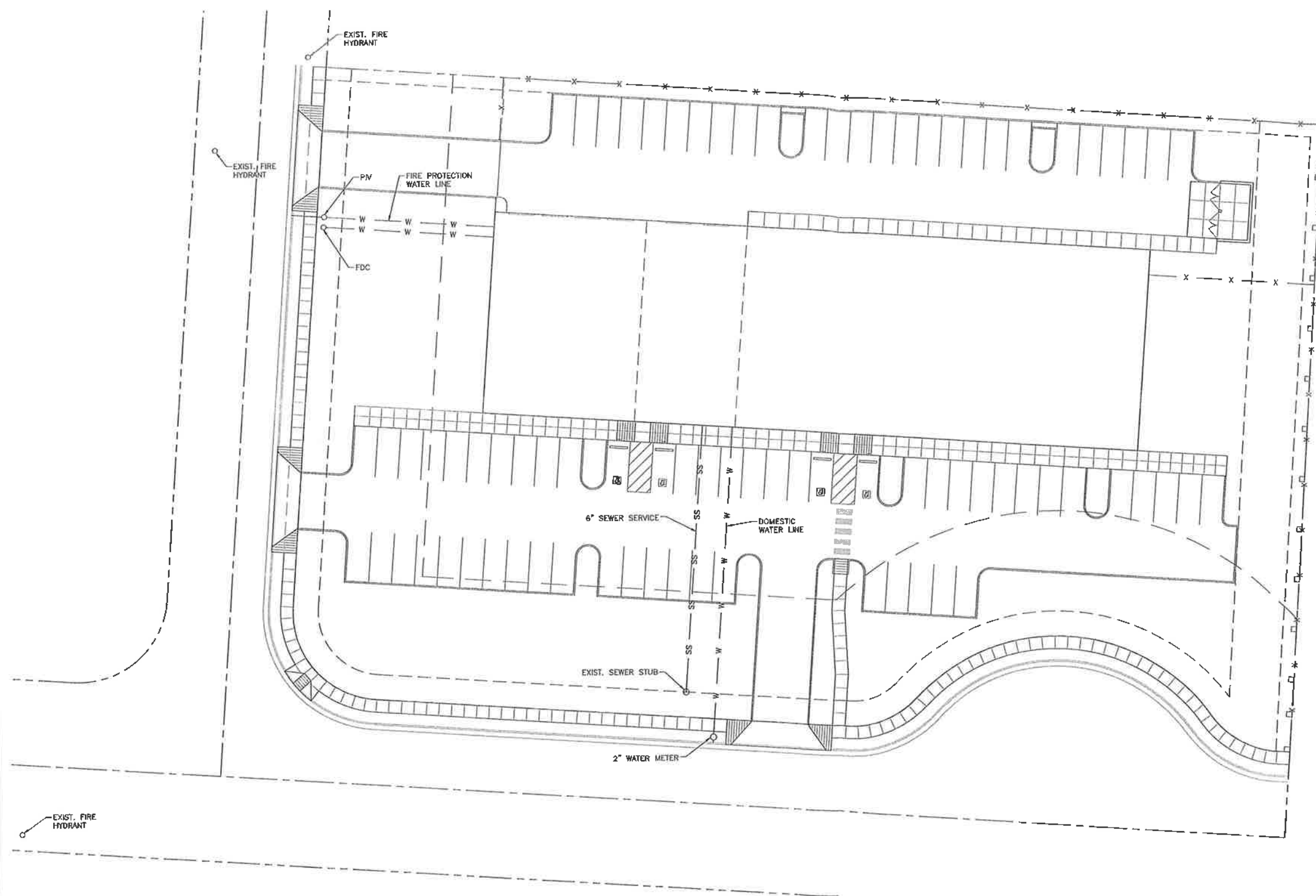
NOT FOR CONSTRUCTION

MMK SUBDIVISION - LOT 12
DEVELOPER: NORTH STAR CONSTRUCTION, LLC
ENGINEER: EFI GLOBAL

SCALE 1" = 20'			
SHEET 1 of 1			
CITY OF BARTLETT DIVISION OF ENGINEERING			
EROSION CONTROL PLAN			
LOCATION: NE CORNER OF LADURL DR AND LADURL CV BARTLETT, TENNESSEE			
SURVEY	BY: EFI GLOBAL	DATE: NOV. 2023	BOOK:
DESIGN BY:	EFI GLOBAL	DATE: 12.04.23	SCALE: AS NOTED
REVIEWED			
DEPUTY CITY ENGINEER	DATE:	CITY ENGINEER	DATE:



VICINITY MAP
(N.T.S.)



THIS IS TO CERTIFY THAT THIS PROPERTY (THE SUBJECT PROPERTY SURVEYED) IS NOT WITHIN THE LIMITS OF A DESIGNATED "SPECIAL FLOOD HAZARD AREAS SUBJECT TO FLOODING BY THE 1% ANNUAL CHANCE FLOOD". THE SUBJECT PROPERTY, BY GRAPHICAL REPRESENTATION ONLY, LIES WITHIN ZONE X DEFINED AS BEING "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN" PER FEMA FIRM MAP NUMBER 47157003106 & 47157003306 DATED FEBRUARY 6, 2013 BASED UPON OUR INTERPRETATION OF THE LOCATION OF THE FLOOD HAZARD BOUNDARY LIMITS IN RELATION TO THE PROPERTY LINES. NO SURVEYING OR ENGINEERING WAS PERFORMED FOR THIS SURVEY TO DETERMINE FEMA FLOOD LIMITS.

EXIST. FIRE
HYDRANT

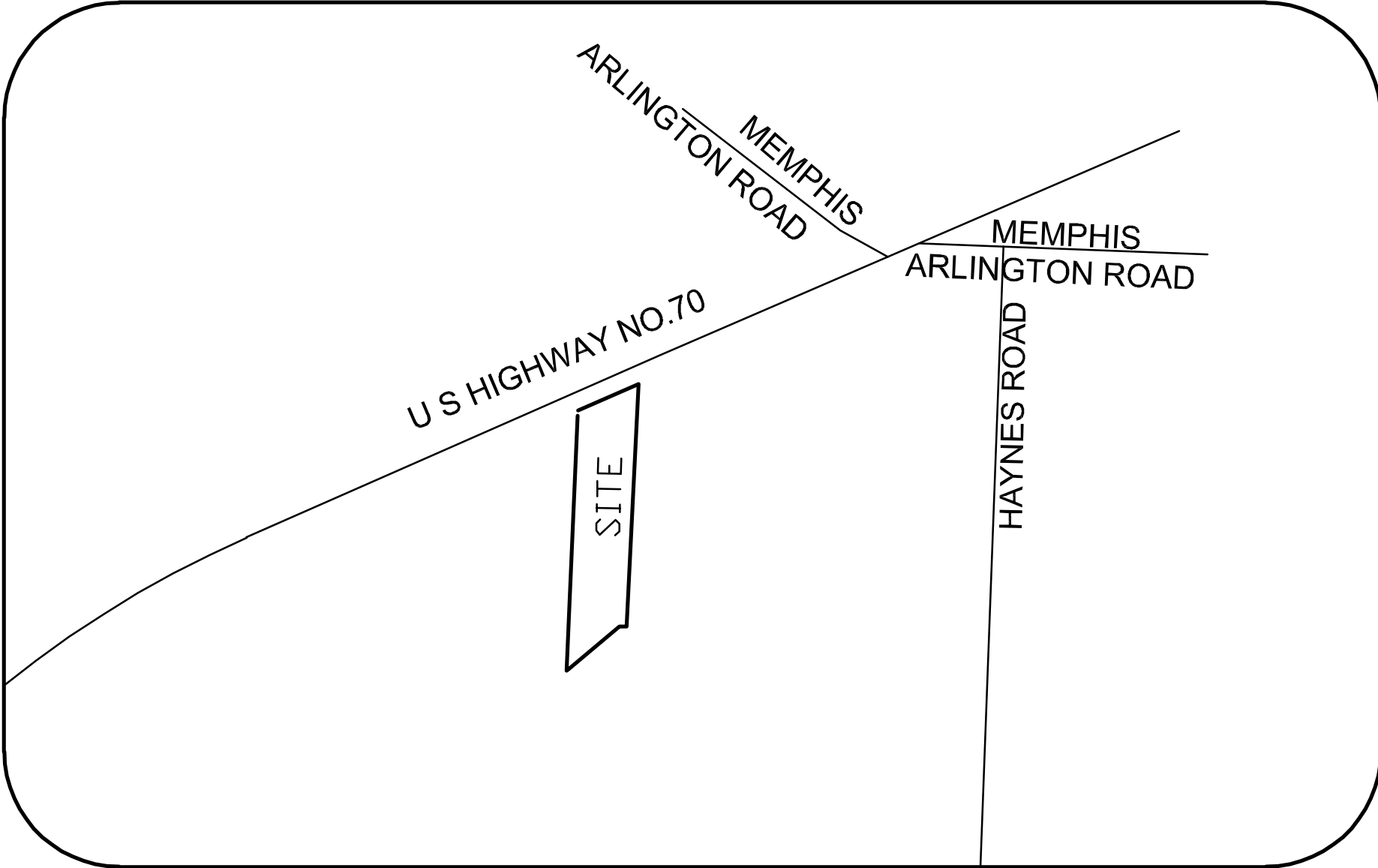


NOT FOR CONSTRUCTION

MMK SUBDIVISION - LOT 12
DEVELOPER: NORTH STAR CONSTRUCTION, LLC
ENGINEER: Efi GLOBAL

SCALE 1" = 20'			
SHEET 1 of 1			
CITY OF BARTLETT DIVISION OF ENGINEERING			
WATER & SEWER PLAN			
LOCATION: NE CORNER OF LADURL DR AND LADURL CV			
BARTLETT, TENNESSEE			
SURVEY	BY Efi GLOBAL	DATE NOV. 2023	BOOK
DESIGN BY	BY Efi GLOBAL	DATE 12.04.23	SCALE AS NOTED
REVIEWED			
DEPUTY CITY ENGINEER	DATE	CITY ENGINEER	DATE

VICINITY MAP n.t.s.



CONSTRUCTION DRAWINGS

LOT 1, SHAMALI SUBDIVISION

BARTLETT, TENNESSEE

MARWAN AND HANEEN SHAMALI
OWNER/DEVELOPER

The Bray Firm
ENGINEER

SCHEDULE OF DRAWINGS

COVER PAGE	1
FINAL PLAT (2 SHEETS)	2
SITE PLAN	4
SANITARY SEWER PLAN	5
EROSION CONTROL PLAN	6
GRADING AND DRAINAGE	7
SITE DETAILS	8

GENERAL NOTES

CONSTRUCTION NOTES:

1. PROPERTY LINES SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. GRADING, CLEARING AND THE ERECTION OR REMOVAL OF FENCES ALONG PROPERTY LINES SHALL BE FULLY COORDINATED WITH ADJACENT PROPERTY OWNERS.
2. THE CONTRACTOR SHALL VERIFY ANY EXISTING DATA AND REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ENGINEER.
3. THE CONTRACTOR SHALL NOT ENTER UPON, WORK UPON NOR CAUSE DAMAGE TO ANY ADJACENT PROPERTIES WITHOUT PRIOR PERMISSION FROM SAID PROPERTY OWNER.
4. LOCATION OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE AND ARE NOT NECESSARILY ALL OF SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE APPROPRIATE UTILITY COMPANY TO DETERMINE THE EXACT LOCATION OF ALL UTILITIES AND/OR UNDERGROUND STRUCTURES PRIOR TO THE INITIATION OF ANY CONSTRUCTION. CONTRACTOR SHALL ALSO ASSUME FULL RESPONSIBILITY FOR DAMAGE TO ANY EXISTING UTILITIES ENCOUNTERED WITHIN THE CONSTRUCTION PERIMETERS. FOR SITE LOCATION OF EXISTING UTILITIES INVOLVING M.G.&W., SOUTH CENTRAL BELL, AND/OR TEXAS GAS COMPANY, PLEASE CALL 1-800-351-1111. FOR SEWER SERVICE LOCATIONS, CALL 385-6499.
5. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES.
6. TYPICAL SIDE SLOPES TO BE 1 FOOT VERTICAL TO 4 FEET HORIZONTAL.
7. ALL AREAS IN CUT OR FILL WHERE VEGETATION HAS BEEN REMOVED SHALL BE SEEDED, MULCHED, FERTILIZED, AND/OR SODDED AS REQUIRED TO PREVENT EROSION.
8. 24 HOURS PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE CITY OF BARTLETT ENGINEER'S OFFICE AT 385-6499.
9. ALL CONSTRUCTION MATERIALS & PROCEDURES SHALL MEET STANDARD CITY OF BARTLETT SPECIFICATIONS.
10. ALL FILL AND/OR TRENCH BACKFILL SHALL BE COMPACTED (IN 6 INCH LIFTS) TO 95% STANDARD PROCTOR WITHIN 3% OF OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D698-78 LATEST REVISION (STANDARD PROCTOR).
11. THE CONTRACTOR SHALL INSTALL AND MAINTAIN A SILT FENCE PARALLELED WITH HAY BALES AT THE TOP OF ALL DITCH BANKS FOR THE WIDTH OF THE CONSTRUCTION LIMITS AND CONTINUOUSLY ALONG THE "STREAMSIDE" CONSTRUCTION LIMIT.
12. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN EROSION CONTROL DURING CONSTRUCTION BY THE PLACEMENT OF SILT FENCES AND HAY BALES WHERE NECESSARY TO PREVENT DOWNSTREAM SILTATION OF ANY DITCHES, PIPES, DRAINAGE STRUCTURES OR ADJACENT PROPERTIES. THE CONTRACTOR SHALL PROVIDE ANY ADDITIONAL EROSION CONTROL AS NEEDED OR AS DIRECTED BY THE ENGINEER.
13. CONTRACTOR SHALL PROVIDE ALL NECESSARY EROSION CONTROL METHODS AS PER THE CITY OF BARTLETT, SHELBY COUNTY, AND STATE OF TENNESSEE REGULATIONS.
14. ENGINEER'S CERTIFICATE: THIS PROJECT HAS BEEN DESIGNED IN ACCORDANCE WITH THE CITY OF BARTLETT SUBDIVISION REGULATIONS AND SPECIFICATIONS.
15. LOT GRADING AND DRAINAGE:
FINISH GRADE SHALL BE SLOPED AWAY FROM THE FOUNDATION FOR DRAINAGE. THE FINISH GRADE MUST BEGIN AT LEAST 10 INCHES BELOW THE TOP OF THE FOUNDATION WALL OR THE GRADE OF THE CONCRETE SLAB AND FOUNDATION. THE MINIMUM GRADE AWAY FROM THE FOUNDATION WALL SHALL BE AT LEAST 5 PERCENT IN ALL DIRECTIONS. THE DRIVEWAY SHALL BE SLOPED DOWN AT 2 PERCENT FOR AT LEAST 8 FEET FROM THE STRUCTURE.
16. THE CITY OF BARTLETT SHALL HAVE INGRESS/EGRESS RIGHT TO USE PRIVATE DRIVES AND YARDS FOR THE PURPOSE OF MAINTAINING ALL PUBLIC UTILITIES AND SHALL BEAR NO RESPONSIBILITY FOR THE MAINTENANCE OF SAID DRIVES AND YARDS.

CERTIFICATE OF SURVEY:

I, TIMOTHY A. SULLIVAN, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND I HAVE SURVEYED THE LANDS EMBRACED WITHIN THE PLAT DESIGNATED AS SHAMALI SUBDIVISION. A SUBDIVISION ALL LYING WITHIN THE CORPORATE LIMITS OF THE CITY OF BARTLETT, TENNESSEE, THAT SAID PLAT IS A TRUE AND CORRECT PLAT OF THE LANDS EMBRACED THEREIN, SHOWING THE SUBDIVISION THEREOF IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF BARTLETT, TENNESSEE. I FURTHER CERTIFY THAT THE SURVEY OF THE LANDS EMBRACED WITHIN SAID PLAT HAS BEEN CORRECTLY CONDUCTED IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF BARTLETT, TENNESSEE.

IN WITNESS WHEREOF, I, THE SAID TIMOTHY A. SULLIVAN, SURVEYOR, HEREUNTO SET OUT HAND AND AFFIX MY SEAL THIS 2ND DAY OF NOVEMBER, 2023.

LAND SURVEYOR
STATE OF TENNESSEE CERTIFICATE NO. 00110070

CERTIFICATE OF ADEQUACY OF STORM DRAINAGE

I, DAVID GEAN BRAY, HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL CIVIL ENGINEER, AND THAT I HAVE DESIGNED ALL STORM WATER DRAINAGE FOR SHAMALI SUBDIVISION TO ASSURE THAT NEITHER SAID SUBDIVISION NOR ADJOINING PROPERTY WILL BE DAMAGED OR THE CHARACTER OF LAND USE BE AFFECTED BY THE VELOCITY AND VOLUME OF WATER ENTERING OR

IN WITNESS WHEREOF, I, THE SAID PROFESSIONAL CIVIL ENGINEER HERETO SET OUT HAND AND AFFIX MY SEAL THIS 2ND DAY OF NOVEMBER, 2023

PROFESSIONAL CIVIL ENGINEER
STATE OF TENNESSEE CERTIFICATE NO. 00110070

BOARD OF MAYOR AND ALDERMAN CERTIFICATE:

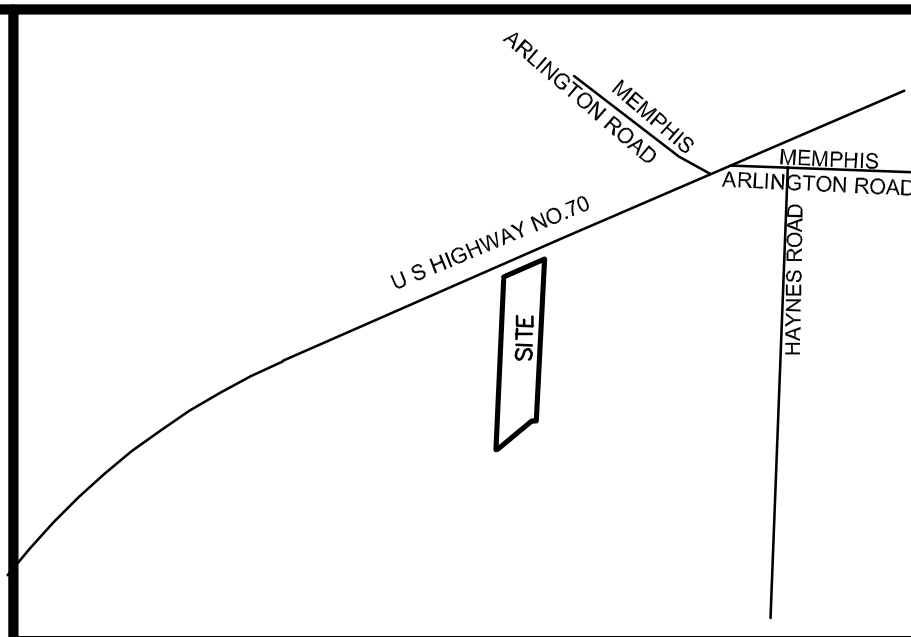
I, _____ HEREBY CERTIFY THAT ALL REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED OR THAT A PERFORMANCE BOND OR OTHER COLLATERAL, IN SUFFICIENT AMOUNT TO ASSURE COMPLETION OF ALL REQUIRED IMPROVEMENTS HAS BEEN POSTED FOR THE SUBDIVISION SHOWN ON THIS PLAT AND ARE HEREBY APPROVED BY THE CITY OF BARTLETT, TENNESSEE.

DATE _____ MAYOR
CITY OF BARTLETT

PLANNING COMMISSION CERTIFICATE

I, _____ DO HEREBY CERTIFY THAT THE CITY OF BARTLETT PLANNING COMMISSION HAS APPROVED THIS PLAT OF SUBDIVISION FOR RECORDING.

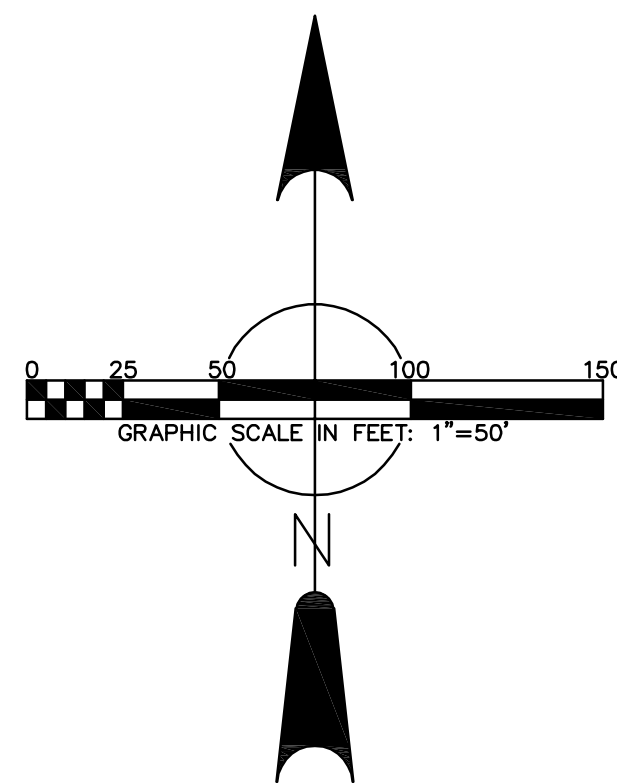
DATE _____ SECRETARY
BARTLETT PLANNING COMMISSION



VICINITY MAP, N.T.S.

NOTES :

- SETBACKS
A. MIN. FRONT- 60 FEET
B. MIN. SIDE YARD- NONE
C. MIN. REAR- 20 FEET
- THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA PER FEMA FLOOD MAP #47157C0270F SEPTEMBER 28, 2007.
- IF SETTLEMENT OCCURS ALONG ANY OF THE THE PUBLIC EASEMENTS WITHIN THE PRIVATE PROPERTY, THE OWNER SHALL BE RESPONSIBLE FOR ALL REPAIRS. IN THE EVENT THAT "PUBLIC WORKS" HAS TO EXCAVATE TO REPAIR A LEAK IN A PUBLIC LINE, "PUBLIC WORKS" SHALL BE RESPONSIBLE FOR EXCAVATION, BACKFILL, COMPACTION AND BRINGING THE AFFECTED AREA UP TO GRADE WITH APPROPRIATE SUB-BASE MATERIAL, BUT THE OWNER SHALL BE RESPONSIBLE FOR ALL FINISH WORK INCLUDING, BUT NOT LIMITED TO ASPHALT, CONCRETE AND LANDSCAPING.
- DRIVEWAYS AND OTHER PERMANENT STRUCTURES/IMPROVEMENTS SHALL NOT BE PLACED IN SEWER, WATER, OR DRAINAGE EASEMENTS OR OVER SEWER AND WATER SERVICES LOCATED ON PRIVATE PROPERTY.
- THE CITY SHALL HAVE INGRESS/ EGRESS RIGHTS TO USE PRIVATE DRIVES AND YARDS FOR THE PURPOSE OF MAINTAINING ALL PUBLIC UTILITIES AND SHALL BEAR NO RESPONSIBILITY FOR THE MAINTENANCE OF SAID DRIVES AND YARDS.
- ALL NEW UTILITIES SHALL BE UNDERGROUND.



SHEET 1 OF 1
FINAL PLAT

SHAMALI SUBDIVISION
BARTLETT, TENNESSEE

MARWAN AND HANEEN SHAMALI
7899 JILLS CREEK DRIVE
BARTLETT, TENNESSEE 38133
OWNER/DEVELOPER

THE BRAY FIRM
2950 STAGE PLAZA NORTH
BARTLETT, TN 38134
901-383-8668
ENGINEER

DATE: NOVEMBER 2023 SCALE: 1"=50' LOTS: 2 1.05 ACRES ZONED: C-H

OWNER'S CERTIFICATE:

I, _____ OWNER OF THE PROPERTY SHOWN HEREON, HEREBY ADOPT THIS PLAT AS MY PLAN OF SUBDIVISION, AND DEDICATE THE STREETS, RIGHTS-OF-WAYS, EASEMENTS, AND RIGHTS OF ACCESS AS SHOWN AND /OR DESCRIBED TO THE PUBLIC USE FOREVER, AND HEREBY CERTIFY THAT I AM THE OWNER IN FEE SIMPLE, DULY AUTHORIZED TO ACT AND THAT SAID PROPERTY IS UNENCUMBERED BY ANY TAXES WHICH HAVE BECOME DUE AND PAYABLE.

MARWAN AND HANEEN SHAMALI DATE _____

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC, IN AND FOR SAID STATE AND COUNTY AT MEMPHIS, DULY COMMISSIONED AND QUALIFIED, PERSONALLY APPEARED WITH WHOM I AM PERSONALLY ACQUAINTED AND WHO UPON OATH ACKNOWLEDGED THAT HE EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED AS HIS OWN FREE ACT AND DEED.

WITNESS MY HAND AND NOTARIAL SEAL, THIS _____ DAY OF _____, 2023.

MY COMMISSION EXPIRES _____ NOTARY PUBLIC

KEITH B. WRIGHT
INST. # 21141399

CABLE HOLDCO II INC.
INST. # 06160190

TWIN OAKS
PLAZA
INST. #FP 4645

STATE OF TENNESSEE
COUNTY OF SHELBY

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC, IN AND FOR SAID STATE AND COUNTY AT MEMPHIS, DULY COMMISSIONED AND QUALIFIED, PERSONALLY APPEARED WITH WHOM I AM PERSONALLY ACQUAINTED AND WHO UPON OATH ACKNOWLEDGED THAT HE EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED AS HIS OWN FREE ACT AND DEED.

WITNESS MY HAND AND NOTARIAL SEAL, THIS _____ DAY OF _____, 2023.

MY COMMISSION EXPIRES _____ NOTARY PUBLIC

4. TIMOTHY A. SULLIVAN, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND I HAVE SURVEYED THE LANDS EMBRACED WITHIN THE PLAT DESIGNATED AS SHAMALI SUBDIVISION, A SUBDIVISION ALL LYING WITHIN THE CORPORATE LIMITS OF THE CITY OF BARTLETT, TENNESSEE, THAT SAID PLAT IS A TRUE AND CORRECT PLAT OF THE LANDS EMBRACED THEREIN, SHOWING THE SUBDIVISION THEREOF IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF BARTLETT, TENNESSEE. I FURTHER CERTIFY THAT THE SURVEY OF THE LANDS EMBRACED WITHIN SAID PLAT HAS BEEN CORRECTLY CONDUCTED IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF BARTLETT, TENNESSEE.

CERTIFICATE OF ADEQUACY OF STORM DRAINAGE

IN WITNESS WHEREOF, I, THE SAID PROFESSIONAL CIVIL ENGINEER
HERETO SET OUT HAND AND AFFIX MY SEAL THIS 2ND DAY OF
NOVEMBER, 2023.

PROFESSIONAL CIVIL ENGINEER David Grant Brady P.E.
STATE OF TENNESSEE CERTIFICATE NO. 001100708-1-24-02.2023

CABLE HOLDCO II INC.
INST. # 06160190

149

LOT

LOT

TWIN OAKS
PLAZA
INST. #FP 4645

I, _____, OWNER OF THE PROPERTY SHOWN HEREON, HEREBY ADOPT THIS PLAT AS MY PLAN OF SUBDIVISION, AND DEDICATE THE STREETS, RIGHTS-OF-WAYS, EASEMENTS, AND RIGHTS OF ACCESS AS SHOWN AND /OR DESCRIBED TO THE PUBLIC USE FOREVER, AND HEREBY CERTIFY THAT I AM THE OWNER IN FEE SIMPLE, DULY AUTHORIZED TO ACT AND THAT SAID PROPERTY IS UNENCUMBERED BY ANY TAXES WHICH HAVE BECOME DUE AND PAYABLE.

DATE _____

WITNESS MY HAND AND NOTARIAL SEAL, THIS _____DAY OF _____, 2023.

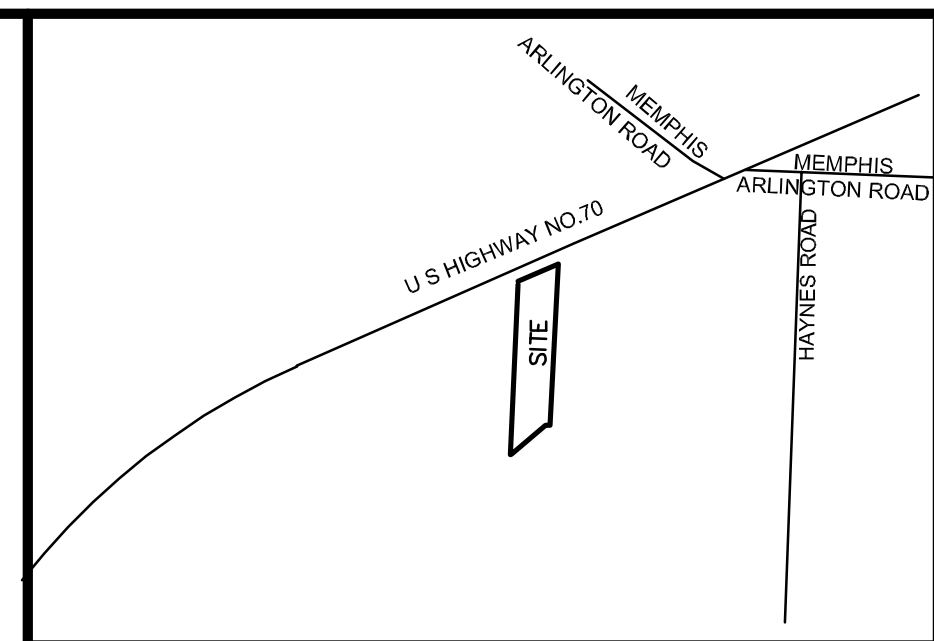
NOTARY PUBLIC

I, _____, HEREBY CERTIFY THAT ALL REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED OR THAT A PERFORMANCE BOND OR OTHER COLLATERAL IN SUFFICIENT AMOUNT TO ASSURE COMPLETION OF ALL REQUIRED IMPROVEMENTS HAS BEEN POSTED FOR THE SUBDIVISION SHOWN ON THIS PLAT AND ARE HEREBY APPROVED BY THE CITY OF BARTLETT, TENNESSEE.

MAYOR
CITY OF BARTLETT

I, _____, DO HEREBY CERTIFY THAT
THE CITY OF BARTLETT PLANNING COMMISSION HAS APPROVED
THIS PLAT OF SUBDIVISION FOR RECORDING.

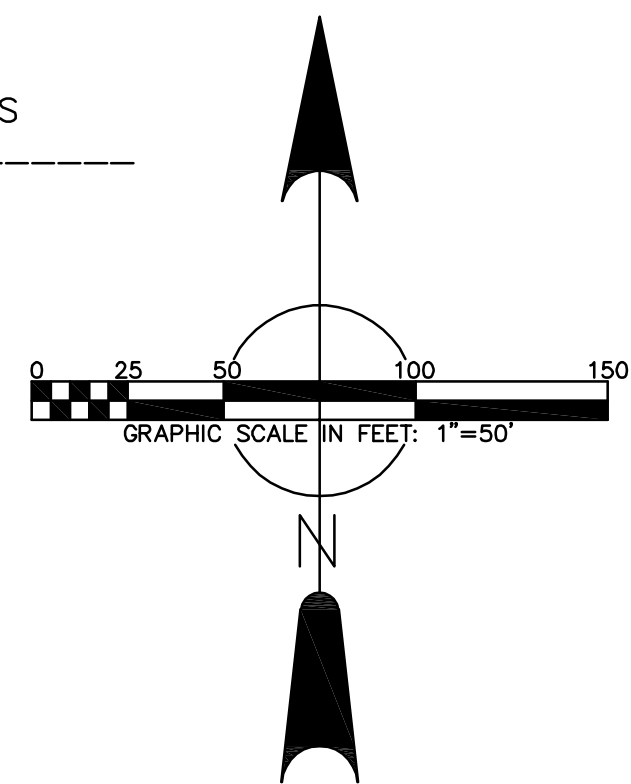
SECRETARY
BARTLETT PLANNING COMMISSION



NOTES :

1. SETBACKS
A. MIN. FRONT- 60 FEET
B. MIN. SIDE YARD- 10 FEET
C. MIN. REAR- 20 FEET
2. THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA PER FEMA FLOOD MAP #471570C0270F SEPTEMBER 28, 2007.
3. IF SETTLEMENT OCCURS ALONG ANY OF THE PUBLIC EASEMENTS WITHIN THE PRIVATE PROPERTY, THE OWNER SHALL BE RESPONSIBLE FOR ALL REPAIRS. IN THE EVENT THAT "PUBLIC WORKS" HAS TO EXCAVATE TO REPAIR A LEAK IN A PUBLIC LINE, "PUBLIC WORKS" SHALL BE RESPONSIBLE FOR EXCAVATION, BACKFILL, COMPACTION AND GRADING THE EXCAVATED AREA UP TO GRADE WITH APPROPRIATE SUB-BASE MATERIAL, BUT THE OWNER SHALL BE RESPONSIBLE FOR ALL FINISH WORK INCLUDING, BUT NOT LIMITED TO ASPHALT, CONCRETE AND LANDSCAPING.
4. DRIVEWAYS AND OTHER PERMANENT STRUCTURES/IMPROVEMENTS SHALL NOT BE PLACED ON WATER, OR DRAINAGE EASEMENTS OR OVER SEWER AND WATER SERVICES LOCATED ON PRIVATE PROPERTY.
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6. ALL NEW UTILITIES SHALL BE UNDERGROUND.

THIS PLAT REPLACES THE PREVIOUS
RECORDING AT P.B. _____, PG. _____



SHEET 1 OF 1
FINAL PLAT

SHAMALI SUBDIVISION
BARTLETT, TENNESSEE

THE BRAY FIRM
2950 STAGE PLAZA NORTH
BARTLETT, TN 38134
901-383-8668
ENGINEER

OWNER/DEVELOPER

DATE: NOVEMBER 2023 SCALE: 1"=50' LOTS: 1 1.05 ACRES ZONED: C-H

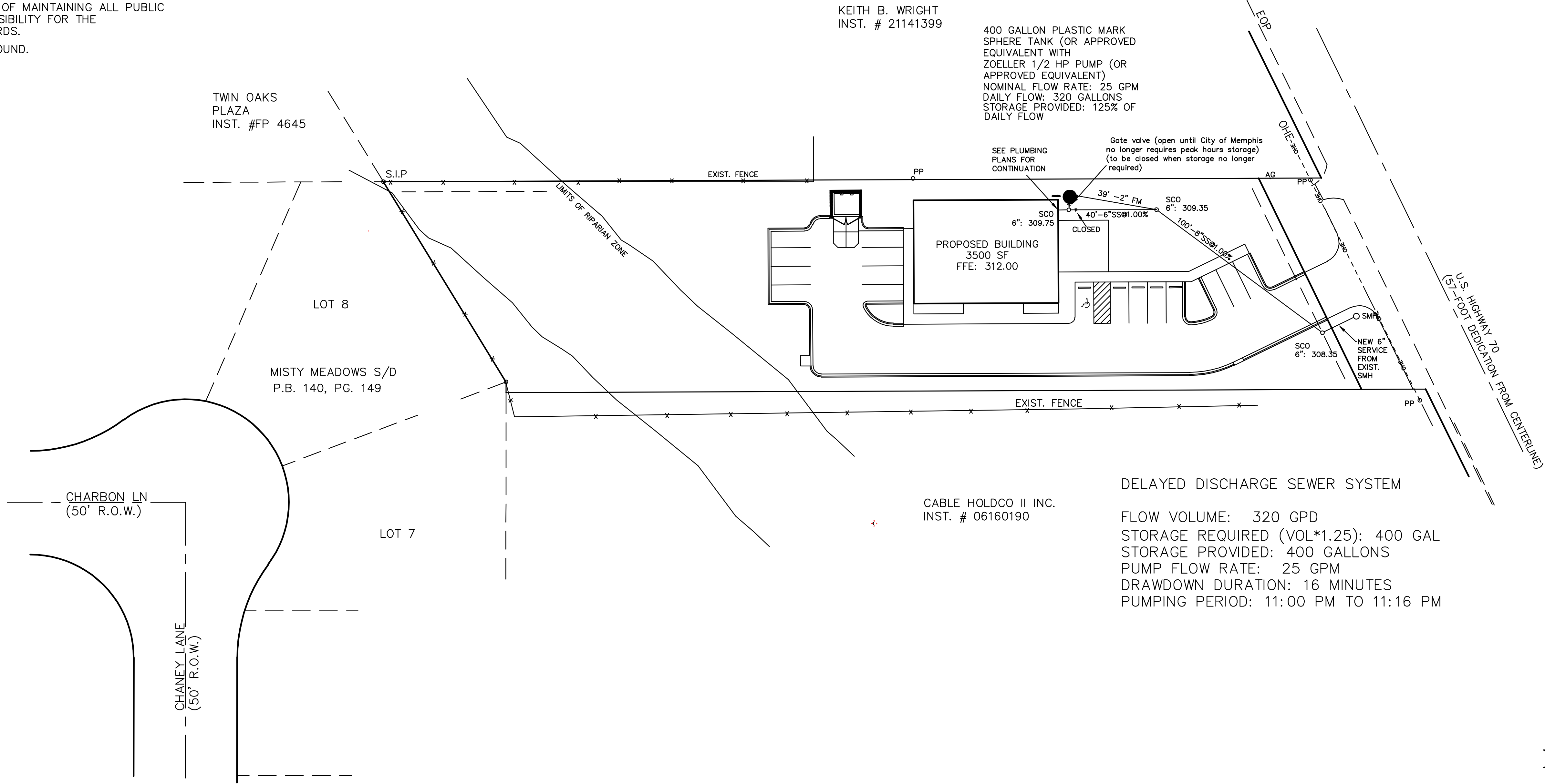
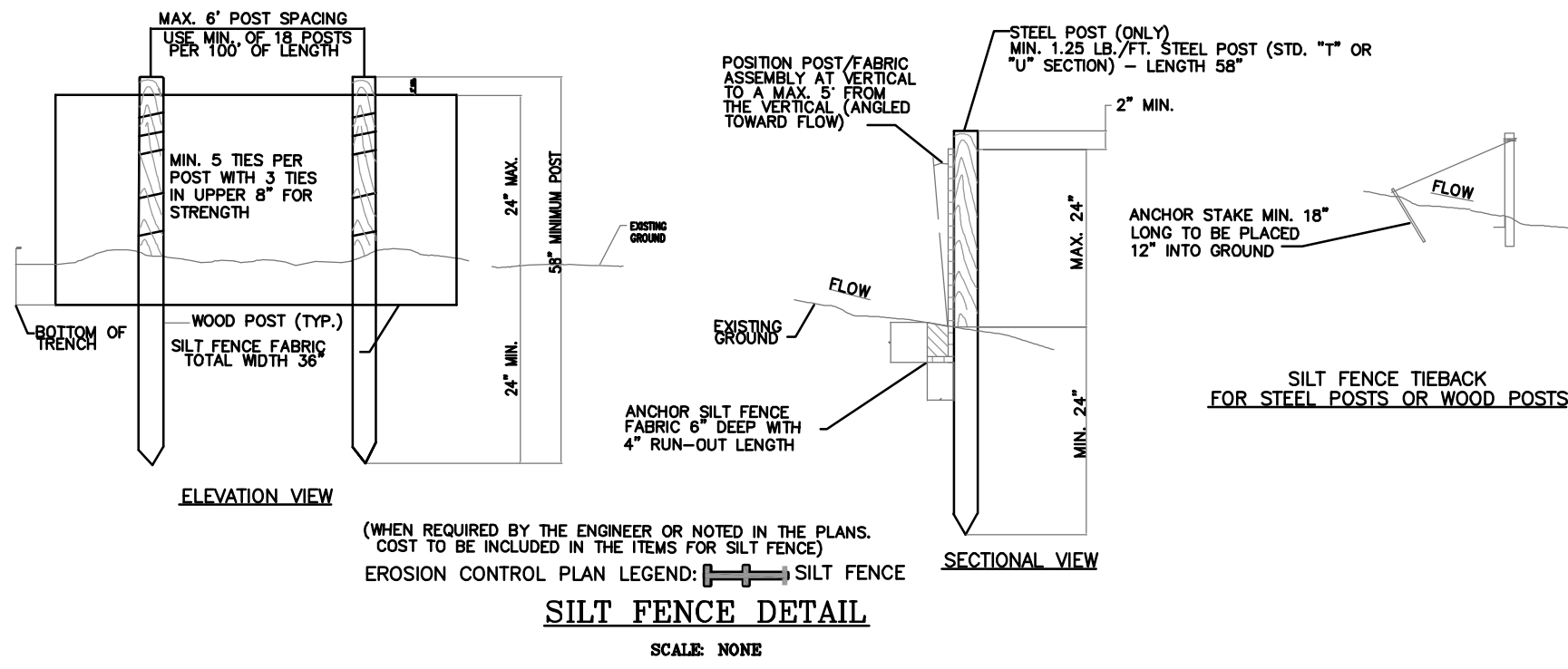
1. SETBACKS
 - A. MIN. FRONT- 60 FEET
 - B. MIN SIDE YARD- NONE
 - C. MIN. REAR- 20 FEET
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PROPOSED USE:	RETAIL
SITE AREA:	0.98 ACRES
BUILDING SIZE:	3500 S.F. STORE
FAR:	0.08
REQUIRED GREENSPACE:	35%
PROVIDED GREENSPACE:	59%
PARKING REQUIRED:	12 SPACES
PARKING PROVIDED:	16 SPACES (1 ADA)

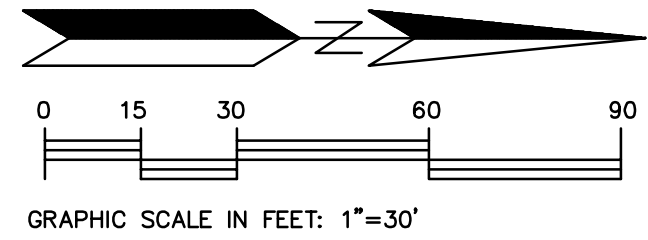
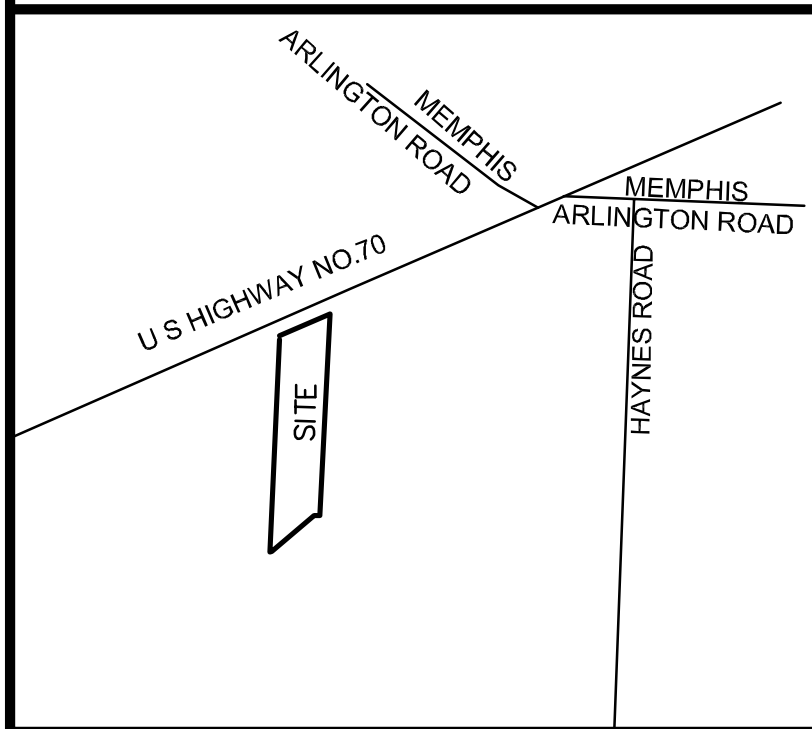


NOTES :

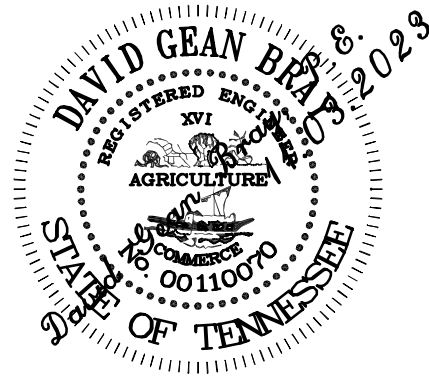
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VICINITY MAP n.t.s.



REVISIONS		
ITEM NO.	DESCRIPTION OF CHANGE	DATE APPROVED
SHAMALI SUBDIVISION		
DEVELOPER: MARWAN AND HANEEN SHAMALI		
ENGINEER: THE BRAY FIRM		



DIVISION OF ENGINEERING

SANITARY SEWER PLAN

BARTLETT, TENNESSEE

SURVEY: TBF DATE: 12-2022 BOOK: _____

DESIGN: TBF DATE: 11-2023 SCALE 1"=30'

REVIEWED BY _____

CITY ENGINEER _____ DATE _____

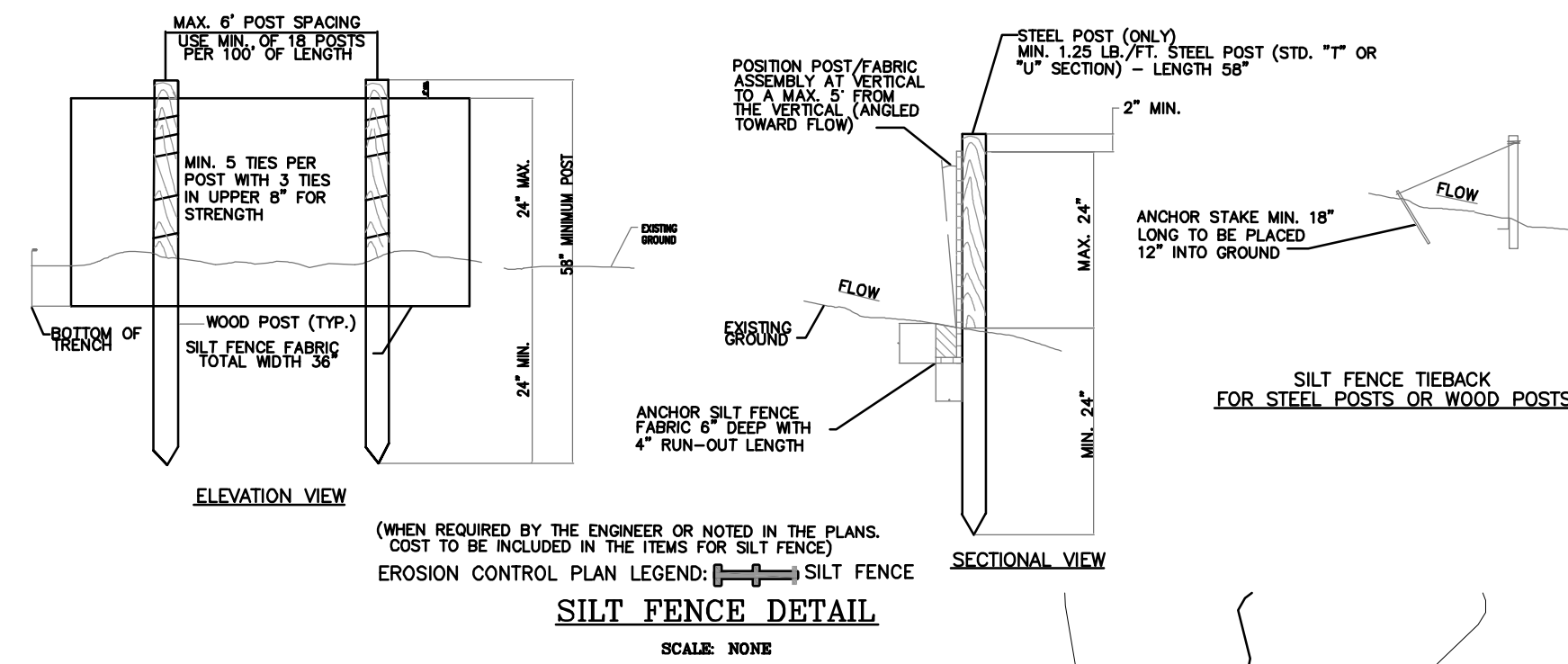
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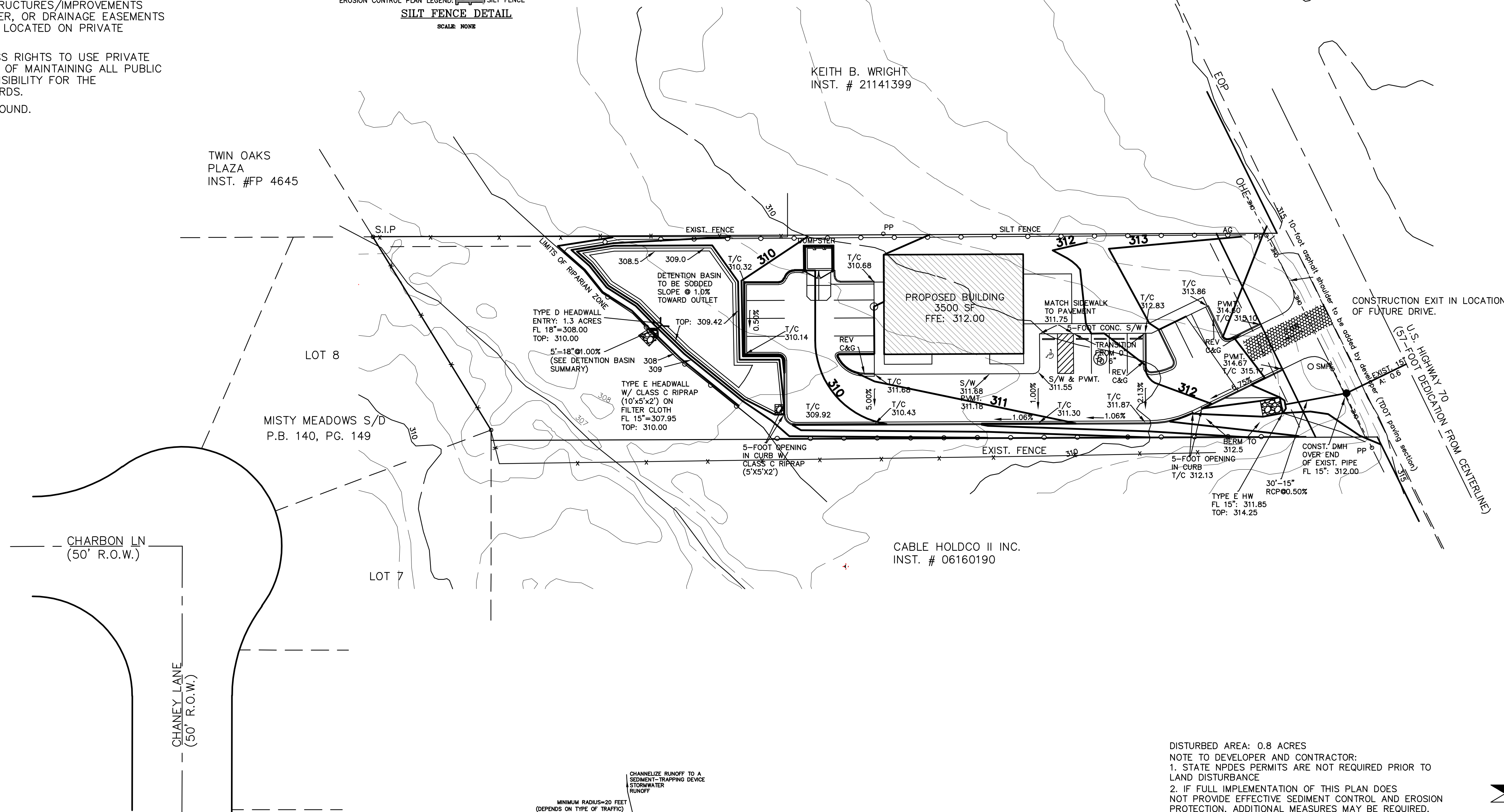
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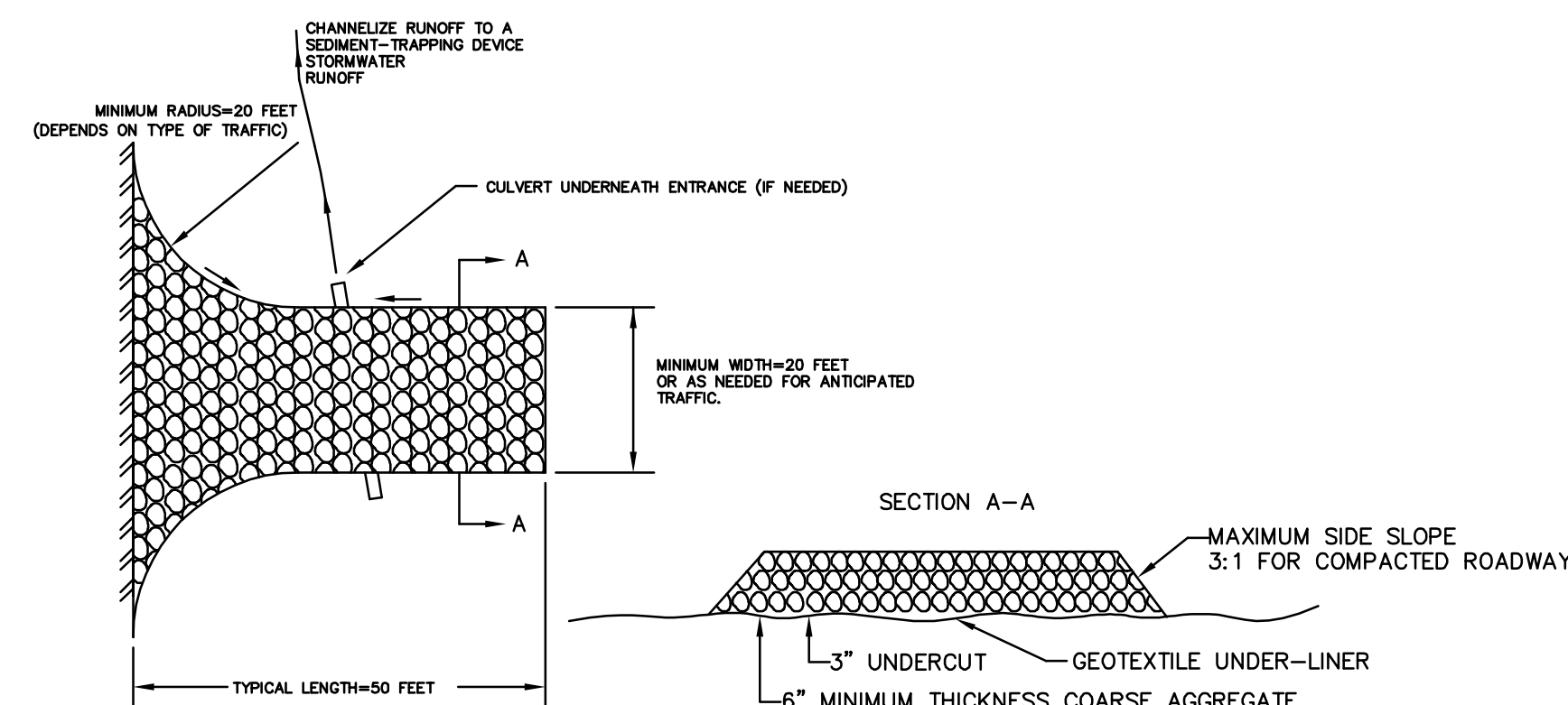
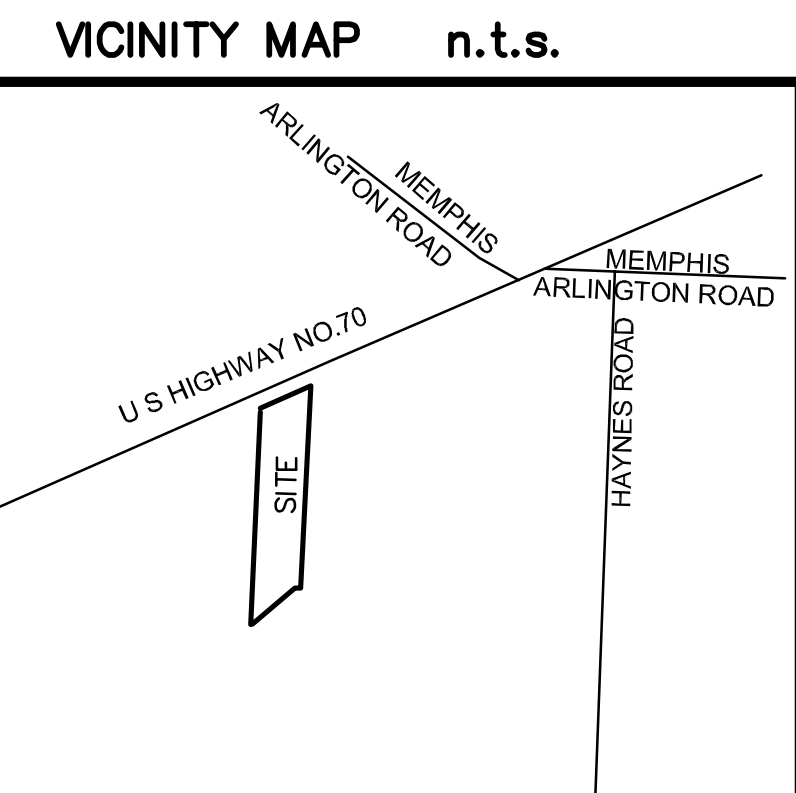
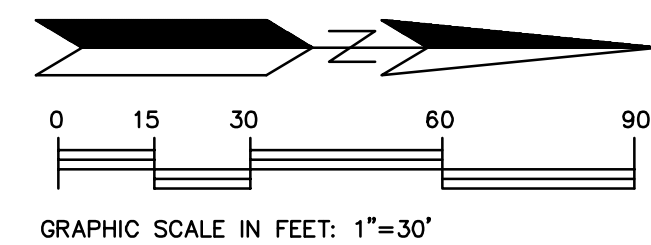


EROSION CONTROL NOTES:

1. EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE AND FUNCTIONAL PRIOR TO COMMENCEMENT OF EARTH MOVING OPERATIONS.
2. ALL EROSION AND SEDIMENT CONTROL MEASURES MUST BE PROPERLY CONSTRUCTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
3. CHECK ALL EROSION AND SEDIMENT CONTROL MEASURES PER TDEC TWICE WEEKLY AT LEAST 72 HOURS APART. DAILY CHECKING IS REQUIRED DURING PROLONGED RAINFALL. MAINTAIN A PERMANENT LOG OF CHECKS AND MAINTENANCE MEASURES.
4. KEEP CONSTRUCTION DEBRIS FROM ENTERING STORM SEWER.
5. PROMPTLY BACKFILL AND STABILIZE TRENCHES AND/OR PITS.
6. DESIGNATE A SPECIFIC INDIVIDUAL (MUST BE TDEC LEVEL 1 CERTIFIED) TO BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROLS AND TO KEEP THE PERMANENT LOG.
7. EROSION CONTROLS ARE NOT LIMITED TO THE SPECIFIED PRACTICES, HOWEVER, ALTERNATIVE MEASURES MUST BE AT LEAST AS EFFECTIVE IN CONTROLLING EROSION AND SEDIMENTATION.
8. ROOT VEGETATION OF EXPOSED GROUND SHOULD BEGIN AS SOON AS CONSTRUCTION IS COMPLETED.
9. INSTALL STAKED AND ENTRENCHED SILT FENCE ALONG THE BASE OF ALL BACKFILLS AND CUTS, ON THE DOWNHILL SIDE OF STOCKPILED SOIL, AND ALONG DITCH BANKS IN CLEARED AREAS TO PREVENT EROSION INTO DITCHES, DO NOT PLACE SILT FENCE IN FLOWING DITCH.



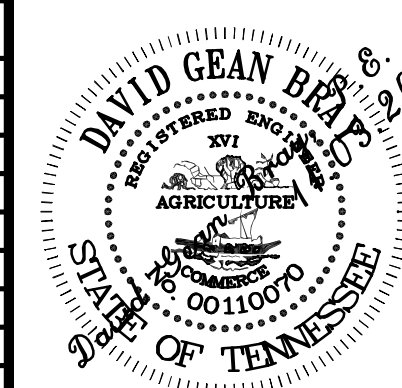
DISTURBED AREA: 0.8 ACRES
NOTE TO DEVELOPER AND CONTRACTOR:
1. STATE NPDES PERMITS ARE NOT REQUIRED PRIOR TO LAND DISTURBANCE
2. IF FULL IMPLEMENTATION OF THIS PLAN DOES NOT PROVIDE EFFECTIVE SEDIMENT CONTROL AND EROSION PROTECTION, ADDITIONAL MEASURES MAY BE REQUIRED.

[illegible]

SHAMALI SUBDIVISION

DEVELOPER: MARWAN AND HANEEN SHAMALI

ENGINEER: THE BRAY FIRM



DIVISION OF ENGINEERING

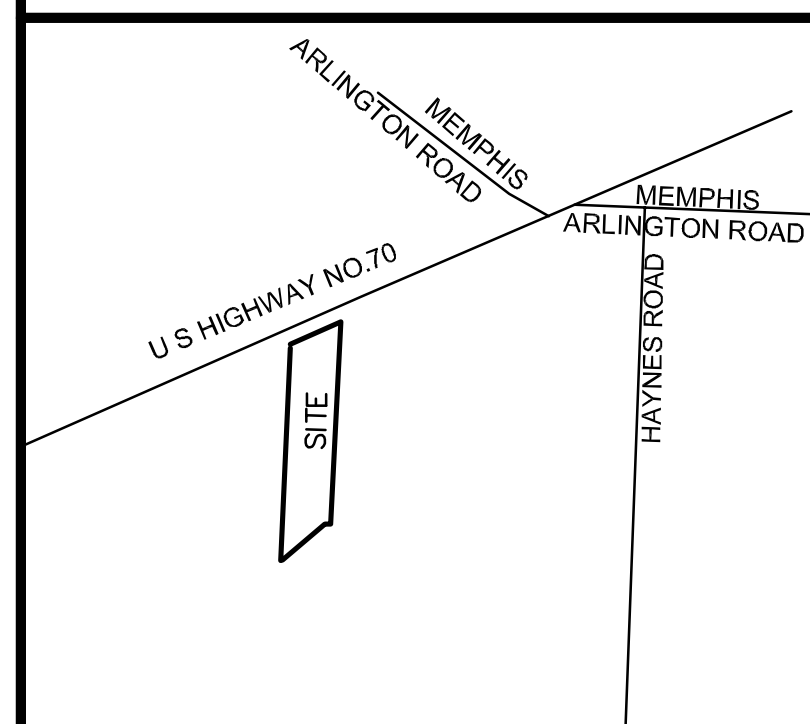
EROSION CONTROL PLAN

BARTLETT, TENNESSEE

SURVEY: TBF DATE: 12-2022 BOOK: _____
DESIGN: TBF DATE: 11-2023 SCALE 1"=30'
REVIEWED BY _____

CITY ENGINEER _____ DATE _____

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ELEV.	STORAGE CUFT	OUTFLOW CFS
308.00	0	0
308.50	624	2.1
309.00	2053	4.4
309.42	3486	6.1

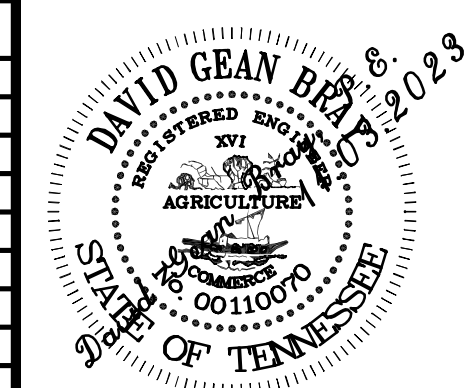
RETURN	ALLOWABLE	ACTUAL		
	FLOW	OUTFLOW	STORAGE	W.S.E.
YRS	CFS	CUF T	CUFT	FT
2	4.4	3.7	1637	308.85
5	5.1	4.2	1955	308.97
10	5.5	4.6	2189	309.04
25	6.3	5.0	2576	309.15
100	7.5	5.8	3213	309.34

[illegible]

SHAMALI SUBDIVISION

DEVELOPER: MARWAN AND HANEEN SHAMALI

ENGINEER: THE BRAY FIRM



GRAPHIC SCALE IN FEET: 1"=30'

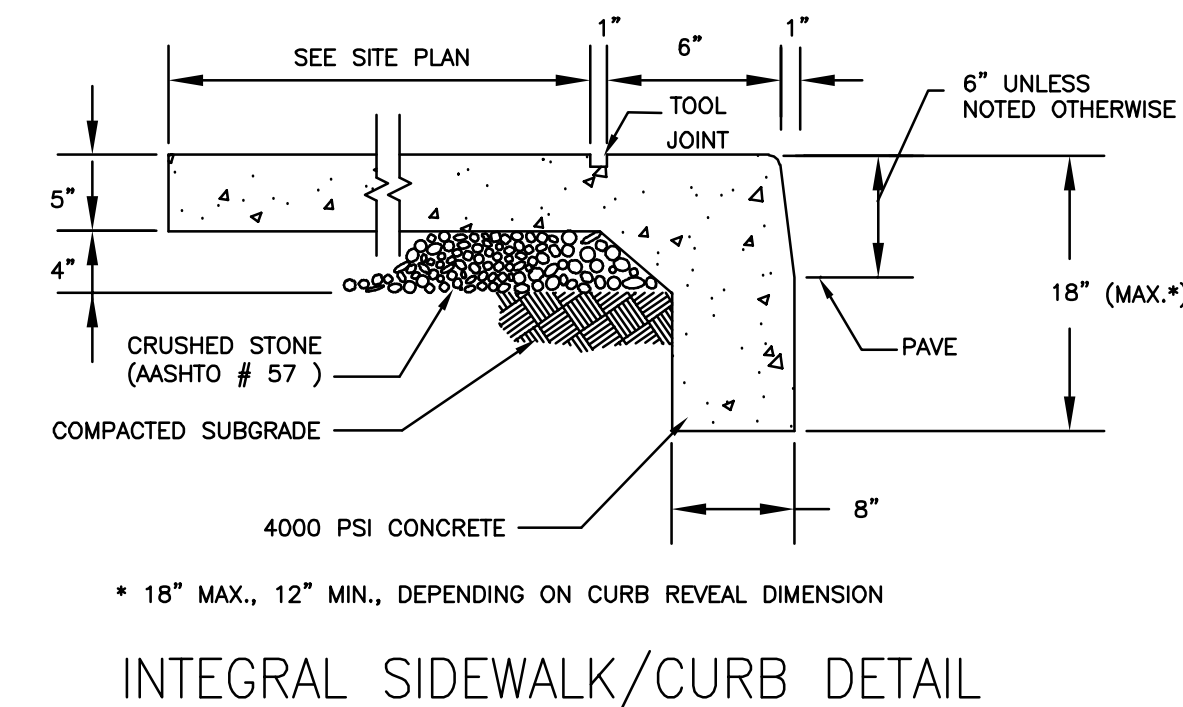
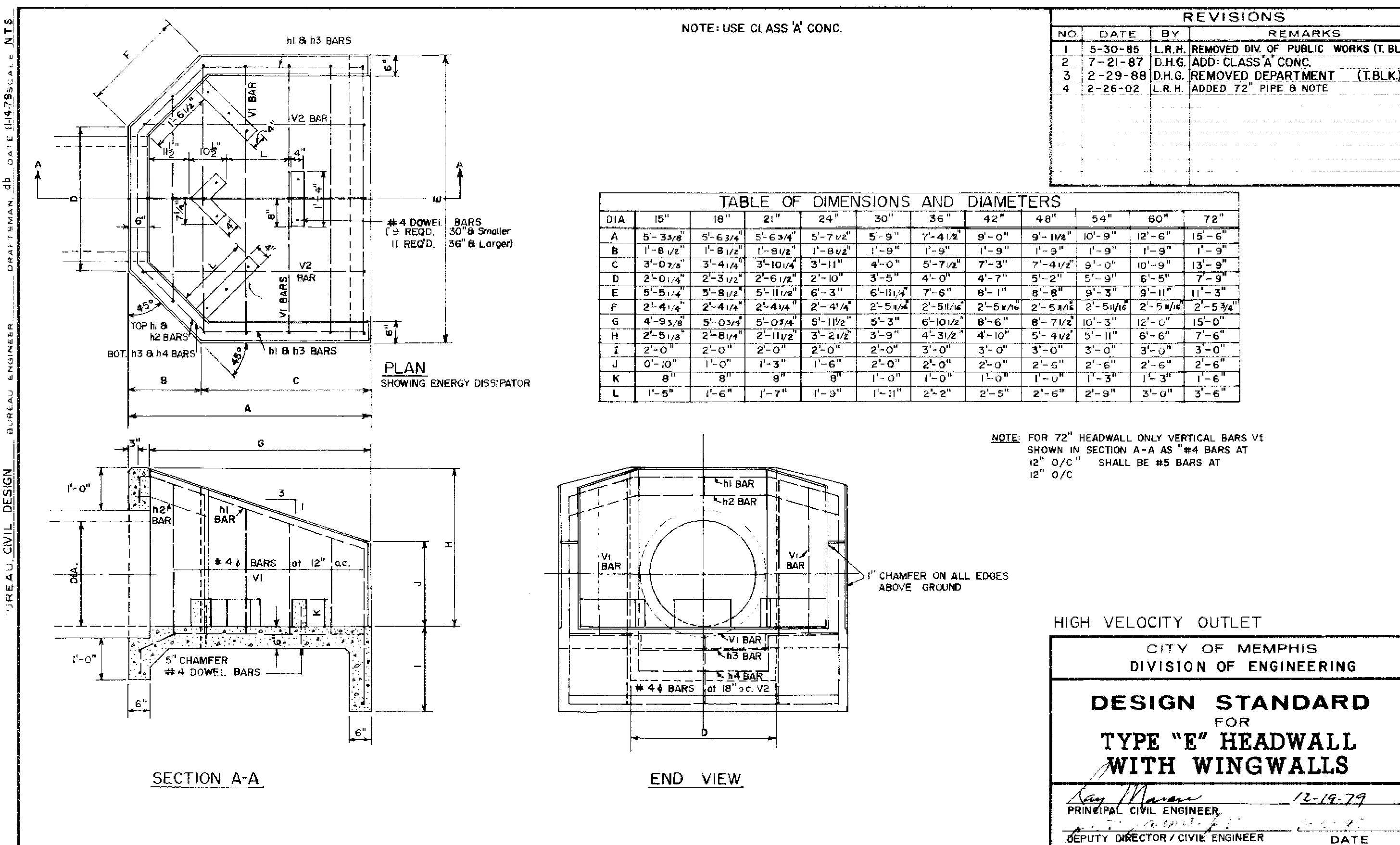
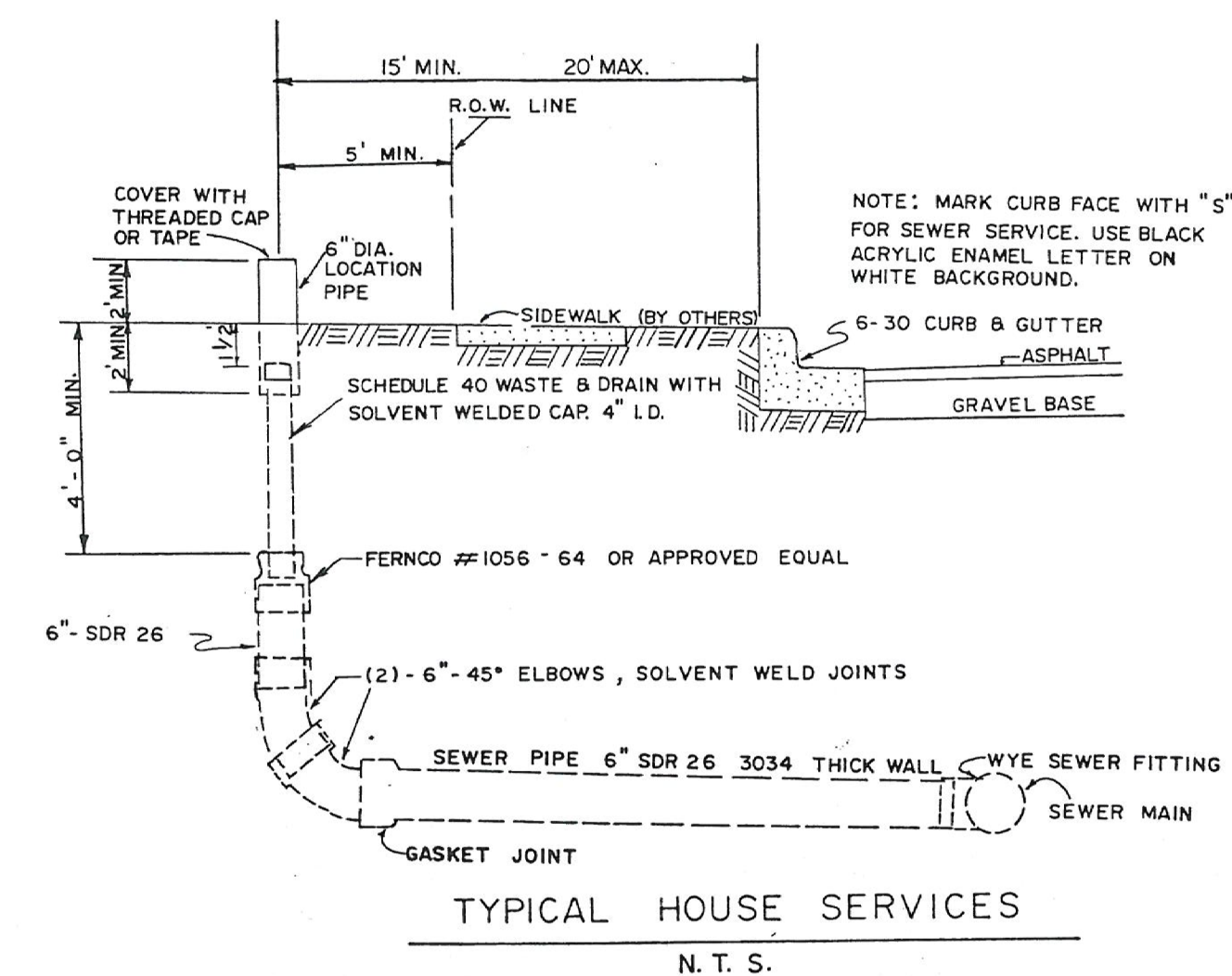
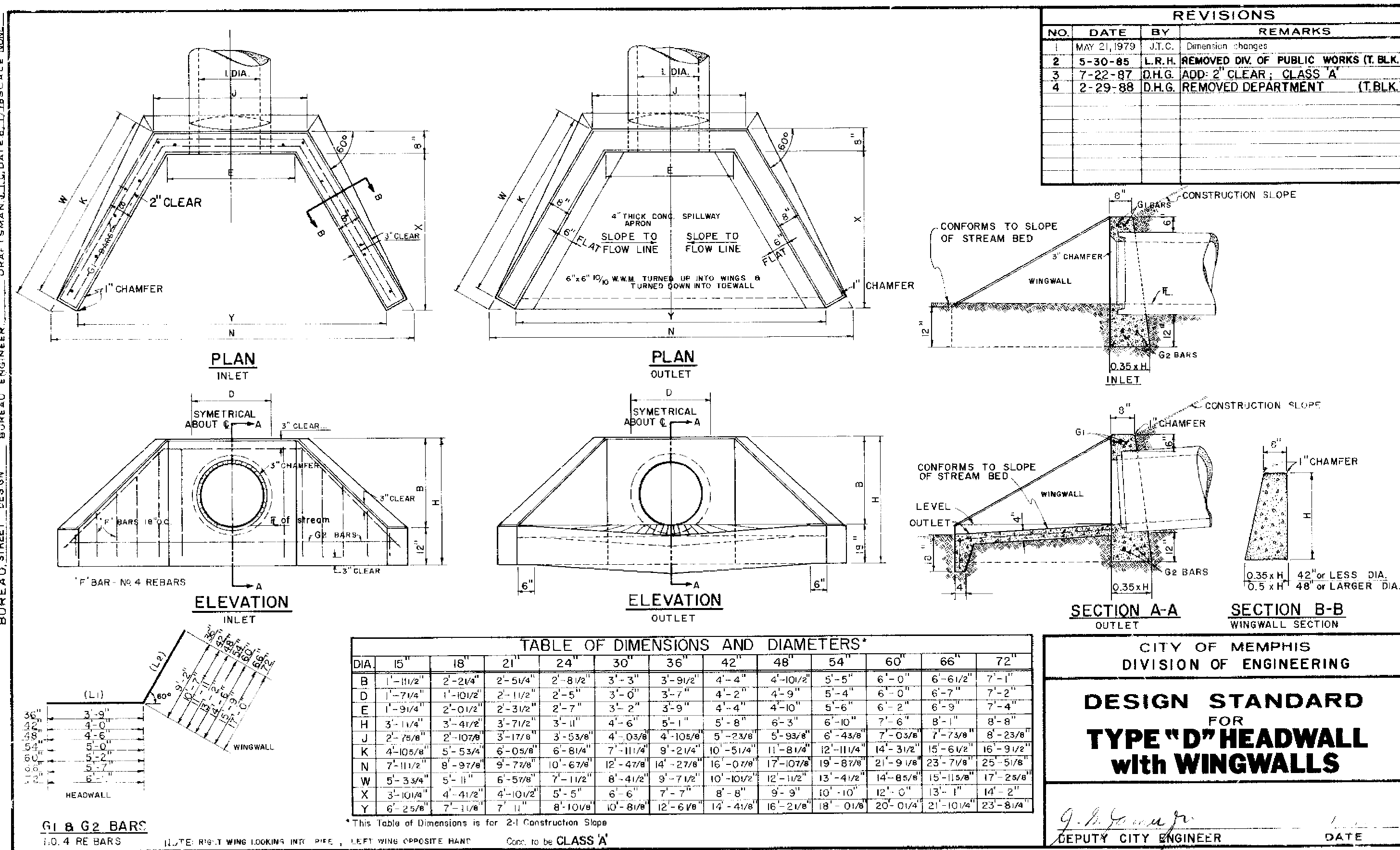
DIVISION OF ENGINEERING

GRADING & DRAINAGE PLAN

BARTLETT, TENNESSEE

SURVEY: TBF DATE: 12-2022 BOOK: _____
DESIGN: TBF DATE: 11-2023 SCALE 1"=30'
REVIEWED BY _____

CITY ENGINEER _____ DATE _____

[illegible]

DIVISION OF ENGINEERING

SITE DETAILS

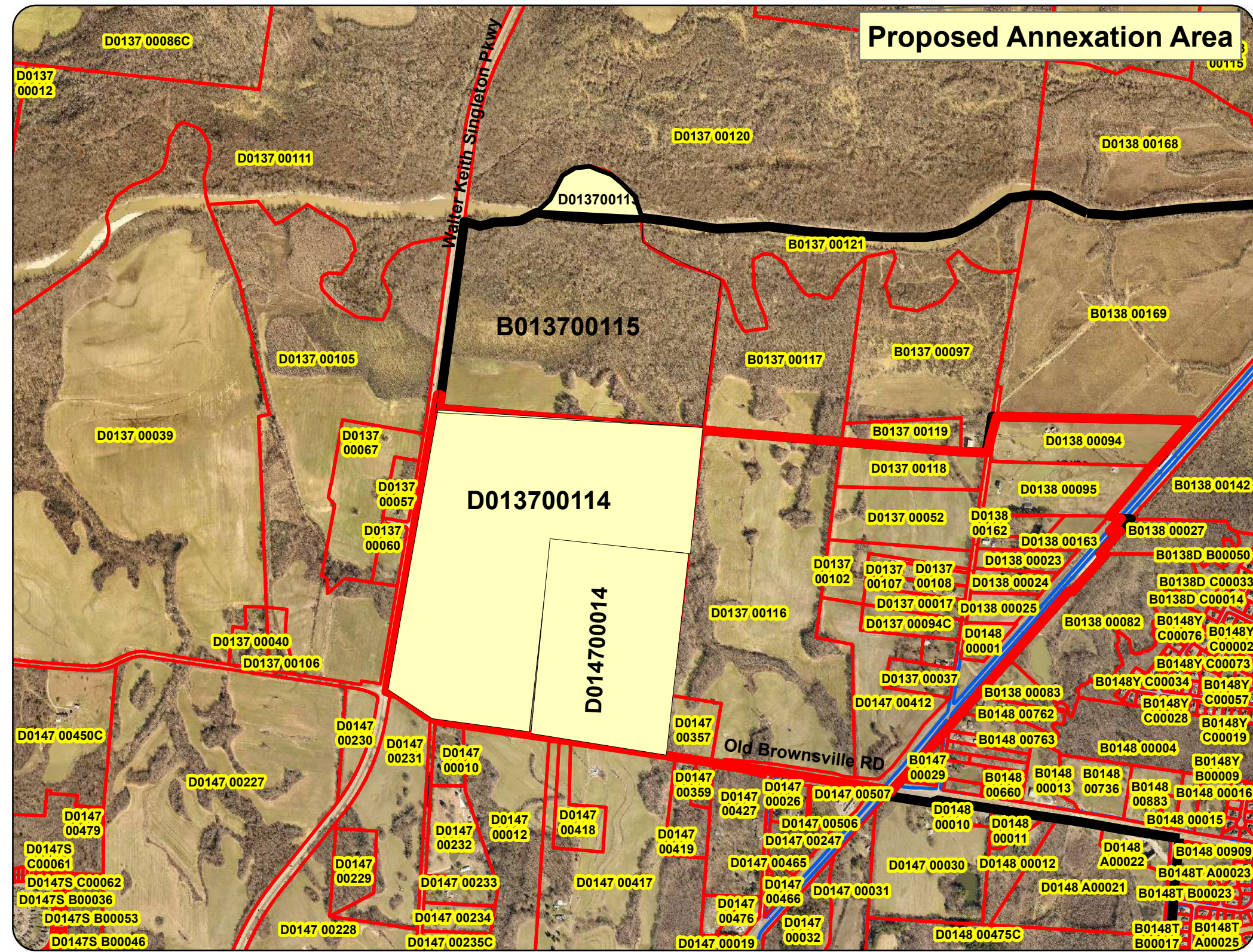
BARTLETT, TENNESSEE

SURVEY: TBF DATE: 12-2022 BOOK: _____
DESIGN: TBF DATE: 11-2023 SCALE: NONE

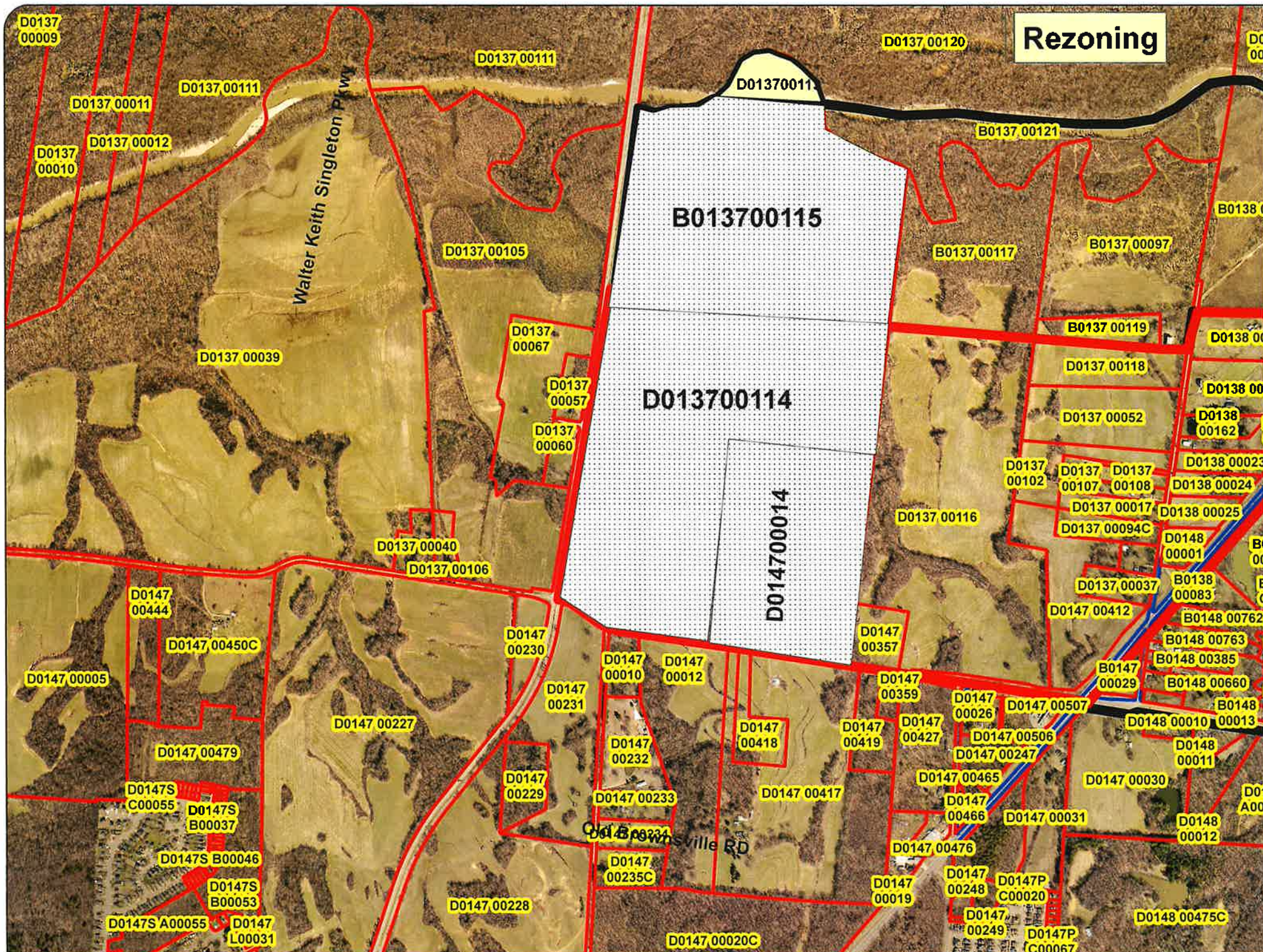
REVIEWED BY

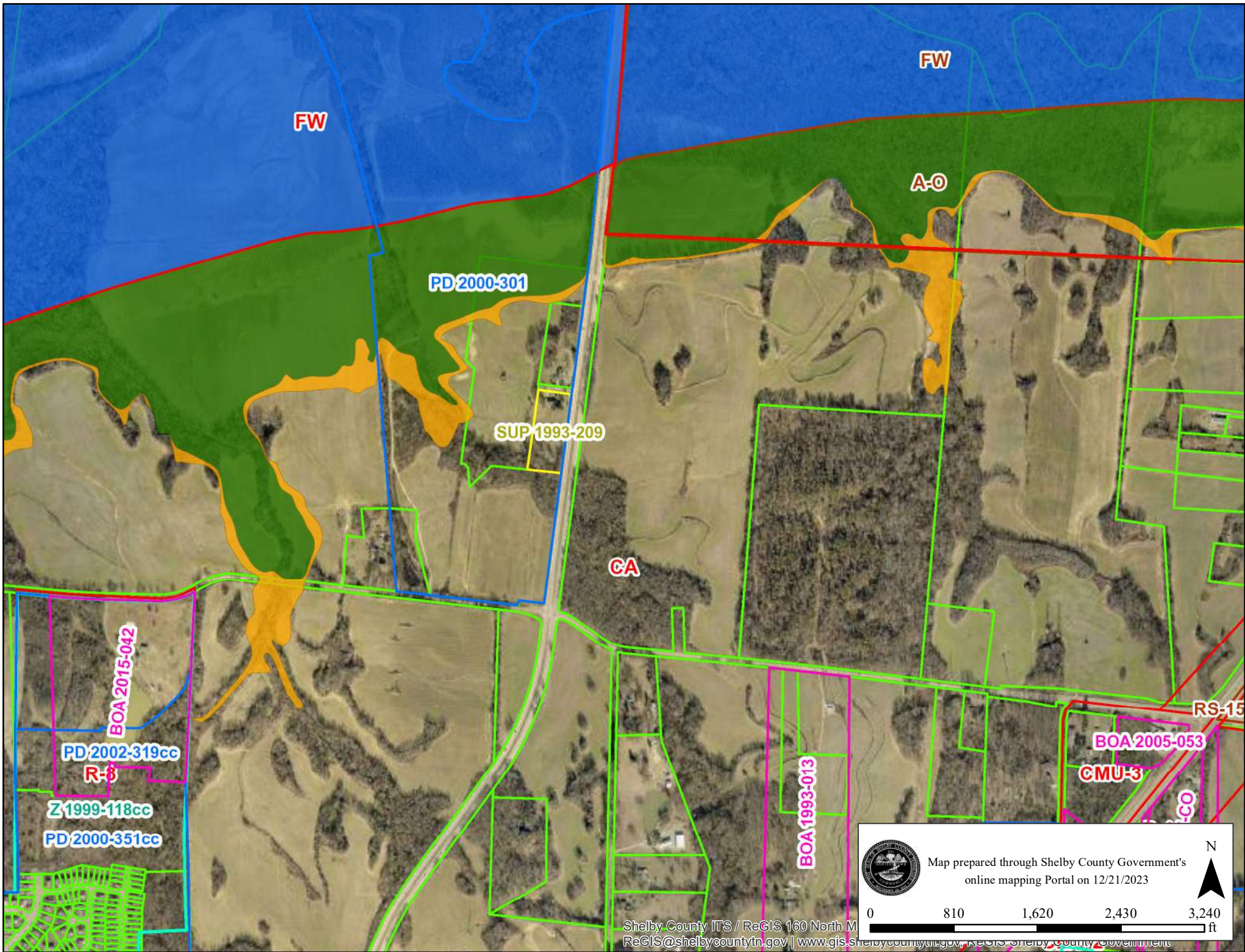
CITY ENGINEER _____ DATE _____

Proposed Annexation Area

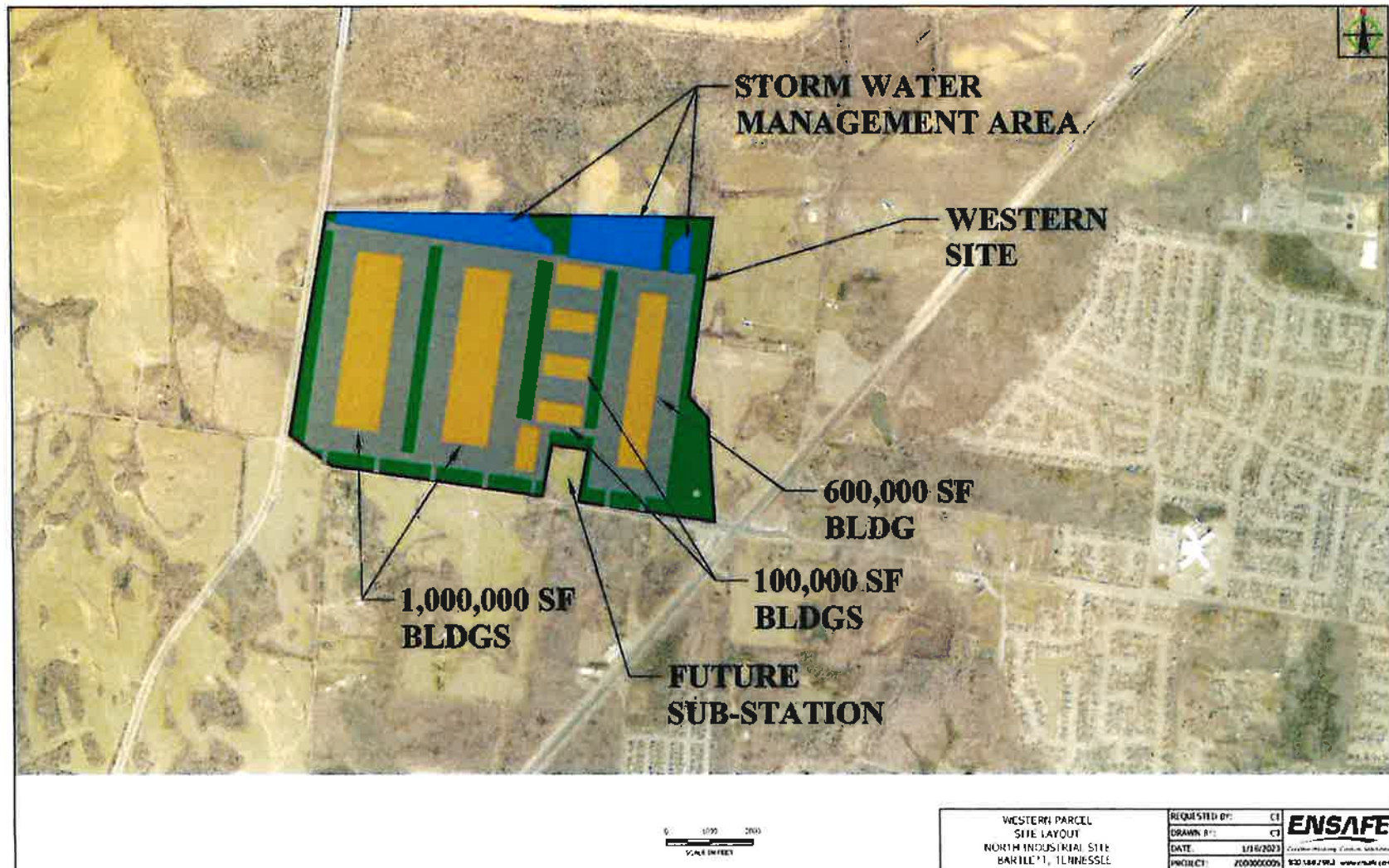


Rezoning





City of Bartlett's Potential Land Use – Western Site



ANNEXATION PETITION AND LETTER OF CONSENT

PARCEL ID: D013700114 & D013700113
ACRES: 153.354,6.8, totaling 160.154
ADDRESS: 0 Bolen Huse Road & 0 Loosahatchie River
TAX MAP PAGE: 73

TO THE CITY OF BARTLETT, TENNESSEE:

We, all of the owners of the above-described property, request that the City of Bartlett extend its current corporate limits by the annexation of territory adjoining to the City of Bartlett's existing boundaries and located in the Bartlett Reserve Area which includes the above-described property, and, pursuant to the provisions of Tenn. Code Ann. § 6-51-104, by our signatures below, we consent in writing to said annexation. We, the owners, shall not be responsible for any costs of annexation, but shall be obligated to compensate any attorneys or other professionals hired by us in our discretion.

This Letter of Consent is contingent on the City of Bartlett executing a Real Estate Purchase Option Agreement concurrent with the execution of this Letter of Consent.

Respectfully submitted,

Property Owners:



Hulon O. Warlick, IV

Frank H. Warlick

David M. Warlick

Daniel J. Warlick

Katharine W. Martin, by Carey Leviss as POA

Frances W. Leake

Ann Dunlap Warlick Revocable Living Trust U/D/T
dated April 7, 1993

By: _____
Ann Dunlap Warlick, Trustee

ANNEXATION PETITION AND LETTER OF CONSENT

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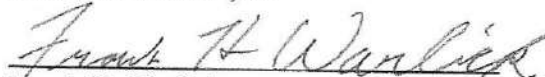
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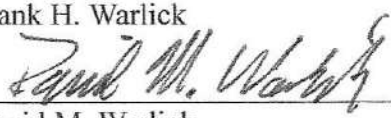
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Daniel J. Warlick

[Signature] 12/14/2023

Katharine W. Martin, by Carey Leviss as POA

Frances W. Leake

Ann Dunlap Warlick Revocable Living Trust U/D/T
dated April 7, 1993

By: *[Signature]*
Ann Dunlap Warlick, Trustee

12/14/2023

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David M. Warlick

Daniel J. Warlick

Carey Leviss POA Katharine W. Martin

Katharine W. Martin, by Carey Leviss as POA

12/14/2023

Frances W. Leake

Ann Dunlap Warlick Revocable Living Trust U/D/T
dated April 7, 1993

By: _____
Ann Dunlap Warlick, Trustee

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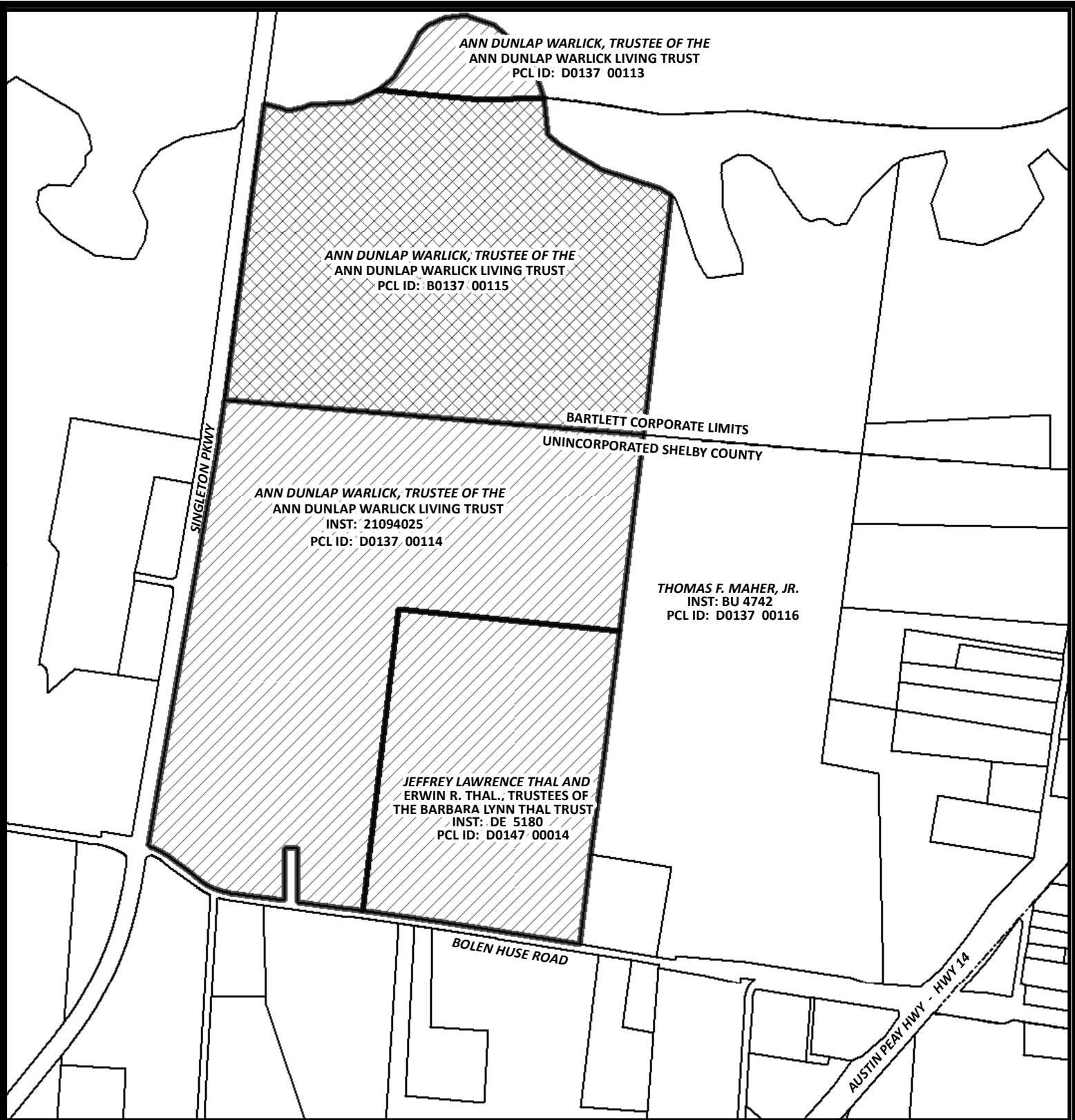
Daniel J. Warlick

Katharine W. Martin, by Carey Levis as POA

Frances W. Leake
Frances W. Leake

Ann Dunlap Warlick Revocable Living Trust U/D/T
dated April 7, 1993

By: _____
Ann Dunlap Warlick, Trustee



ANNEXATION AREA

KNOWN AS PARCEL NUMBER D0137 00114 AS SHOWN ON TAX MAP NUMBER 73 IN THE SHELBY COUNTY TAX ASSESSORS OFFICE AND BEING A PARCEL OF LAND CONVEYED TO ANN DUNLAP WARLICK, TRUSTEE OF THE ANN DUNLAP WARLICK LIVING TRUST BY DEED RECORDED IN INSTRUMENT 21094025 IN THE SHELBY COUNTY REGISTER OF DEEDS OFFICE.

BARTLETT ANNEXATION EXHIBIT		
ANN DUNLAP WARLICK, TRUSTEE OF THE ANN		
DUNLAP WARLICK LIVING TRUST		
PCL ID: D0137 00114, B0137 00115, D0137 00113, D0147 00014		
CITY OF BARTLETT, SHELBY COUNTY, TENNESSEE		
SCALE: 1" = 700'	DRAWING FILE: EXHIBIT	JOB No. BARTLETT
DATE: 9/29/2023	DRAWN BY: JSL	SHEET 1 OF 1

RESOLUTION 01-24

A Resolution to Annex Certain Territory Upon Written Consent of the Owners and to Incorporate the Same within the Boundaries of the City of Bartlett Tennessee.

The Ann Dunlap Warlick, Trustee of the Ann Dunlap Warlick Living Trust Property.

Known as Parcel IDs: D013700114, and D013700113 as shown on the Tax Map Number 73 in the Shelby County Tax Assessors office and being a parcel of land conveyed to The Ann Dunlap Warlick, Trustee of the Ann Dunlap Warlick Living Trust Property by deed recorded in instrument 21094025 in the Shelby County Register of Deeds Office.

WHEREAS, the City of Bartlett, having been petitioned by interested persons, proposes the extension of its corporate limits by the annexation of certain territory adjoining its existing boundaries and within its urban growth boundaries by owner consent; and

WHEREAS, the owners of all property within the territory proposed for the annexation have given their written consent by notarized petition so that a referendum is not required; and

WHEREAS, a copy of this resolution, describing the territory proposed for annexation, was promptly sent by the City of Bartlett to the last known address listed in the office of the property assessor for each property owner of record within the territory proposed for annexation, with such being sent by first class mail and mailed no later than fourteen (14) calendar days prior to the scheduled date of the hearing on the proposed annexation by owner consent; and

WHEREAS, this resolution was also published by posting copies of it in at least three (3) public places in the territory proposed for annexation and in a like number of public places in the City of Bartlett, and by publishing notice of the resolution at or about the same time in the Bartlett Express, a newspaper of general circulation in such territory and the City of Bartlett; and

WHEREAS, a plan of services for the area proposed for annexation is attached as *Exhibit A* hereto, which plan of services addresses the same services and timing of services as required in Tennessee Code Annotated § 6-51-102; and

WHEREAS, the proposed annexation and plan of services were submitted to the Bartlett Planning Commission for study, and it has recommended the same; and

WHEREAS, notice of the time, place and purpose of a public hearing on the proposed annexation and the plan of services was published in a newspaper of general circulation in the City of Bartlett not less than fifteen (15) days before the hearing, which notice included the locations of a minimum of three (3) copies of the plan of services for public inspection during all business hours from the date of notice until the public hearing; and

WHEREAS, a public hearing on the proposed annexation and plan of services was held by the governing body on February 13, 2024.

NOW, THEREFORE, BE IT RESOLVED by the City of Bartlett Tennessee as follows:

- A. That the following territory is hereby annexed and incorporated into boundaries of the City of Bartlett, to be effective as of February 13, 2024, to wit:

Known as Parcel ID: D013700114 as shown on the Tax Map Number 73 in the Shelby County Tax Assessors office and being a parcel of land conveyed to The Ann Dunlap Warlick, Trustee of the Ann Dunlap Warlick Living Trust Property by deed recorded in instrument 21094025 in the Shelby County Register of Deeds Office.

- B. That the plan of services for this territory which is attached as *Exhibit A* hereto is approved and the same is hereby adopted.
- C. That the Mayor shall cause a copy of this resolution, as well as the adopted plan or services, to be forwarded to the Mayor of Shelby County.
- D. That a signed copy of this resolution shall be recorded with the Shelby County Register of Deeds, and a copy shall also be sent to the Tennessee Comptroller of the Treasury and the Shelby County Assessor of Property.
- E. That a signed copy of this resolution, as well as the portion of the plan of services related to emergency services and a detailed map of the annexed area, shall be sent to any affected emergency communication district.
- F. That a revised map of the voting precincts shall be sent to the office of local government and to the office of management information services for the Tennessee General Assembly, following adoption of this resolution.
- G. That the Tennessee Department of Revenue shall be notified, for the purpose of tax administration, that the annexation took place.

WHEREUPON, the Mayor declared the Resolution adopted, affixed a signature and the date thereto, and directed that the same be recorded.

Harold Brad King, Register to the
Board of Mayor and Aldermen

David Parsons, Mayor

Attest: _____
Penny Medlock, City Clerk

RESOLUTION 02-24

A Resolution Calling for a Public Hearing on the Proposed Annexation of Territory in to the City of Bartlett, Tennessee by Owner Consent and Approving a Plan of Services.

The Ann Dunlap Warlick, Trustee of the Ann Dunlap Warlick Living Trust Property.

Known as Parcel IDs: D013700113 and D013700114 as shown on the Tax Map Number 73 in the Shelby County Tax Assessors office and being a parcel of land conveyed to The Ann Dunlap Warlick, Trustee of the Ann Dunlap Warlick Living Trust Property by deed recorded in instrument 21094025 in the Shelby County Register of Deeds Office.

WHEREAS, the City of Bartlett, having been petitioned by interested persons proposes the extension of its corporate limits by the annexation of certain territory adjoining its existing boundaries and within its urban growth boundaries by owner consent; and

WHEREAS, a plan of services for the territory proposed for annexation by owner consent has been reviewed by the City of Bartlett Planning Commission; and **WHEREAS**, the governing body desires to conduct a public hearing on the proposed annexation and plan of services;

NOW THEREFORE BE IT RESOLVED by the City of Bartlett Tennessee as follows:

- A. That a public hearing is hereby scheduled for 6:00 pm on February 13, 2023 at Bartlett City Hall Council Chambers, on the proposed annexation of territory by owner consent, and Plan of Services, to wit:

Known as Parcel IDs: D013700113 and D013700114 as shown on the Tax Map Number 73 in the Shelby County Tax Assessors office and being a parcel of land conveyed to The Ann Dunlap Warlick, Trustee of the Ann Dunlap Warlick Living Trust Property by deed recorded in instrument 21094025 in the Shelby County Register of Deeds Office.

- B. That a copy of this resolution, describing the territory proposed for annexation by owner consent, along with the plan of services, shall be promptly sent to the last known address listed in the office of the county property assessor for each property owner of record within the territory proposed for annexation, with such being sent by first class mail and mailed no later than fourteen (14) calendar days prior to the scheduled date of the hearing on the proposed annexation.
- C. That a copy of this resolution shall also be published by posting copies of it in at least three (3) public places in the territory proposed for annexation and in a like number of public places in the City of Bartlett, and by publishing notice of the resolution at or about the same time in the Bartlett Express, a newspaper of general circulation in such territory and the City of Bartlett.

- D. That notice of the time, place and purpose of a public hearing on the proposed annexation by owner consent and the plan of services shall be published in a newspaper of general circulation in the City of Bartlett not less than fifteen (15) days before the hearing, which notice included the locations of a minimum of three (3) copies of the plan of services for public inspection during all business hours from the date of notice until the public hearing.

WHEREUPON, the Mayor declared the Resolution adopted, affixed a signature and the date thereto, and directed that the same be recorded.

Harold Brad King, Register to the
Board of Mayor and Aldermen

David Parsons, Mayor

Attest: _____
Penny Medlock, City Clerk

RESOLUTION 03-24

A Resolution to Annex Certain Territory Upon Written Consent of the Owners and to Incorporate the Same within the Boundaries of the City of Bartlett Tennessee.

The Gordon Marshall Property *Known as Parcel ID D013700114 as shown on the Tax Map Number 73 in the Shelby County Tax Assessors office and being a parcel of land conveyed to Gordon D. Marshall by deed recorded in instrument DE5180 in the Shelby County Register of Deeds Office.*

WHEREAS, the City of Bartlett, having been petitioned by interested persons, proposes the extension of its corporate limits by the annexation of certain territory adjoining its existing boundaries and within its urban growth boundaries by owner consent; and

WHEREAS, the owners of all property within the territory proposed for the annexation have given their written consent by notarized petition so that a referendum is not required; and

WHEREAS, a copy of this resolution, describing the territory proposed for annexation, was promptly sent by the City of Bartlett to the last known address listed in the office of the property assessor for each property owner of record within the territory proposed for annexation, with such being sent by first class mail and mailed no later than fourteen (14) calendar days prior to the scheduled date of the hearing on the proposed annexation by owner consent; and

WHEREAS, this resolution was also published by posting copies of it in at least three (3) public places in the territory proposed for annexation and in a like number of public places in the City of Bartlett, and by publishing notice of the resolution at or about the same time in the Bartlett Express, a newspaper of general circulation in such territory and the City of Bartlett; and

WHEREAS, a plan of services for the area proposed for annexation is attached as *Exhibit A* hereto, which plan of services addresses the same services and timing of services as required in Tennessee Code Annotated § 6-51-102; and

WHEREAS, the proposed annexation and plan of services were submitted to the Bartlett Planning Commission for study, and it has recommended the same; and

WHEREAS, notice of the time, place and purpose of a public hearing on the proposed annexation and the plan of services was published in a newspaper of general circulation in the City of Bartlett not less than fifteen (15) days before the hearing, which notice included the locations of a minimum of three (3) copies of the plan of services for public inspection during all business hours from the date of notice until the public hearing; and

WHEREAS, a public hearing on the proposed annexation and plan of services was held by the governing body on February 13, 2024.

NOW, THEREFORE, BE IT RESOLVED by the City of Bartlett Tennessee as follows:

- A. That the following territory is hereby annexed and incorporated into boundaries of the City of Bartlett, to be effective as of February 13, 2024, to wit:

Known as Parcel ID D013700114 as shown on the Tax Map Number 73 in the Shelby County Tax Assessors office and being a parcel of land conveyed to Gordon D. Marshall by deed recorded in instrument DE5180 in the Shelby County Register of Deeds Office.

- B. That the plan of services for this territory which is attached as *Exhibit A* hereto is approved and the same is hereby adopted.
- C. That the Mayor shall cause a copy of this resolution, as well as the adopted plan or services, to be forwarded to the Mayor of Shelby County.
- D. That a signed copy of this resolution shall be recorded with the Shelby County Register of Deeds, and a copy shall also be sent to the Tennessee Comptroller of the Treasury and the Shelby County Assessor of Property.
- E. That a signed copy of this resolution, as well as the portion of the plan of services related to emergency services and a detailed map of the annexed area, shall be sent to any affected emergency communication district.
- F. That a revised map of the voting precincts shall be sent to the office of local government and to the office of management information services for the Tennessee General Assembly, following adoption of this resolution.
- G. That the Tennessee Department of Revenue shall be notified, for the purpose of tax administration, that the annexation took place.

WHEREUPON, the Mayor declared the Resolution adopted, affixed a signature and the date thereto, and directed that the same be recorded.

Harold Brad King, Register to the
Board of Mayor and Aldermen

David Parsons, Mayor

Attest: _____
Penny Medlock, City Clerk

RESOLUTION 04-24

A Resolution Calling for a Public Hearing on the Proposed Annexation of Territory in to the City of Bartlett, Tennessee by Owner Consent and Approving a Plan of Services.

The Gordon Marshall Property

Known as Parcel ID D013700114 as shown on the Tax Map Number 73 in the Shelby County Tax Assessors office and being a parcel of land conveyed to Gordon D. Marshall by deed recorded in instrument DE5180 in the Shelby County Register of Deeds Office.

WHEREAS, the City of Bartlett, having been petitioned by interested persons proposes the extension of its corporate limits by the annexation of certain territory adjoining its existing boundaries and within its urban growth boundaries by owner consent; and

WHEREAS, a plan of services for the territory proposed for annexation by owner consent has been reviewed by the City of Bartlett Planning Commission; and **WHEREAS**, the governing body desires to conduct a public hearing on the proposed annexation and plan of services;

NOW THEREFORE BE IT RESOLVED by the City of Bartlett Tennessee as follows:

- A. That a public hearing is hereby scheduled for 6:00 pm on February 13, 2024 at Bartlett City Hall Council Chambers, on the proposed annexation of territory by owner consent, and Plan of Services, to wit:

Known as Parcel ID D013700114 as shown on the Tax Map Number 73 in the Shelby County Tax Assessors office and being a parcel of land conveyed to Gordon D. Marshall by deed recorded in instrument DE5180 in the Shelby County Register of Deeds Office.

- B. That a copy of this resolution, describing the territory proposed for annexation by owner consent, along with the plan of services, shall be promptly sent to the last known address listed in the office of the county property assessor for each property owner of record within the territory proposed for annexation, with such being sent by first class mail and mailed no later than fourteen (14) calendar days prior to the scheduled date of the hearing on the proposed annexation.
- C. That a copy of this resolution shall also be published by posting copies of it in at least three (3) public places in the territory proposed for annexation and in a like number of public places in the City of Bartlett, and by publishing notice of the resolution at or about the same time in the Bartlett Express, a newspaper of general circulation in such territory and the City of Bartlett.
- D. That notice of the time, place and purpose of a public hearing on the proposed annexation by owner consent and the plan of services shall be published in a newspaper of general circulation in the City of Bartlett not less than fifteen (15) days

before the hearing, which notice included the locations of a minimum of three (3) copies of the plan of services for public inspection during all business hours from the date of notice until the public hearing.

WHEREUPON, the Mayor declared the Resolution adopted, affixed a signature and the date thereto, and directed that the same be recorded.

Harold Brad King, Register to the
Board of Mayor and Aldermen

David Parsons, Mayor

Attest: _____
Penny Medlock, City Clerk

ORDINANCE 24-01

An Ordinance To Rezone From “CA” Conservation Agriculture To “I-O” Wholesale and Warehouse, and From “A-O” Agricultural and Open Land To “I-O” Wholesale and Warehouse

WHEREAS, the City of Bartlett is initiating this request with owner consent to rezone property described herein from “CA” Conservation Agriculture to “I-O” Wholesale and Warehouse; and from “A-O” Agricultural and Open Land to “I-O” Wholesale and Warehouse.

WHEREAS, a public hearing was held before this body on the 2th day of January 2024, and notice thereof published in *The Bartlett Express*,

NOW, THEREFORE, be it ordained by the Board of Mayor and Aldermen of the City of Bartlett:

SECTION 1. The property described as follows is hereby rezoned from “CA” to “I-O” and from “A-O” to “I-O”.

*Being a description of the Ann Dunlap Warlick, Trustee of the Ann Dunlap Warlick Living Trust
Property Parcel IDs: D013700114 and D013700115 as recorded in instrument 21094025 and the
Gordon D. Marshall Property Parcel ID D01470014 as recorded in Instrument DE5180.*

SECTION 2. SEVERABILITY – Should any provision or part of this Ordinance be rendered void or unenforceable by any court of law, statute or other authority, the rest and remainder of this Ordinance shall remain in full force and effect.

SECTION 3. EFFECTIVE DATE – This Ordinance shall be effective from and after its final passage, the public welfare requiring it.

First Reading: January 9, 2024

Second Reading: January 23, 2024

Third Reading: February 13, 2024

Harold Brad King, Register to the
Board of Mayor and Aldermen

David Parsons, Mayor

Attest: _____
Penny Medlock, City Clerk

Exhibit A

ANNEXATION PLAN OF SERVICES

INTRODUCTION

This Plan of Services has been developed for the proposed annexation of ±219.43-acres of land located in the northwestern region of the City of Bartlett's Reserve Areas that is within our designated Urban Growth Boundary. The properties are within the Shelby County unincorporated area and they are zoned "CA" Conservation Agricultural.

The proposed annexation area consists of three parcels of land owned by the Warlick family and Marshal family totaling ±219.43-acres (Parcels ID#s D013700114, D013700113, and D014700014). The City has received official owner approvals from both families consenting to be annexed into the City of Bartlett's municipal jurisdiction.

The purpose of the Plan of Services is to provide Administration with an analysis of the financial impacts involved in an annexation, as well as information useful in incorporating the required public improvements into the City's Capital Improvement Program. The Plan of Services also meets the State's legal requirements regarding municipal annexation of any territory by the City.

In the case of this proposed annexation, understanding that the use of the property will remain agricultural and/or green open space with the intent that in the future (3 to 5 years), an industrial user(s) with large employment numbers will occupy the property. This will be in line with the Tennessee Department of Economic Development mission to bring jobs to our state. Additionally, the goal is to have site ready developable land that is eligible for State and Federal Infrastructure Grants as well as other monies that will support this endeavor.

As the annexation process begins, the properties will be rezoned from the Shelby County zoning designation of "CA" Conservation Agriculture to the City of Bartlett's zoning designation of "I-O" Warehouse and Wholesale district, which allows the largest selection of industrial uses. Based on information provided by the Shelby County Tax Assessor's Office, as long as the use continues as agricultural, or green open space/greenbelt, the property will be assessed taxes based on that current use. Once the property is developed as an industrial use, it will be assessed taxes based on the new industrial use (with a three-year tax rollback caveat).

Costs

Costs of Services: The estimated Plan of Services costs are projected over the next 3-5 years when a user/developer has selected all or some of the parcels. The estimates in this document are based on full build-out.

Sewer Service: The site is to remain as is until such time that a user is identified, or a site development infrastructure grant is available for an industrial user supported by TNECD. However, the estimates for the sewer service extensions are as follows:

- Sewer Infrastructure estimate is approximately \$3 million

Water Service: The City's water service falls within two categories, water consumption and fire protection. The existing water service in this area is adequate for its current use; however, that use will change once a development is proposed. At that time, waterline extensions and tap fees will be covered either by the developer, or possible grant monies. The needed water service improvement cost are estimated as follows:

- Water Infrastructure estimate is approximately \$4 million

Police Services: The City of Bartlett currently has one police officer per 400 residents. This annexation will not generate a need for additional police personnel with the current use. However, there may be a need for an additional station and personnel based on the workforce population generated by the new industrial users.

Fire Protection: Fire protection for this area is currently provided by Shelby County. Fire Station #4 located at 6875 Old Brownsville Road will service the proposed annexed areas.

Garbage Pickup: An industrial or commercial land user will need to obtain a private garbage collection service once the properties are developed.

Grass Cutting: Should grass cutting and weed control be needed within our right-of-ways once improved. The Public Works Department or the Parks Department will provide the needed service. Otherwise, grass cutting will be the responsibility of the industrial or commercial land user for their property.

Street Lighting: The City will be responsible for working with MLGW for the installation of street lights along the public roads as the properties are developed. The estimated cost for the installation of the lights including the poles are as follows:

- The addition of 16 street lights is approximately \$100,000
- Monthly cost of power paid to MLGW is approximately \$240
- If retro fitting existing light poles with LED lights is need, the approximate cost will be \$550.00 per light fixture.

Street and Sidewalks Improvements: The site is to remain as is until such time that a user is identified, or a site development infrastructure grant is available for an industrial user supported by TNECD. However, should the properties be developed within the next 3 to 5 years, street and sidewalk costs are estimated as follows:

- Street and Sidewalk improvements are approximately \$3.2 million

Revenue

Building Permits:

- It is estimated that the building permit fees will be approximately \$4,300.00 based on a 1 million square feet building or development.

State Share Taxes:

- Not applicable, since there are no residences in the proposed annexed areas.

Property Taxes:

- Shelby County Property taxes will continue under the current rate category until such time that the use changes. City of Bartlett property taxes will be assessed as agricultural vacant land until the use changes.

Zoning Recommendation

The proposed annexation area is currently Zoned “CA” Conservation Agriculture in unincorporated Shelby County. The City is proposing to rezone the properties to the “I-O” Warehouse and Wholesale, which allows the largest selection of industrial uses according to the Bartlett Zoning Ordinance Use Chart. Based on the information provided by the Shelby County Tax Assessor’s Office, as long as the use continues as agricultural, or green open space/greenbelt, the property will be assessed taxes based on that current use. Once the property is developed as an industrial use, it will be assessed taxes based on the new industrial use (with a three-year tax rollback caveat). The annexation by property owner consent, and the rezoning of the property will be reviewed by the Planning Commission for a recommendation to the Board of Mayor and Aldermen for Final approval based on the future intended use of the property.

Summary

This Plan of Services was undertaken due to the “Property Owners Consent” to be annexed into the City of Bartlett’s municipal jurisdiction. Based on the 2014 amended Tennessee Codes Annotated regulations relative to annexations, properties that are used for agricultural purposes may be annexed whether or not they are contiguous with the City’s jurisdictional boundaries as long as the annexation is by property owners consent, and the future intended use of the subject properties are for industrial, commercial, or residential land uses. At this time, the City anticipates an industrial user for the proposed annexed properties. The City also plans to rezone the property to an industrial zoning designation, from Shelby County’s zoning designation of “CA” Conservation Agricultural to the City of Bartlett’s zoning designation of “I-O” Warehouse and Wholesale. There is a portion of a parcel (B013700115) that is between the Loosahatchie river floodway and the proposed annexation parcels that is already within the City of Bartlett’s jurisdiction, which will be rezoned from “A-O” Agricultural and Open Land to “I-O” Warehouse and Wholesale as well.