



City of Bartlett

David Parsons, Mayor

**Municipal Planning Commission
AGENDA
Monday, April 1, 2024 — 6:30 p.m.
Bartlett City Hall Assembly Chamber**

Opening Prayer

****Official Business of the Day****

Minutes of the Monday, March 4, 2024 Meeting

**Continued
Special Use Permit**

1. Christian Life Tabernacle, School Use, 9375 Davies Plantation Road (Roy Lamica, EFI Global)

**NEW BUSINESS
Master Plan**

2. Bah Legacy Square Subdivision, 5905 Stage Road (Dave Watkins, The Reaves Firm, Inc.)

Final Plan

3. Resubdivision of Lots 51 & 52 of Ellendale Highway Subdivision, 7205 & 7215 Andrews Road (David Bray, The Bray Firm)

Site Plan

4. Calhoun Memorial Temple, 8069 Thorne Road (Brenda Walls, M & B Enterprises)

Open Discussion

The public shall be provided an opportunity to address the Board or Commission during an Open Discussion period at the end of each regular and special meeting of the governing body. Prior to the start of the meeting, individuals will be required to complete and present to the Clerk the Open Discussion Citizen form provided at each meeting. The Open Discussion period for regular and special meetings of the Board or Commission shall be limited to twenty (20) minutes. Individuals shall be allowed to speak for up to three (3) minutes each. Open Discussion periods will not be held for any meeting where there are no actionable items on the agenda or meetings where the governing body is conducting a disciplinary hearing for a member of the governing body or a person whose profession or activities fall within the jurisdiction of the governing body.

Adjourn

PLANNING COMMISSION
Tuesday, April 1, 2024 - 6:30 P.M.
Bartlett City Hall Assembly Chamber
Staff Comments

Continued

Special Use Permit

1. Christian Life Tabernacle, School Use, 9375 Davies Plantation Road (Roy Lamica, EFI Global)

INTRODUCTION: Mr. Roy Lamica with EFI Global is requesting Planning Commission approval of a favorable recommendation for a Special Use Permit to allow a private school use with an existing church. The subject property is located at 9375 Davies Plantation Road within the "R-E" Residential Estate Zoning District.

BACKGROUND: On December 4, 2023 the Planning Commission continued the Special Use Permit application review until a traffic study could be obtained.

On August 6, 2012, the Planning Commission approved a Special Use permit to allow a new church at 9375 Davies Plantation. On November 2, 2015, the Planning Commission approved the Site Plan for Christian Life Church with an 18,600 square foot main building and a 1,200 square foot storage building. Surrounding uses include residential single-family homes, museum, and a church.

DISCUSSION: The specific request by the applicant is for Planning Commission's approval of a favorable recommendation to the Board of Mayor and Aldermen for a Special Use Permit (SUP) to allow the church to add a 17,428 square foot school with new playground to the church property. The school was not a part of the original SUP concept plan for Christian Life Church.

The school will start with Pre-K through Third Grade with additional grades to be added in the future. The school plans to open with approximately 30 students expanding as growth occurs. The Church estimates 150 students at its maximum with 20 % of the student body coming from outside Christian Life Church. However, according to the applicant a realistic number of students would be 50-60 students after several years of operation.

Recommendation: Approval with conditions.

Engineering Conditions:

General:

1. A Commercial Site Plan contract may be required and will be prepared by Engineering and submitted to the developer/engineer for review to cover the fees to be paid to the City of Bartlett.
2. Applicant/ Engineer shall provide a **digital set of drawing** files showing the sanitary sewer lines, drainage lines, lot lines and all improvements in AutoCAD format to dhubbard@cityofbartlett.org and ecampbell@cityofbartlett.org for use in the preparation of the Water Design Plan. This plan will be coordinated with the site design engineer to resolve any conflicts.
3. A SWPPP and a TDEC permit may be required and shall be submitted to TDEC and also to the City of Bartlett Engineering office.
4. All new utilities shall be underground.

Plans:

5. A fire suppression system will be required, and must get approved by the City of Bartlett fire Marshall.
6. Detention will require an updated analysis to insure detention is adequate for additional building.
7. All proposed drainage shall be noted as private.
8. Applicant's engineer shall submit the stamped and signed detention calculations for the proposed detention basin and show the 'pre' and the 'post' runoff for the 2, 5, 10, 25-year storms.
9. Plan and profile views will be required for Sewer.
10. No sewer connection shown on the plans for the new building.

The Following Comments are based on the traffic impact study prepared by Pickering firm in March 2024

11. A reasonable growth rate was determined using TDOT's nearest 3 count stations. It was used to estimate future volumes for years 2025-2030.
12. The study covers 3 intersections: Hillman/Davies Plantation, Davies Manor/Davies Plantation, E. Davies Plantation/Canada.
13. The two intersections in Bartlett are currently operating at Level-of-Service (LOS) A at all times of day.
14. The addition of 50 students in 2025 still resulted in LOS A at both intersections in Bartlett. The addition of 150 students (total) in 2030 does drop Davies Manor/Davies Plantation to LOS B in the PM peak. LOS B is acceptable.
15. Davies Plantation/Canada currently operates at LOS C for AM and PM peaks. The additional traffic generated by the school is expected to drop the LOS at this signalized intersection to unacceptable levels. It is recommended that Lakeland retimes the signal, and they may need additional capacity in the future.
16. Parents are expected to park and escort children into the school. They will not have a drop off and pick up line.
 - There should be no traffic backing into Davies Plantation

- Available parking spaces are sufficient for 150 student parents to park at school bell times.
- If the school ever changes to a drop off/pickup line, the school should be required to revise the traffic study and/or provide an acceptable circulation plan so that traffic does not ever back up onto Davies Plantation Road. The church appears to have sufficient space to have a long queue of vehicles on site, utilizing the existing cove on the west side of the school and parking lot for circulation. If traffic ever backs into Davies Plantation, the school should be required to increase capacity (add lanes) so traffic on Davies Plantation is not stopped by the school queue.

17. No other developments were considered for this traffic study, (beyond the average growth rate mentioned above used to estimate future volumes)

- The purpose was to determine the impact to the surrounding transportation system, specifically caused by the addition of a school to the existing church property
- The consultant requested traffic data from Lakeland regarding the development nearby in Lakeland on East Davies Plantation Road. They (Lakeland and that development's engineer) did not believe the impacts to the Davies Manor/Davies Plantation intersection would be great enough to consider in their traffic study. They could not provide any expected turning movement data (at Davies Manor/Davies Plantation or any other intersection in Bartlett) for CL church's consultant to incorporate into the study.
- Rather than make up numbers for another development's traffic impacts, we asked CL church's engineer to base this study only on the impacts that CL church is creating.
- The development in Lakeland's design year is 2029, which is only one year prior to the full expected impact year (2030) of CL church's expansion, so it isn't known at this time if that development will be completed and if their traffic impacts will be known by the horizon year of this study.

Planning Comments:

1. The Planning Department received a couple of letters from Davies Plantation residents who read the traffic study and are against the special use permit for a school use. Each stated that the amount of additional traffic a school use would add to the neighborhood would be detrimental to the community.

Planning Conditions:

1. The owner/applicant shall be present at the meeting in order to make decisions relative to any changes that may be suggested by the Planning Commission.
2. The applicant shall be present at the corresponding Board of Mayor and

Aldermen meetings to make decisions relative to any changes that maybe suggested by the Board of Mayor and Aldermen.

NEW BUSINESS

Master Plan

2. Bah Legacy Square Subdivision, 5905 Stage Road (Dave Watkins, The Reaves Firm, Inc.)

INTRODUCTION: Mr. Dave Watkins with The Reaves Firm is requesting Planning Commission approval of a Master Plan for the Bah Legacy Square Subdivision. The subject property is located at 5905 Stage Road, and it is within the "CG-MS" General Business with a Main Street Overlay Zoning District.

BACKGROUND: The subject property is the current location of the Bah Family Medicine building that was the former location of the Easy Way building. The subject property is not a legal lot of record (created after March 6, 1956) and is less than 4-acres (not exempt from subdivision regulations). In order to make the lot eligible for a building permit, it must be within a Planning Commission approved and legally recorded subdivision.

DISCUSSION: The specific request by the applicant is for the approval of the Master Plan for the Bah Legacy Square Subdivision. The applicant is proposing to subdivide the existing 2.246 acre subject property into two lots. Lot 1 is proposed to be 0.861 acres, and Lot 2 is proposed to be 1.385 acres. Lot 1 is proposed to be the future site of a coffee shop, and Lot 2 will remain as the Bah Family Medicine building. Access to the subdivision will be from existing curb cuts on Stage Road.

Recommendation: Approval with conditions.

Engineering Conditions:

General:

- 1) A Commercial Site Plan contract may be required and will be prepared by Engineering and submitted to the developer/engineer for review to cover the fees to be paid to the City of Bartlett.
- 2) Applicant/ Engineer shall provide a **digital set of drawing** files showing the sanitary sewer lines, drainage lines, lot lines and all improvements in AutoCAD format to dhubbard@cityofbartlett.org and ecampbell@cityofbartlett.org for use in the preparation of the Water Design Plan. This plan will be coordinated with the site design engineer to resolve any conflicts.
- 3) A SWPPP and a TDEC permit may be required and shall be submitted to TDEC and also to the City of Bartlett Engineering office.
- 4) All new utilities shall be underground.

- 5) A detention basin will be required unless detention analysis concludes otherwise.
- 6) Applicant's engineer shall submit the stamped and signed detention calculations for the proposed detention basin and show the 'pre' and the 'post' runoff for the 2, 5, 10, 25-year storms.
- 7) Overhead lines and power poles may need to be relocated to insure clear access across the western corner of site.
- 8) A TDOT permit will be required for any driveway modification for a driveway.
- 9) All utilities must be underground.
- 10) An ingress/egress easement will be required for the existing drive, this shall outline who is responsible for maintenance.
- 11) During construction extra care will be needed to ensure that silt is not tracked out onto stage road.
- 12) Metal post with wire backed fence are required on the proposed silt fence.

Sewer Service:

- 13) The existing sewer located to the south enters a pump station. If additional sewer is directed that way, pump station will be required and a pump may need to be upgraded.
- 14) It might be possible to service sewer from the existing sewer on Stage Road assuming there are no existing utility conflicts. This will require a TDOT permit and must be bored. Previous construction in this area has encountered an electrical volt which may be a conflict.
- 15) The sewer service line for lot 2 crosses multiple lot lines and must be upgraded to an 8" sewer main with manholes within sewer easements
- 16) If any sewer cleanout is located in a paved area, then it shall comply with the detail approved by Bartlett Codes which involve a brass connections and a concrete collar.
- 17) Trace wire must be installed on all sewer lines, including services.

Plans & Plat:

- 18) The existing 3 driveways are under review. The driveways are not correct width or ADA compliant. Most likely, one of these will need to be eliminated due to stage road traffic. This will require a TDOT permit.
- 19) The plat should reflect the 150' stream buffer on lot 2. This existing building on lot 2 is on an existing non-conforming structure. If this building is torn down it may not be build back with in the stream buffer

Planning Conditions:

1. The applicant must obtain Construction Plan, Final Plan, and Site Plan approval from the Planning Commission.
2. The applicant must obtain Site Plan approval from the Design Review Commission.

3. The applicant shall be present at the meeting in order to make decisions relative to any changes that may be suggested by the Planning Commission.

Final Plan

3. Resubdivision of Lots 51 & 52 of Ellendale Highway Subdivision, 7205 & 7215 Andrews Road (David Bray, The Bray Firm)

INTRODUCTION: Mr. David Bray with The Bray Firm is requesting Planning Commission approval of a revised Final Plan for the Resubdivision of Lots 51 and 52 of the Ellendale Highway Subdivision. The subject property is located at 7205 and 7215 Andrews Road, and it is within the "RS-18" Single Family Residential Zoning District.

BACKGROUND: The Ellendale Highway Subdivision was recorded in Plat Book 9, Page 90 in April 1919. The subject property currently occupies the lots identified as Lots 51, 52, and 53 on Block A of the recorded plat. 7205 Andrews Road consists of Lot 51 and part of Lot 52, and 7215 Andrews Road consists of Lot 53 and part of Lot 52.

DISCUSSION: The specific request by the applicant is for the approval of the revised Final Plan for the Resubdivision of Lots 51 and 52 of the Ellendale Highway Subdivision. The applicant would like to reconfigure the lot lines of Lots 51, 52, and 53 to generate an additional lot. Lot 51 will be addressed as 7205 Andrews Road, and it is proposed to be 21,853 square feet. Lot 52 will need to obtain a new address, and it is proposed to be 63,221 square feet. Lot 53 will be addressed as 7215 Andrews Road, and it will be the lot size dimensions as recorded for Lot 53 at 43,560 square feet. Access to the subdivision will be from driveway aprons on Andrews Road.

Recommendation: Approval with conditions.

Engineering Conditions:

General:

- 1) A Residential Site Plan contract may be required and will be prepared by Engineering and submitted to the developer/engineer for review to cover the fees to be paid to the City of Bartlett.
- 2) Applicant/ Engineer shall provide a **digital set of drawing** files showing the sanitary sewer lines, drainage lines, lot lines and all improvements in AutoCAD format to dhubbard@cityofbartlett.org and ecampbell@cityofbartlett.org for use in the preparation of the Water Design Plan. This plan will be coordinated with the site design engineer to resolve any conflicts.
- 3) A SWPPP and a TDEC permit may be required and shall be submitted to TDEC and also to the City of Bartlett Engineering office.
- 4) Erosion control plans will be required as part of the building permit process.

- 5) All new utilities shall be underground.
- 6) Sewer main in the road shall be shown and each lot must have a separate sewer tap shown.
- 7) Water main shall be shown and each lot must have a separate water tap and meter shown.

Planning Conditions:

1. The applicant must obtain a new address number for Lot 52.
2. The applicant shall be present at the meeting in order to make decisions relative to any changes that may be suggested by the Planning Commission.

Site Plan

4. Calhoun Memorial Temple, 8069 Thorne Road (Brenda Walls, M & B Enterprises)

INTRODUCTION: Ms. Brenda Walls with M&B Enterprise, on behalf of Calhoun Memorial Temple is requesting Planning Commission approval of a Site Plan for a new church annex building addition (church help center). The subject property is located at 8069 Thorne Road, and it is within the "RS-15" Single Family Residential Zoning District.

BACKGROUND: The subject property is located within the Dr. W. T. Hortons Subdivision, which was recorded in 1918 utilizing the subdivision rules of that era. Horton Subdivision was annexed by the City of Bartlett in 2004, and the preexisting subdivision lots do not conform to the Bartlett Zoning Ordinance creating the need for variances to remedy the pre-existing conditions of the subdivision. On May 19, 2005, the Board of Zoning Appeals approved 6 variances for Calhoun Memorial Temple main worship center located at 8053 Thorne Road, and the Site Plan was approved by the Planning Commission on September 6, 2005. On October 19, 2023, the Board of Zoning Appeals approved 7 variances for this newly proposed Site Plan. The approved variances included building setbacks, landscape/streetscape widths, and lot size requirements.

DISCUSSION: The specific request by the applicant is for Planning Commission approval of a Site Plan to construct a 3,771 square foot church annex building addition off their existing 728 square foot house that is currently being used as the church annex building (church help center). Currently, the church is utilizing 3 lots at the intersection of Thorne Road and Clarence Road. The lot at the southwest corner houses the sanctuary, the lot at the northwest corner houses the shared parking lot, and the southeast corner will house the proposed church annex building addition (church help center). Access to the site will be from Thorne Road. The site parking lot will have two van accessible handicap

spaces. Additional parking can be utilized at the existing shared parking lot for the main worship center. Other features of the development include a streetscape buffer, a commercial/residential landscape buffer, and a stormwater detention basin. The specifics of the Site Plan are as follows:

Site Data	
Site Area:	0.39 acres/16,988 square feet
Total Required Parking Spaces: (One space per 4 seats in worship center)	30
Total Proposed Parking Spaces:	30
Handicap Accessible:	2 van accessible
Regular:	28
Existing Building Area:	728 square feet
Proposed Building Area:	3,771 square feet
Total Building Area:	4,499 square feet
Greenspace/Open space:	68%
Building Height:	One story

Recommendation: Approval with conditions.

Engineering Conditions:

General:

- 1) A Commercial Site Plan contract may be required and will be prepared by Engineering and submitted to the developer/engineer for review to cover the fees to be paid to the City of Bartlett.
- 2) Applicant/ Engineer shall provide a **digital set of drawing** files showing the sanitary sewer lines, drainage lines, lot lines and all improvements in AutoCAD format to dhubbard@cityofbartlett.org and ecampbell@cityofbartlett.org for use in the preparation of the Water Design Plan, if needed. This plan will be coordinated with the site design engineer to resolve any conflicts.
- 3) A SWPPP and a TDEC permit may be required and shall be submitted to TDEC and also to the City of Bartlett Engineering office.
- 4) All new utilities shall be underground.

Plan:

- 5) A sprinkler system may be required, and must get approved by the City of Bartlett fire Marshall.
- 6) Detention pond is to be maintained by property owner.
- 7) Detention pond outlet structure is to be maintained by property owner, and to be private.
- 8) Show how proposed sewer connects to existing sewer.

Planning Comments:

1. This proposed building addition would serve to provide people with food, shelter, and a place for instruction, community events, and other outreach activities while offsetting the need for additional parking.

Planning Conditions:

1. Onsite trash refuse storage must be screened from public view. The use of a dumpster would require construction of a dumpster enclosure. The location of the dumpster enclosure or cart enclosure shall be shown on the site plan. The enclosures cannot be located within the required building setbacks or landscape buffers.
2. The commercial/residential landscape buffer shall be extended south along the west property line of the neighboring Lot 18.
3. Irrigation and maintenance is required for all planting on the landscape plan.
4. The commercial property owner will be responsible for landscape maintenance of the entire lot and the fences adjacent to the residential neighbors in perpetuity.
5. The applicant shall add a Tree Density Unit Table to the proposed Landscape Plan. The site is required to have 20 Tree Density Units per acre on site.
6. Should the proposed site plan be approved by the Planning Commission, the applicant shall seek site approval from the Design Review Commission for landscaping, lighting, signage and exterior elevations, colors, and materials.
7. The owner/applicant shall identify all utilities on site by contacting Tennessee One Call at 811 before commencing any site work.
8. The owner/applicant shall be present at the meeting in order to make decisions relative to any changes that may be suggested by the Planning Commission.

Bartlett Planning and
Economic Development Department
6382 Stage Road, P.O. Box 341148
Bartlett, TN 38184-1148
901-385-6417 FAX 901-385-6419
www.cityofbartlett.org

Bartlett Planning Commission
Application for Master Subdivision Plan
Approval

Subdivision Name Bah Legacy Square Subdivision No. of Lots 2

Subdivision Location 5905 Stage Rd

Owner/Developer Contact Tim Heeren Phone 316-684-8100

Company Name 7B Memphis, LLC

Fax _____

Address 8100 E. 22nd St. N Bldg 300 Wichita, KS 67226

Email Address bakenkd@gmail.com

Architect Contact Rodger Baker Phone 617-338-8870

Company Name Baker Design Group

Fax _____

Address 15 Walnut St. 4th floor. Wellesley, MA 02481

Email Address rodger@bakerdesigngroup.com

Engineer Contact Dave Watkins Phone 901-761-2016

Company Name The Reaves Firm, Inc.

Fax _____

Address 6800 Poplar Ave Ste. 101, Memphis, TN 38138

Email Address sdw@reavesfirm.com

Submitted by Dave Watkins
(printed name)


(signature)

2-27-24
(date)

Email Address sdw@reavesfirm.com

Phone 901-761-2016

Fax _____

☒ SDW Acknowledge (by initials in the blank to the left) that the "Application Instructions: Planning Commission" were obtained and read prior to submitting this application.

☒ SDW The "Master Subdivision Plan Checklist" has been completed and required all items have been provided. (See reverse page/or attached checklist)

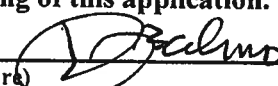
☒ SDW Provide 18-folded ($\pm 10'' \times 13''$) sets of plans with a copy of the signed application attached to each set.

☒ SDW Provide an electronic PDF file of the plans. Note that an updated electronic file is required when plans are revised. The electronic file shall be labeled with the project name and accurately dated.

☒ SDW Include a fee of \$500.00 plus \$20.00 per lot with this application (check payable to the City of Bartlett). **The fee is not refundable.**

I, the property owner(s) hereby authorize the filing of this application.

BAH AND BAH LEGACY HOLDINGS LLC
(print name)


(signature)

2/27/24
(date)

Master Subdivision Plan Checklist

The applicant shall either indicate that the following items have been completed by a check (✓) or that they are not applicable (N/A):

- ☒ Date, north point and scale
- ☒ Location sketch map
- ☒ Boundary survey, showing location of point of beginning, true or grid bearing and length of each line, and area in acres
- ☒ Name and addresses of adjoining owners on gum labels. (one set)

Existing and Proposed:

- ☒ Tree Survey with Tree Table
- ☒ Tree Protection Plan with Tree Table
- ☒ Existing Survey/Conditions Plan
- ☒ Site Plan/Layout of development with areas reserved for detention/retention
- ☒ Grading/Drainage Plan showing all drain manholes, inlets, and drainage areas picked up
- ☒ Contour intervals
- ☒ Streets
- ☒ Structures
- ☒ Water courses
- ☒ Rights-of-way
- ☒ Sewers
- ☐ Bridges
- ☐ Culverts
- ☐ Springs (water)
- ☒ Water mains
- ☒ Easements for drainage, water, sewer, landscape, and signage
- ☒ Utility lines including utility easements along property lines

- ☒ Location and extent of all land subject to flooding

Proposed:

- ☒ Plat with signature blocks and notes
- ☒ Lot or parcel layout plan with dimensions and area
- ☒ Street rights-of-way
- ☐ Erosion Control Plan with phasing
- ☒ Traffic Control Plan with phasing and notes
- ☒ Landscape Plan
- ☐ Drainage improvements study
- ☐ Drainage Pipe Table with all inlets and capacities and Q25 design
- ☐ Detention Basin Calculations for 2, 5, 10, 25, 50, and 100 year design
- ☐ Sediment Basin Design and Calculations
- ☒ Flood hazard area details
- ☒ Floodways
- ☒ Utility Plan with size of meters required and location of fire sprinkler room
- ☐ Plan and Profile of all streets
- ☐ Sewer Plan and Profile
- ☒ Setback lines

Zoning Classification:

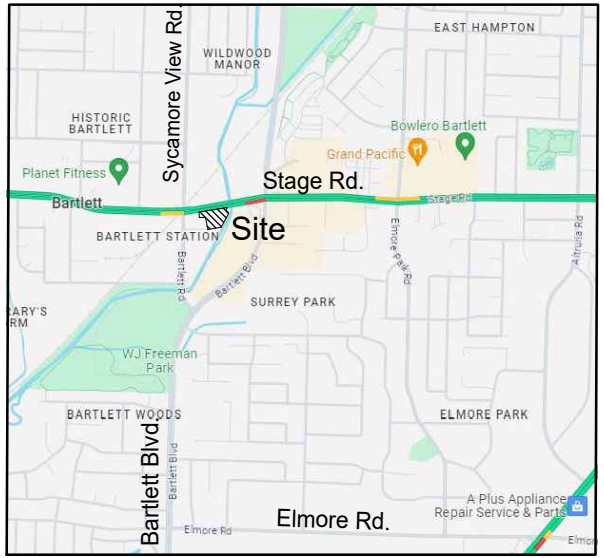
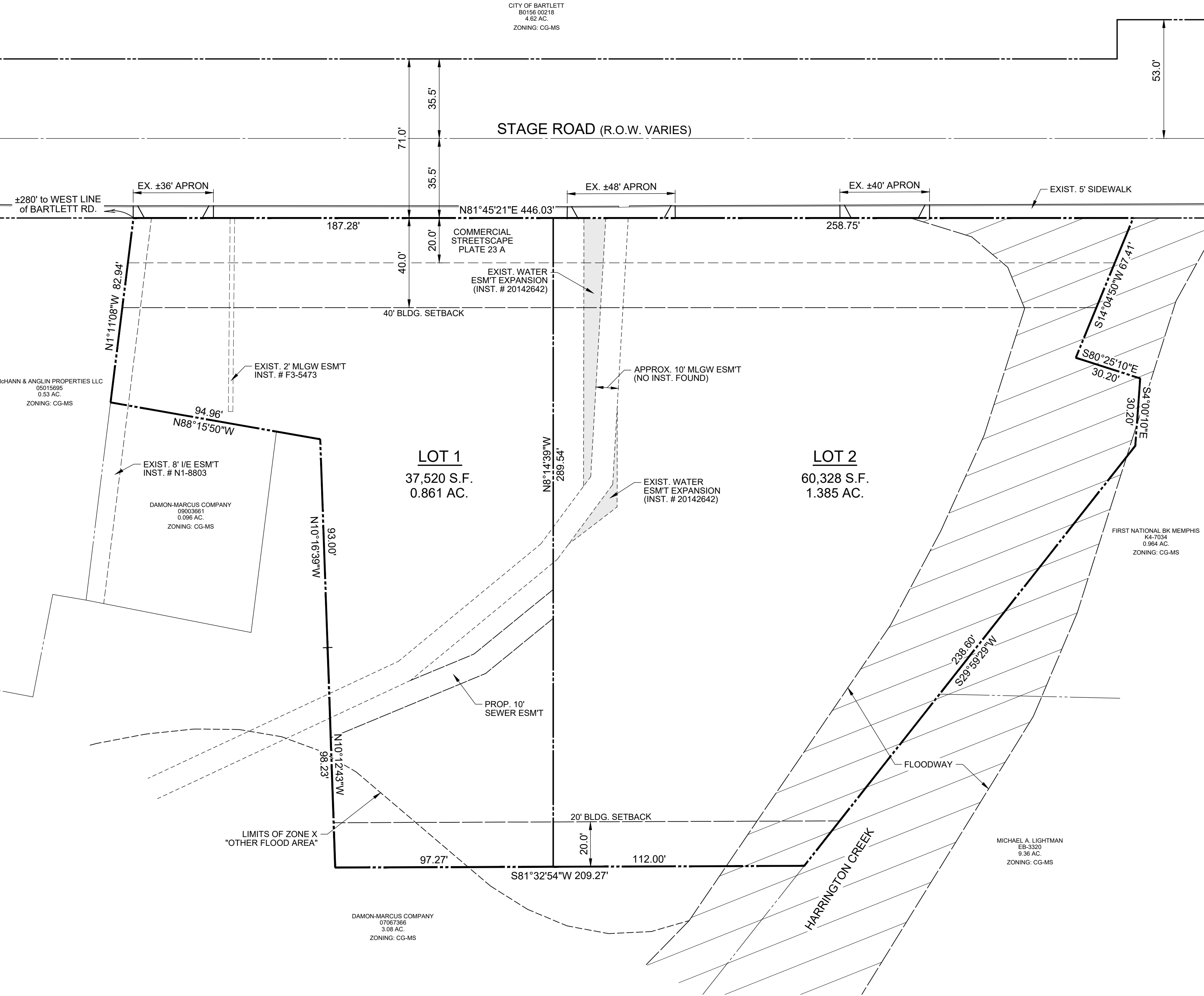
- ☒ Site (with area indicated)
- ☒ Adjoining land

In addition to the Master Plan drawing, the following shall be provided:

- ☒ One PDF file of the pictorial portion of the Master Plan, for display at the Planning Commission meeting.

INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED

Christine 20x24 Z:\2024\24-0036 7brev - 5905 Stage Rd. Bartlett TN01 Subdivision\CO.0 Master Plan.dwg Mar 01, 2024 - 2:54pm

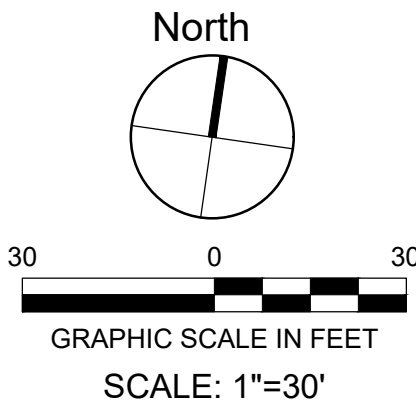


VICINITY MAP
±1"=3000'



SITE DATA

GROSS LAND AREA	97,848 S.F. 2.246 AC.
ZONING	CG-MS
SETBACKS	40 FEET
FRONT	0 FEET
SIDE	20 FEET
REAR	
MIN. LOT WIDTH	65 FEET
MAX. BLDG. HEIGHT	5 STORIES
MAX. LOT COVERAGE	70%



The Reaves Firm
INCORPORATED

Engineering
Planning
Landscape Architecture
Land Surveying

6800 Poplar Avenue, Suite 101 Memphis, TN 38138
901.761.2016 Fax: 901.763.2847
www.ReavesFirm.com

JOB # 24-0036

MASTER SUBDIVISION PLAN		
BAH LEGACY SQUARE SUBDIVISION		
CASE NUMBER:		
BARTLETT, TENNESSEE		
NUMBER OF LOTS: 2	2.246 ACRES	PARCEL B0156 00560C
DEVELOPER: 7B MEMPHIS, LLC	ENGINEER: THE REAVES FIRM	
100-YEAR FLOOD ELEV: 261.0±	FEMA MAP PANEL NO: 0303G	FEMA MAP DATE: FEB. 6, 2013
MARCH 2024	SCALE: 1" = 30'	SHEET 1 OF 2

CERTIFICATE OF SURVEY

I, _____, DO HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL CIVIL ENGINEER, AND THAT I HAVE SURVEYED THE LANDS, EMBRACED WITHIN THE PLAT OR MAP DESIGNATED AS _____, A SUBDIVISION ALL LYING WITHIN THE CORPORATE LIMITS OF THE CITY OF BARTLETT, TENNESSEE; SAID PLAT OR MAP IS A TRUE AND CORRECT PLAT OR MAP OF THE LANDS EMBRACED THEREIN, SHOWING THE SUBDIVISION THEREOF IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF BARTLETT, TENNESSEE; I FURTHER CERTIFY THAT THE SURVEY OF THE LANDS EMBRACED WITHIN SAID PLAT OR MAP HAS BEEN CORRECTLY MONUMENTED IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF BARTLETT, TENNESSEE.

IN WITNESS WHEREOF, I, THE SAID PROFESSIONAL ENGINEER, HEREUNTO SET OUT HAND AND AFFIX MY SEAL THE _____ DAY OF _____, 2024.

PROFESSIONAL CIVIL ENGINEER, STATE OF TENNESSEE _____
CERTIFICATE NO. _____

CERTIFICATE OF ADEQUACY OF STORM DRAINAGE

I, _____, DO HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL CIVIL ENGINEER, AND THAT I HAVE DESIGNED ALL STORM WATER DRAINAGE FOR THE _____ SUBDIVISION TO ASSURE THAT NEITHER SAID SUBDIVISION NOR ADJOINING PROPERTY WILL BE DAMAGED OR THE CHARACTER OF LAND USE AFFECTED BY THE VELOCITY AND VOLUME OF WATER ENTERING OR LEAVING SAME.

IN WITNESS WHEREOF, I, THE SAID _____,
HEREUNTO SET OUT HAND AND AFFIX MY SEAL THIS _____ DAY OF _____, 2024.

PROFESSIONAL CIVIL ENGINEER, STATE OF TENNESSEE _____
CERTIFICATE NO. _____

CERTIFICATE OF ACCURACY OF ENGINEERING AND DESIGN

I, _____, A PROFESSIONAL CIVIL ENGINEER, DO HEREBY CERTIFY THAT THE PLANS, ENGINEERING AND DESIGNS GOVERNING THE CONSTRUCTION OF THE SUBDIVISION ARE TRUE AND CORRECT, AND CONFORM TO THE REQUIREMENTS SET FORTH IN THE SUBDIVISION REGULATIONS AND TECHNICAL SPECIFICATIONS OF THE CITY OF MILLINGTON.

DATE _____, ____

PROFESSIONAL CIVIL ENGINEER, STATE OF TENNESSEE _____
CERTIFICATE NO. _____

CERTIFICATE OF APPROVAL OF WATER AND SEWER LINES AND DRAINAGE SYSTEM

I, _____, DO HEREBY CERTIFY THAT THE PLANS REGARDING DRAINAGE SYSTEMS AND WATER AND SEWER LAYOUT MEET THE REQUIREMENTS OF THE SUBDIVISION REGULATIONS AND TECHNICAL SPECIFICATIONS OF THE CITY OF MILLINGTON AND ARE HEREBY APPROVED.

DATE _____, ____

CITY ENGINEER

CERTIFICATE OF APPROVAL OF WATER AND SEWAGE SYSTEMS

I, _____, DO HEREBY CERTIFY THAT A SET OF CONSTRUCTION PLANS REGARDING THE WATER SUPPLY AND/OR SANITARY SEWERS BEARING THE SEAL OF THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION WHICH INDICATES SAID PLANS MEET THE DEPARTMENT'S REQUIREMENTS HAVE BEEN RECEIVED.

DATE _____, 2024.

SUPERINTENDENT OF WATER AND SEWER

BOARD OF MAYOR AND ALDERMEN CERTIFICATE

I, _____, DO HEREBY CERTIFY THAT ALL REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED OR THAT A PERFORMANCE BOND OF OTHER COLLATERAL IN SUFFICIENT AMOUNT TO ASSURE COMPLETION OF ALL REQUIRED IMPROVEMENTS HAS BEEN POSTED FOR THE SUBDIVISION SHOWN ON THIS PLAT AND ARE HEREBY APPROVED BY THE CITY OF BARTLETT, TENNESSEE.

DATE _____

MAYOR, CITY OF BARTLETT

OWNER'S CERTIFICATE

I, _____, THE UNDERSIGNED OWNER OF THE PROPERTY SHOWN HEREON, HEREBY ADOPT THIS AS MY PLAN OF SUBDIVISION AND DEDICATE THE STREETS AS SHOWN TO THE PUBLIC USE FOREVER FOREVER, AND HEREBY CERTIFY THAT I AM THE OWNER IN FEE SIMPLE, DULY AUTHORIZED SO TO ACT, AND THAT SAID PROPERTY IS UNENCUMBERED BY ANY TAXES THAT HAVE BECOME DUE AND PAYABLE.

_____, OWNER

NOTARY'S CERTIFICATE

STATE OF TENNESSEE
COUNTY OF SHELBY

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE STATE AND COUNTY AFORESAID, DULY COMMISSIONED AND QUALIFIED, PERSONALLY APPEARED _____ WITH WHOM I AM PERSONALLY ACQUAINTED AND WHO, UPON OATH, ACKNOWLEDGE HIMSELF TO BE THE OWNER OF _____ AND HE AS SUCH OWNER, EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSE THEREIN CONTAINED BY SIGNING HIS NAME AS OWNER.

IN WITNESS WHEREOF, I HEREUNTO SET MY HAND AND AFFIX MY SEAL THIS DAY OF _____, 2024.

NOTARY PUBLIC _____

MY COMMISSION EXPIRES _____

MORTGAGEE CERTIFICATE

WE, THE UNDERSIGNED, _____, MORTGAGEE OF THE PROPERTY SHOWN HEREON, HEREBY ADOPT THIS PLAT AS OUR PLAN OF SUBDIVISION AND DEDICATE THE STREETS, RIGHTS-OF-WAY, UTILITIES, EASEMENTS, AND RIGHTS OF ACCESS AS SHOWN TO THE CITY OF MILLINGTON FOREVER AND HEREBY CERTIFY THAT WE ARE THE MORTGAGEE DULY AUTHORIZED SO TO ACT AND THAT SAID PROPERTY IS UNENCUMBERED BY ANY TAXES WHICH HAVE BECOME DUE AND PAYABLE.

SIGNATURE OF MORTGAGEE

STATE OF TENNESSEE
COUNTY OF SHELBY

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE STATE AND COUNTY AFORESAID, DULY COMMISSIONED AND QUALIFIED, PERSONALLY APPEARED _____ WITH WHOM I AM PERSONALLY ACQUAINTED AND WHO, UPON OATH, ACKNOWLEDGE HIMSELF TO BE THE OWNER OF THE _____ AND HE AS SUCH OWNER, EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSE THEREIN CONTAINED BY SIGNING HIS NAME AS OWNER.

IN WITNESS WHEREOF, I HEREUNTO SET MY HAND AND AFFIX MY SEAL THIS DAY OF _____, 2024.

NOTARY PUBLIC _____

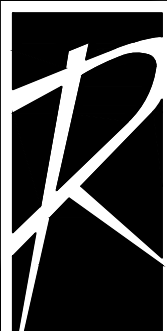
MY COMMISSION EXPIRES _____

PLANNING COMMISSION CERTIFICATE

I, _____, DO HEREBY CERTIFY THAT THE CITY OF BARTLETT PLANNING COMMISSION HAS APPROVED THIS PLAT OF SUBDIVISION FOR RECORDING.

DATE _____, 2024.

SECRETARY, BARTLETT PLANNING COMMISSION



The
Reaves
Firm

INCORPORATED

Engineering
Planning
Landscape Architecture
Land Surveying

6800 Poplar Avenue, Suite 101 | Memphis, TN 38138
901.761.2016 | Fax: 901.763.2847
www.ReavesFirm.com

JOB # 24-0036

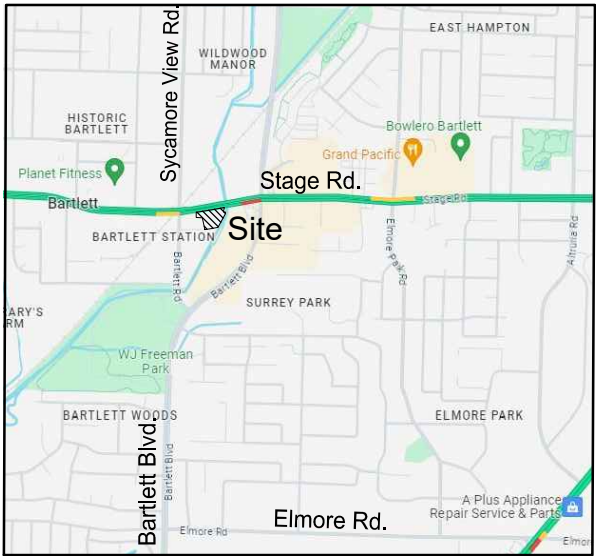
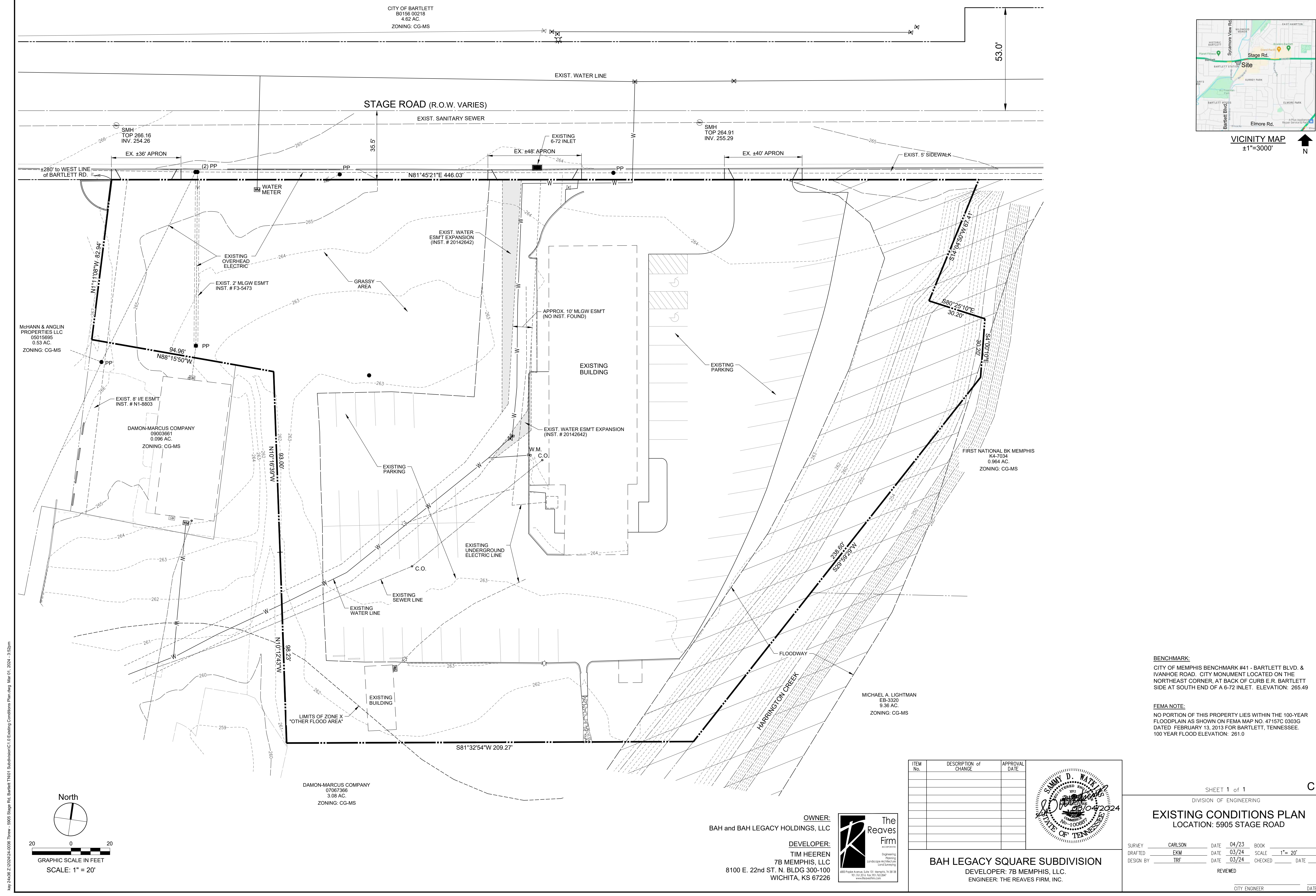
MASTER SUBDIVISION PLAN

BAH LEGACY SQUARE SUBDIVISION

CASE NUMBER:

BARTLETT, TENNESSEE

NUMBER OF LOTS: 2	2.246 ACRES	PARCEL B0156 00560C
DEVELOPER: 7B MEMPHIS, LLC	ENGINEER: THE REAVES FIRM	
100-YEAR FLOOD ELEV: 261.0±	FEMA MAP PANEL NO: 0303G	FEMA MAP DATE: FEB. 6, 2013
MARCH 2024	SCALE: N/A	SHEET 2 OF 2



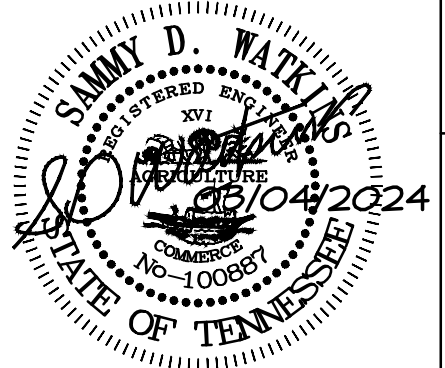
VICINITY MAP
±1"=3000'



BENCHMARK:
CITY OF MEMPHIS BENCHMARK #41 - BARTLETT BLVD. & IVANHOE ROAD. CITY MONUMENT LOCATED ON THE NORTHEAST CORNER, AT BACK OF CURB E.R. BARTLETT SIDE AT SOUTH END OF A 6-72 INLET. ELEVATION: 265.49

FEMA NOTE:
NO PORTION OF THIS PROPERTY LIES WITHIN THE 100-YEAR FLOODPLAIN AS SHOWN ON FEMA MAP NO. 47157C 0303G DATED FEBRUARY 13, 2013 FOR BARTLETT, TENNESSEE. 100 YEAR FLOOD ELEVATION: 261.0

ITEM No.	DESCRIPTION of CHANGE	APPROVAL DATE



BAH LEGACY SQUARE SUBDIVISION
DEVELOPER: 7B MEMPHIS, LLC.
ENGINEER: THE REAVES FIRM, INC.

OWNER:
BAH and BAH LEGACY HOLDINGS, LLC
DEVELOPER:
TIM HEEREN
7B MEMPHIS, LLC
8100 E. 22nd ST. N. BLDG 300-100
WICHITA, KS 67226



SHEET 1 of 1
DIVISION OF ENGINEERING
EXISTING CONDITIONS PLAN
LOCATION: 5905 STAGE ROAD

SURVEY	CARLSON	DATE	04/23	BOOK	
DRAFTED	EKM	DATE	03/24	SCALE	1"= 20'
DESIGN BY	TRF	DATE	03/24	CHECKED	

CITY ENGINEER _____ DATE _____

Site plan showing property boundaries, existing buildings, parking areas, and a creek. The plan includes various annotations such as bearings, distances, and area measurements.

Property Lines and Bearings:

- Top boundary: $N81^{\circ}45'21''E$ 446.03'
- Left boundary: $N11^{\circ}08'W$ 82.94'
- Bottom boundary: $S81^{\circ}32'54''W$ 209.27'
- Right boundary: $S4^{\circ}00'10''E$ 30.20'
- Internal boundary: $N10^{\circ}16'39''W$ 93.00'
- Internal boundary: $N10^{\circ}12'43''W$ 98.23'
- Internal boundary: $S29^{\circ}59'20''W$ 238.00'
- Internal boundary: $S80^{\circ}25'10''E$ 30.20'
- Internal boundary: $S14^{\circ}04'50''W$ 67.11'
- Internal boundary: $N88^{\circ}15'50''W$ 94.96'

Annotations and Labels:

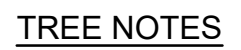
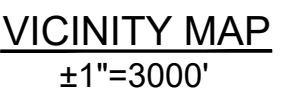
- Tree Protection Fencing:** Indicated by a dashed line and arrows.
- Grassy Area:** Indicated by a dashed line and an arrow.
- Existing Building:** Labeled in two locations.
- Existing Parking:** Labeled in two locations.
- Floodway:** Indicated by a dashed line and an arrow.
- Harrington Creek:** Indicated by a dashed line and an arrow.
- Limits of Zone X "Other Flood Area":** Indicated by a dashed line and an arrow.
- EX. $\pm 36'$ APRON:** Located at the top left.
- EX. $\pm 48'$ APRON:** Located at the top center.
- EX. $\pm 40'$ APRON:** Located at the top right.
- EXIST. 5' SIDEWALK:** Located at the top right.

Property Owners and Details:

- McHANN & ANGLIN PROPERTIES LLC:** 05015695, 0.53 AC, ZONING: CG-MS.
- DAMON-MARCUS COMPANY:** 09003661, 0.096 AC, ZONING: CG-MS.
- FIRST NATIONAL BK MEMPHIS:** K4-7034, 0.964 AC, ZONING: CG-MS.
- MICHAEL A. LIGHTMAN:** EB-3320, 9.36 AC, ZONING: CG-MS.

North

ITEM No.	DESCRIPTION of CHANGE	APPROVAL DATE



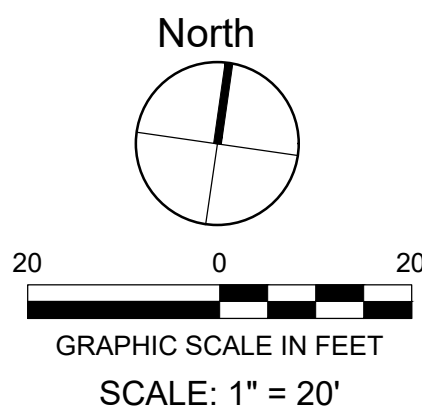
- | | |
|---|---------------------------------------|
| 1 | Tree Protection Fencing Detail |
| | NTS |

[illegible]

CITY ENGINEER _____ DATE _____

copyright 2024 - The Reaves Firm, Incorporated

kay 24x36 Z:\2024\24-0036 7brew - 5905 Stage Rd, Bartlett TN\01 Subdivision\C1.1 Tree Plan.dwg Mar 01, 2024 - 3:52pm



**The
Reaves
Firm**
INCORPORATED

Engineering
Planning
Landscape Architecture
Land Surveying

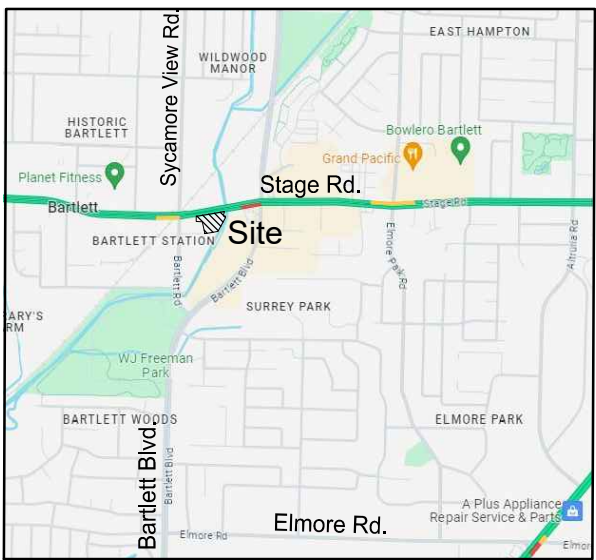
4800 Poplar Avenue, Suite 101 Memphis, TN 38138
901.761.2016 Fax: 901.763.2847
www.Reavesfirm.com

BAH LEGACY SQUARE SUBDIVISION
DEVELOPER: 7B MEMPHIS, LLC.
ENGINEER: THE REAVES FIRM, INC.

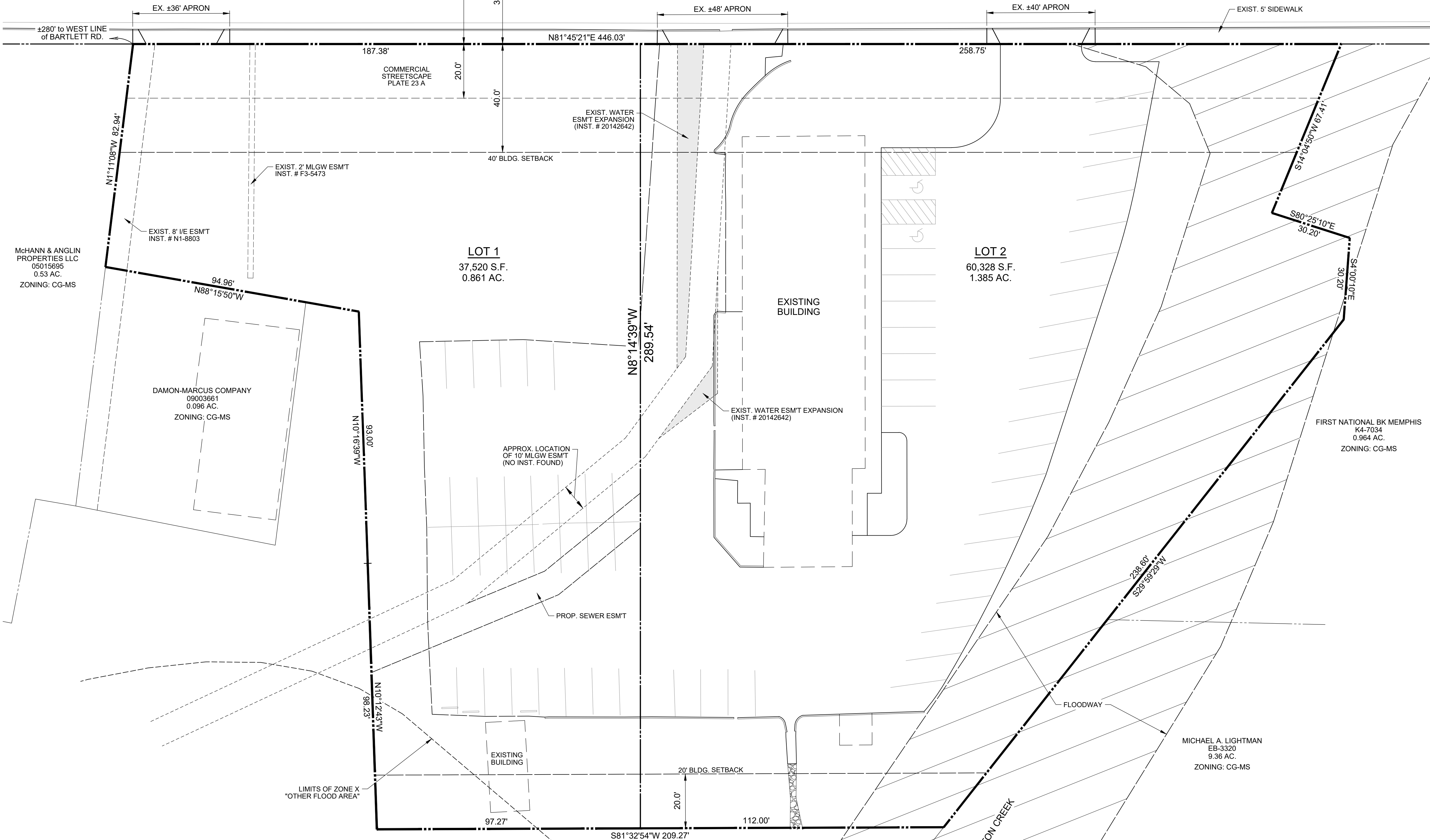
bay 24506-2 2/20/24 24:00:00 7:00w - 5905 Stage Rd, Bartlett TN01 Subdivision C2.0 Site Planning Mar 01, 2024 - 3:54pm

CITY OF BARTLETT
B0156 00218
4.62 AC.
ZONING: CG-MS

STAGE ROAD (R.O.W. VARIES)



VICINITY MAP
±1"=3000'



NOTES:

GENERAL:
NO IMPROVEMENTS ARE PROPOSED AS PART OF THIS MASTER PLAN.

STAGE ROAD ACCESS:
THE THREE EXISTING CURB CUTS WILL REMAIN AS-IS. LOT 1 WILL BE GRANTED ACCESS TO THE MIDDLE CURB CUT, CREATING SHARED ACCESS.

LOT 1:
THE EXISTING PARKING LOT AND SMALL BUILDING NEAR THE SOUTH PROPERTY LINE WILL BE REMOVED. A NEW BUILDING WITH PARKING WILL BE CONSTRUCTED AFTER RECEIVING NECESSARY APPROVALS FROM THE CITY OF BARTLETT.

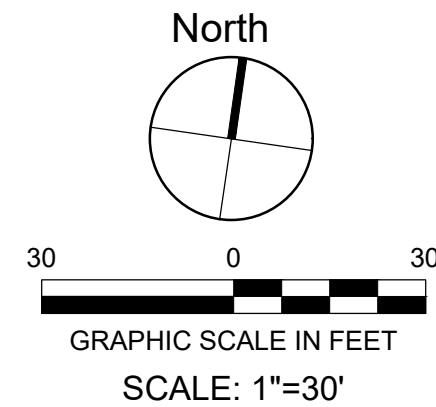
LOT 2:
THE EXISTING BUILDING AND PARKING LOT WILL PRIMARILY REMAIN AS-IS.

OWNER:
BAH and BAH LEGACY HOLDINGS, LLC

DEVELOPER:
TIM HEEREN
7B MEMPHIS, LLC
8100 E. 22nd ST. N. BLDG 300-100
WICHITA, KS 67226

BENCHMARK:
CITY OF MEMPHIS BENCHMARK #41 - BARTLETT BLVD. & IVANHOE ROAD. CITY MONUMENT LOCATED ON THE NORTHEAST CORNER, AT BACK OF CURB E.R. BARTLETT SIDE AT SOUTH END OF A 6-72 INLET. ELEVATION: 265.49

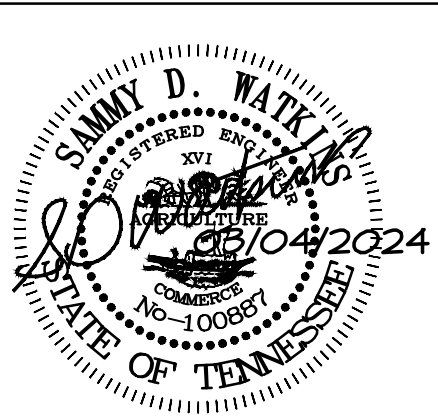
FEMA NOTE:
NO PORTION OF THIS PROPERTY LIES WITHIN THE 100-YEAR FLOODPLAIN AS SHOWN ON FEMA MAP NO. 47157C 0303G DATED FEBRUARY 13, 2013 FOR BARTLETT, TENNESSEE. 100 YEAR FLOOD ELEVATION: 261.0



DAMON-MARCUS COMPANY
07067366
3.06 AC.
ZONING: CG-MS

MICHAEL A. LIGHTMAN
EB-3320
9.36 AC.
ZONING: CG-MS

FIRST NATIONAL BK MEMPHIS
K4-7034
0.964 AC.
ZONING: CG-MS



ITEM No.	DESCRIPTION of CHANGE	APPROVAL DATE

BAH LEGACY SQUARE SUBDIVISION
DEVELOPER: 7B MEMPHIS, LLC.
ENGINEER: THE REAVES FIRM, INC.

SHEET 1 of 1

DIVISION OF ENGINEERING

SITE PLAN

LOCATION: 5905 STAGE ROAD

SURVEY

CARLSON

DATE

04/23

BOOK

DRAFTED

EKM

DATE

03/24

SCALE

1"= 20'

DESIGN BY

TRF

DATE

03/24

CHECKED

DATE

REVIEWED

DATE

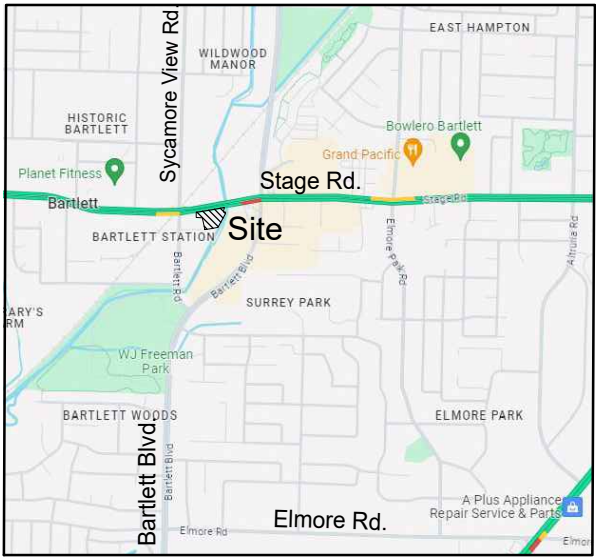
CITY ENGINEER

DATE

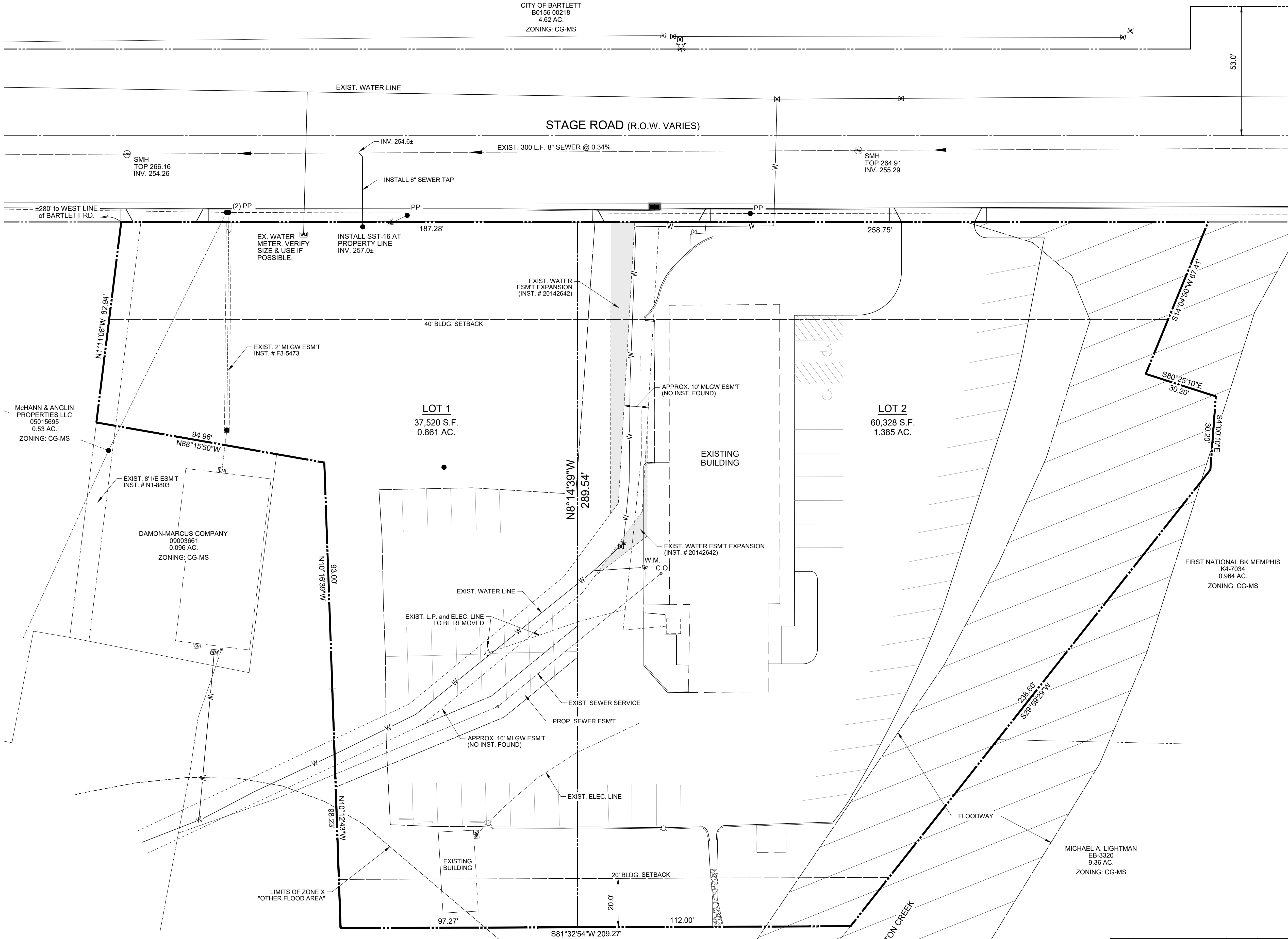
copyright 2024 - The Reaves Firm, Incorporated

Christine 2/24/24 2:20:24 PM C:\Users\chris\OneDrive\Documents\3.0 Utility Plan.dwg Mar 01, 2024 2:56pm

CITY OF BARTLETT
B0156 00218
4.62 AC.
ZONING: CG-MS



VICINITY MAP
±1"=3000'



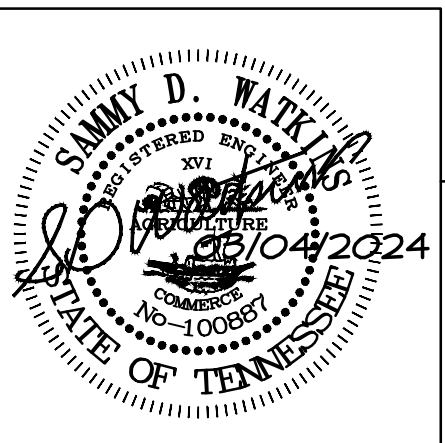
OWNER:
BAH and BAH LEGACY HOLDINGS, LLC

DEVELOPER:
TIM HEEREN
7B MEMPHIS, LLC
8100 E. 22nd ST. N. BLDG 300-100
WICHITA, KS 67226

BENCHMARK:
CITY OF MEMPHIS BENCHMARK #41 - BARTLETT BLVD. & IVANHOE ROAD. CITY MONUMENT LOCATED ON THE NORTHEAST CORNER, AT BACK OF CURB E.R. BARTLETT SIDE AT SOUTH END OF A 6-72 INLET. ELEVATION: 265.49

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ITEM No.	DESCRIPTION of CHANGE	APPROVAL DATE



BAH LEGACY SQUARE SUBDIVISION
DEVELOPER: 7B MEMPHIS, LLC.
ENGINEER: THE REAVES FIRM, INC.

SURVEY CARLSON DATE 04/23 BOOK
DRAFTED EKM DATE 03/24 SCALE 1"= 20'
DESIGN BY TRF DATE 03/24 CHECKED DATE

CITY ENGINEER DATE

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C3.0

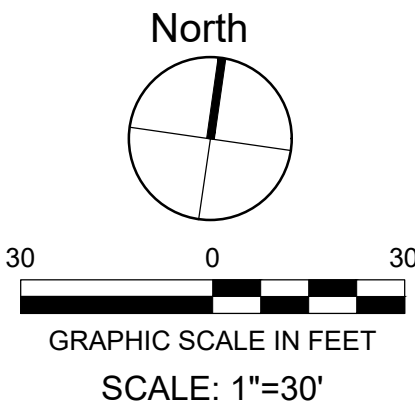
SHEET 1 of 1

DIVISION OF ENGINEERING

UTILITY PLAN
LOCATION: 5905 STAGE ROAD



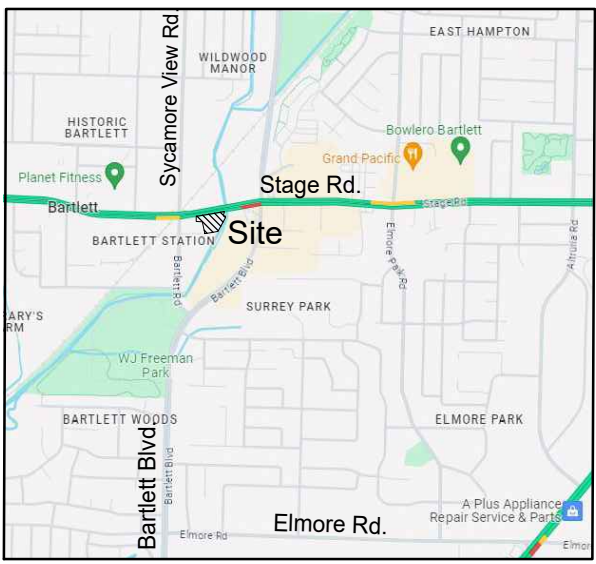
4800 Poplar Avenue, Suite 100, Memphis, TN 38136
901.761.2018 Fax 901.762.2840
www.the-reaves-firm.com



Christine 2/24/24 2:20:24 PM Stage Rd, Bartlett TN01 Subdivision C4.0 Grading Plan.dwg, Mar 01, 2024 - 2:55pm

CITY OF BARTLETT
B0156 00218
4.62 AC.
ZONING: CG-MS

STAGE ROAD (R.O.W. VARIES)



VICINITY MAP
±1"=3000'



McHANN & ANGLIN
PROPERTIES LLC
05015695
0.53 AC.
ZONING: CG-MS

DAMON-MARCUS COMPANY
09003661
0.096 AC.
ZONING: CG-MS

LOT 1
37,520 S.F.
0.861 AC.

LOT 2
60,328 S.F.
1.385 AC.

EXISTING BUILDING

EXIST. WATER ESMT EXPANSION
(INST. # 20142642)

APPROX. LOCATION
OF 10' MLGW ESMT
(NO INST. FOUND)

FIRST NATIONAL BK MEMPHIS
K4-7034
0.964 AC.
ZONING: CG-MS

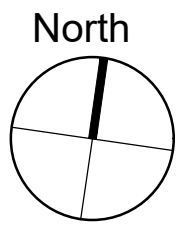
MICHAEL A. LIGHTMAN
EB-3320
9.36 AC.
ZONING: CG-MS

OWNER:
BAH and BAH LEGACY HOLDINGS, LLC

DEVELOPER:
TIM HEEREN
7B MEMPHIS, LLC
8100 E. 22nd ST. N. BLDG 300-100
WICHITA, KS 67226

BENCHMARK:
CITY OF MEMPHIS BENCHMARK #41 - BARTLETT BLVD. &
IVANHOE ROAD. CITY MONUMENT LOCATED ON THE
NORTHEAST CORNER, AT BACK OF CURB E.R. BARTLETT
SIDE AT SOUTH END OF A 6-72 INLET. ELEVATION: 265.49

FEMA NOTE:
NO PORTION OF THIS PROPERTY LIES WITHIN THE 100-YEAR
FLOODPLAIN AS SHOWN ON FEMA MAP NO. 47157C 0303G
DATED FEBRUARY 13, 2013 FOR BARTLETT, TENNESSEE.
100 YEAR FLOOD ELEVATION: 261.0

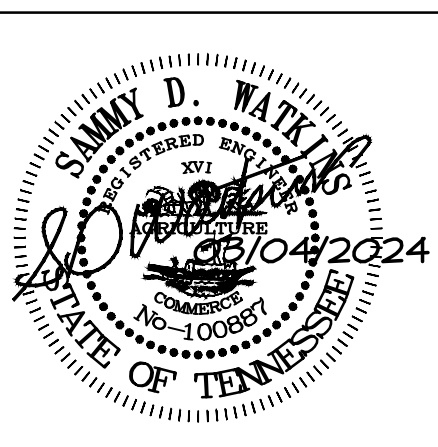


GRAPHIC SCALE IN FEET
SCALE: 1"=30'

DAMON-MARCUS COMPANY
07067366
3.06 AC.
ZONING: CG-MS



ITEM No.	DESCRIPTION of CHANGE	APPROVAL DATE



BAH LEGACY SQUARE SUBDIVISION
DEVELOPER: 7B MEMPHIS, LLC.
ENGINEER: THE REAVES FIRM, INC.

SURVEY CARLSON DATE 04/23 BOOK
DRAFTED EKM DATE 03/24 SCALE 1"= 20'
DESIGN BY TRF DATE 03/24 CHECKED DATE

CITY ENGINEER DATE

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SHEET 1 of 1

DIVISION OF ENGINEERING

GRADING PLAN

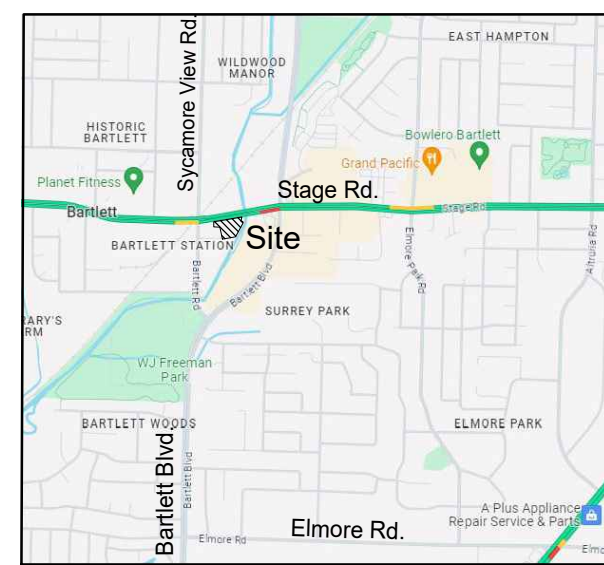
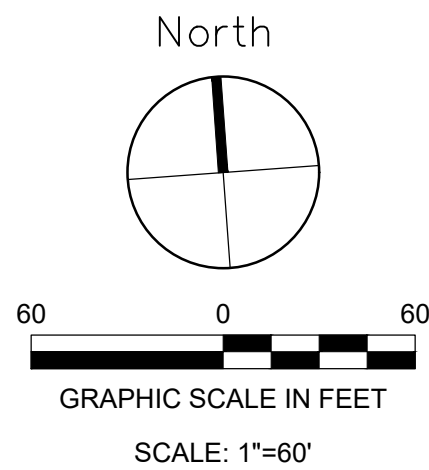
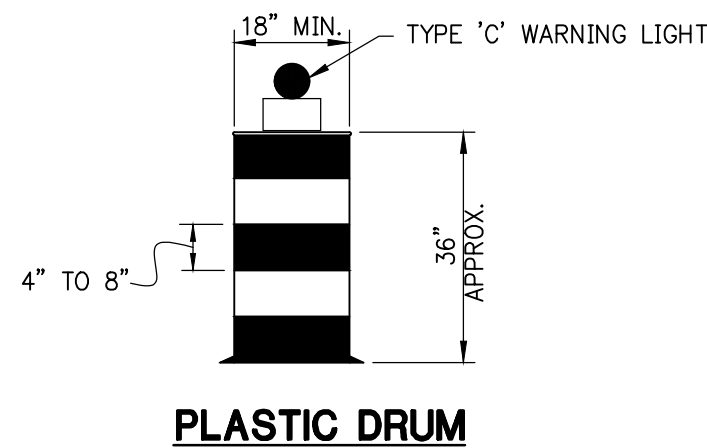
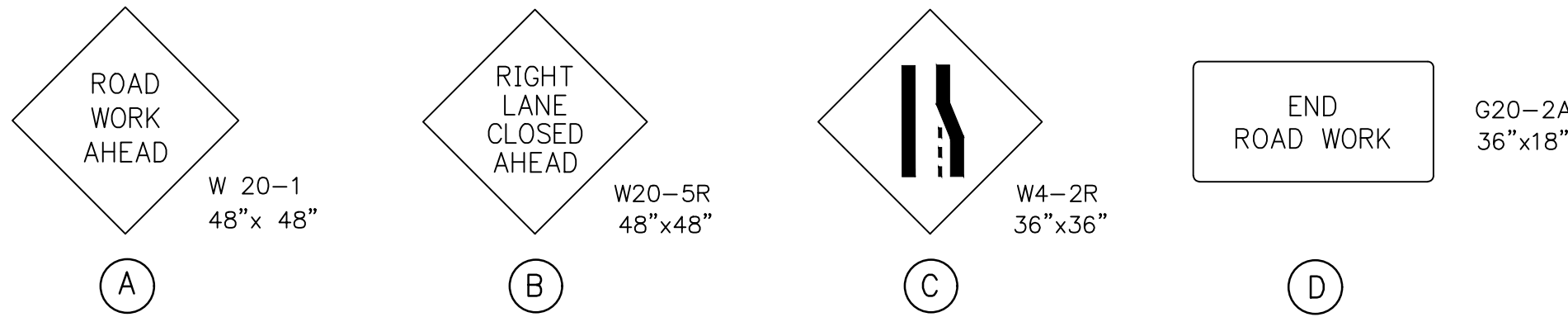
LOCATION: 5905 STAGE ROAD

C4.0

Christine 2/4/24 2:10:24 PM C-505 Stage Rd, Bartlett TN 37017 Subdivision C-505 TDP.dwg Mar 01, 2024 - 2:57pm

- TRAFFIC CONTROL PLAN NOTES:
- SEE SECTION 6F 03, SIGN PLACEMENT, OF THE STATE OF TENNESSEE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FOR INFORMATION ON PLACEMENT AND MOUNTING OF SIGNS.
 - SIGNS SHOWN ON THIS PLAN ARE TO WARN TRAFFIC ABOUT THE CONSTRUCTION. OTHER TRAFFIC CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION.
 - NOTHING IN THIS PLAN IS INTENDED TO SUPERSEDE OR RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF INSTALLING THE APPROPRIATE TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH THE CURRENT STATE OF TENNESSEE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
 - CONTRACTOR SHALL BE REQUIRED TO NOTIFY THE CITY OF BARTLETT A MINIMUM OF 24 HOURS PRIOR TO COMMENCING CONSTRUCTION OR IMPLEMENTING A TRAFFIC CONTROL PLAN. ALL TRAFFIC CONTROL DEVICES MUST BE IN PLACE BEFORE CONSTRUCTION ACTIVITY BEGINS.
 - SIZES OF ALL SIGNS SHALL COMPLY WITH STATE OF TENNESSEE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 - ALL TRAFFIC CONTROL DEVICES AND THEIR INSTALLATION SHALL MEET THE STANDARD PRESCRIBED IN THE STATE OF TENNESSEE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND SHALL COMPLY WITH THE STATE OF TENNESSEE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SECTION 712 TEMPORARY TRAFFIC CONTROL.
 - ACCESS TO ADJACENT PROPERTIES SHALL BE MAINTAINED AT ALL TIMES.
 - SIDE STREET, DRIVEWAY ACCESS, AND SAFE PEDESTRIAN WAYS SHALL BE MAINTAINED AT ALL TIMES.
 - THE CONTRACTOR SHALL NOT BE PERMITTED TO PARK ANY VEHICLES OR CONSTRUCTION EQUIPMENT DURING PERIODS OF INACTIVITY, WITHIN THE RIGHT -OF-WAY OR WITHIN THIRTY (30) FEET OF THE EDGE OF PAVEMENT WHICHEVER IS LESS, WHEN THE LANE IS OPEN TO TRAFFIC, UNLESS PROTECTED BY GUARDRAIL, BRIDGE RAIL, AND/OR BARRIERS INSTALLED FOR OTHER PURPOSES. PRIVATELY OWNED VEHICLES SHALL NOT BE ALLOWED TO BE PARKED WITHIN THE RIGHT-OF-WAY OR WITHIN THIRTY (30) FEET OF AN OPEN TRAFFIC LANE WHICHEVER IS LESS, AT ANY TIME UNLESS PROTECTED AS DESCRIBED ABOVE.
 - CONTRACTOR SHALL USE PLASTIC DRUMS WITH TYPE "C" WARNING LIGHTS TO SEPARATE TRAFFIC FROM THE CONSTRUCTION AREA.
 - CONTRACTOR SHALL COVER ALL EXISTING SIGNS THAT CONFLICT WITH THE TRAFFIC CONTROL PLAN SIGNS OR DEVICES DURING CONSTRUCTION AND THEY SHALL REMAIN COVERED DURING CONSTRUCTION AND UNTIL SUCH TIME THAT NO CONFLICT EXISTS.
 - TWO-WAY TRAFFIC SHALL BE MAINTAINED ON STAGE ROAD AT ALL TIMES.
 - THREE 11 FOOT LANE OF TRAFFIC SHALL REMAIN OPEN TO TRAFFIC AT ALL TIMES.
 - ALL TEMPORARY OR PERMANENT TRAVELED SURFACE SHALL BE INSPECTED DAILY BY THE CONTRACTOR (INCLUDING WEEKENDS) AND NECESSARY PATCHING OR REFINISHING PERFORMED.
 - WORK WITHIN THE ROADWAY SHALL BE CONDUCTED BETWEEN 9:00A.M. AND 4:00 P.M. AND THE ROADWAY SHALL BE COMPLETELY OPEN TO TRAFFIC AT ALL OTHER TIMES AND ALL INAPPROPRIATE SIGNS SHALL BE COVERED OR REMOVED.
 - THE APPROPRIATE TRAFFIC CONTROL SHALL BE INSTALLED AT THE INCEPTION OF EACH STAGE OF CONSTRUCTION AND SHALL BE PROPERLY MAINTAINED AND/OR OPERATED DURING THE TIME SUCH SPECIAL CONDITIONS EXIST. THEY SHALL REMAIN IN PLACE ONLY AS LONG AS THEY ARE NEEDED AND SHALL BE IMMEDIATELY REMOVED THEREAFTER.
 - IF CONSTRUCTION ACTIVITIES REQUIRE OVER-NIGHT CLOSURE OF ANY PORTION OF THE ROADWAY, A REVISED TRAFFIC CONTROL PLAN SHALL BE SUBMITTED TO AND APPROVED BY THE CITY ENGINEER'S OFFICE.
 - EXISTING STRIPING THAT CONFLICTS WITH THE TEMPORARY TRAFFIC CONTROL DEVICES SHALL BE COVERED OR REMOVED DURING CONSTRUCTION. WHEN CONSTRUCTION IS COMPLETE THE EXISTING STRIPING SHALL BE RETURNED TO ITS ORIGINAL STATE.
 - ALL TRAFFIC CONTROL SIGNS SHALL MEET THE MINIMUM RETROREFLECTIVITY LEVELS SPECIFIED IN THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 - THE DEVELOPER SHALL PROVIDE A TRAFFIC CONTROL PLAN TO THE CITY ENGINEER THAT SHOWS THE PHASING FOR EACH STREET FRONTAGE DURING DEMOLITION AND CONSTRUCTION OF CURB GUTTER AND SIDEWALK. UPON COMPLETION OF SIDEWALK AND CURB AND GUTTER IMPROVEMENTS, A MINIMUM 5 FOOT WIDE PEDESTRIAN PATHWAY SHALL BE PROVIDED THROUGHOUT THE REMAINDER OF THE PROJECT.
 - ANY CLOSURE OF THE RIGHT OF WAY SHALL BE TIME LIMITED TO THE ACTIVE DEMOLITION OR CONSTRUCTION. CONTINUOUS UNWARRANTED CLOSURE OF THE RIGHT OF WAY SHALL NOT BE ALLOWED FOR THE DURATION OF THE PROJECT. THE DEVELOPER SHALL PROVIDE ON THE TRAFFIC CONTROL PLAN, THE TIME NEEDED PER PHASE TO COMPLETE THAT PORTION OF THE WORK. TIME LIMITS WILL BEGIN ON THE DAY OF CLOSURE AND WILL BE MONITORED BY THE ENGINEERING CONSTRUCTION INSPECTORS ON THE JOB.
 - THE CONTRACTOR SHALL NOTIFY MEMPHIS AREA TRANSIT AUTHORITY (MATA) AT 722-7100 A MINIMUM OF 48 HOURS PRIOR TO IMPLEMENTING A TRAFFIC CONTROL PLAN.

SIGN LEGEND



Design Speed Limit: 40 MPH

REVISIONS		
ITEM No.	DESCRIPTION of CHANGE	APPROVAL DATE

SAMMY D. WATKINS
REGISTERED ENGINEER
No. 0472024
STATE OF TENNESSEE

BAH LEGACY SQUARE SUBDIVISION
DEVELOPER: 7B MEMPHIS, LLC.
ENGINEER: THE REAVES FIRM, INC.

SHEET 1 OF 2
DIVISION OF ENGINEERING

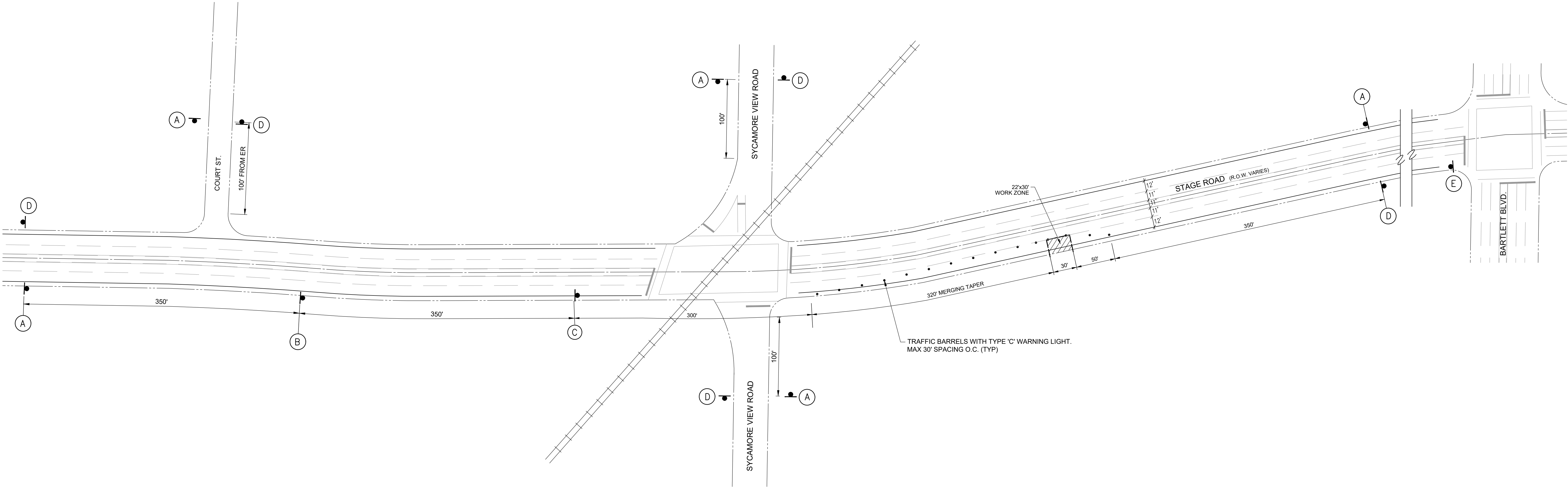
TRAFFIC CONTROL PLAN: PHASE 1

LOCATION: 5905 STAGE ROAD

SURVEY CARLSON DATE 04/23 BOOK
DRAFTED EKM DATE 03/24 SCALE 1"= 60'
DESIGN BY TRF DATE 03/24 CHECKED DATE

REVIEWED

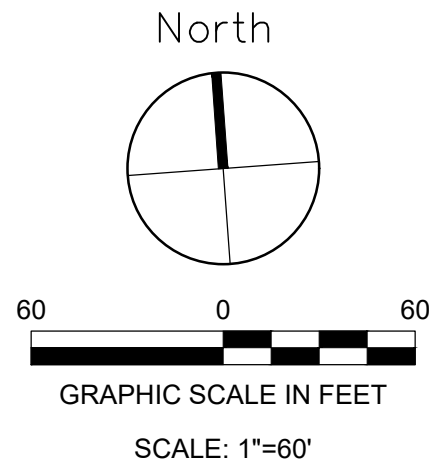
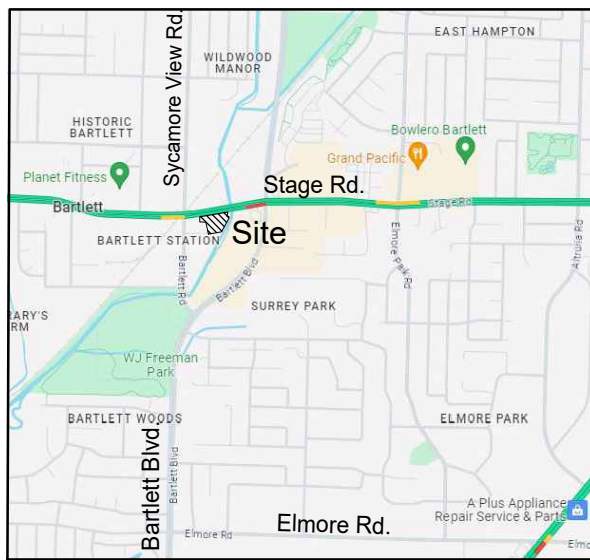
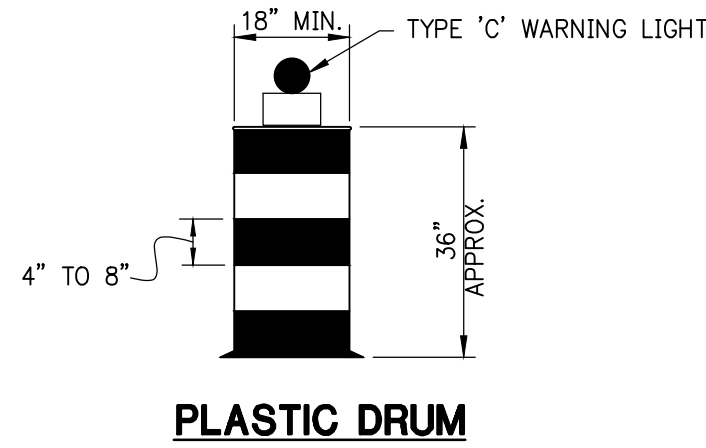
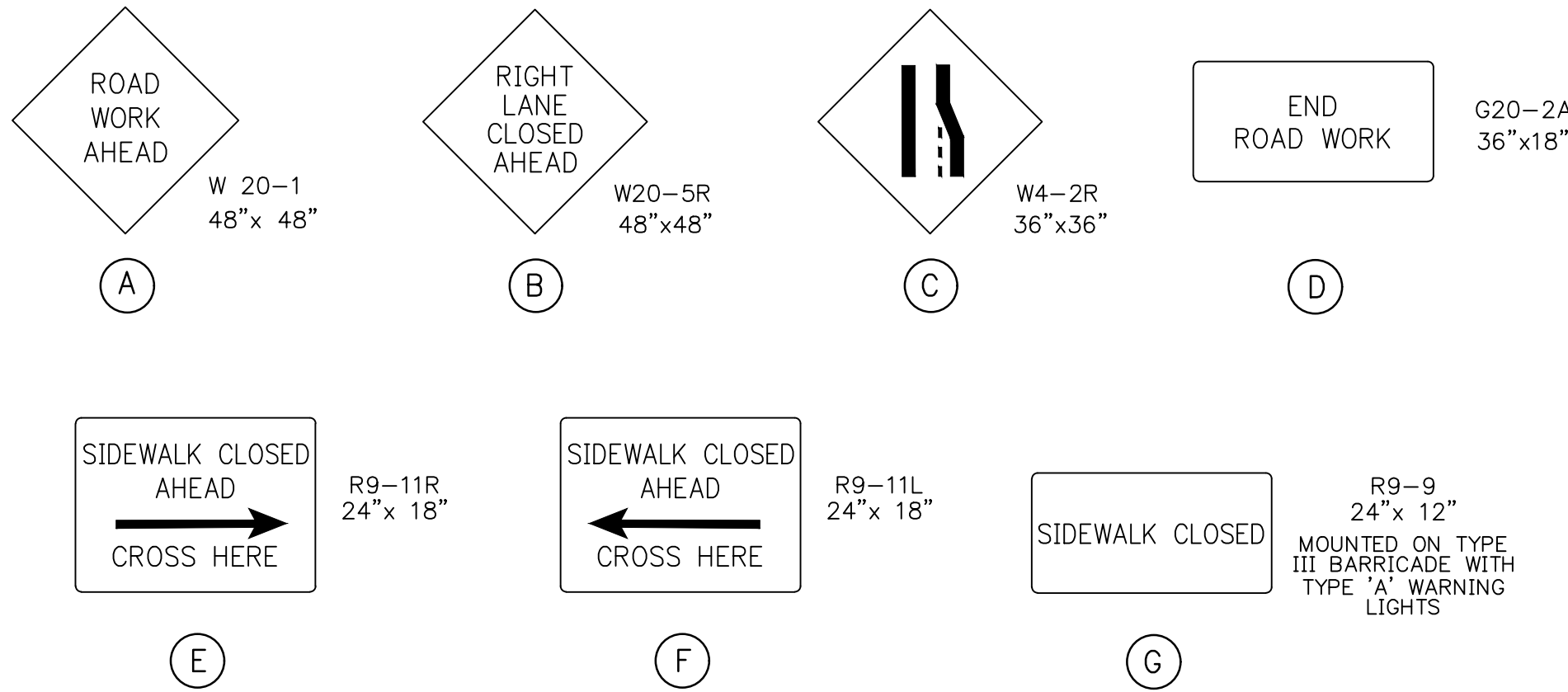
CITY ENGINEER DATE



TRAFFIC CONTROL PLAN NOTES:

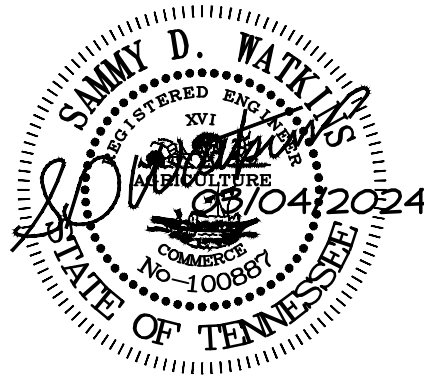
- SEE SECTION 6F.03, SIGN PLACEMENT, OF THE STATE OF TENNESSEE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FOR INFORMATION ON PLACEMENT AND MOUNTING OF SIGNS.
- SIGNS SHOWN ON THIS PLAN ARE TO WARN TRAFFIC ABOUT THE CONSTRUCTION. OTHER TRAFFIC CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION.
- NOTHING IN THIS PLAN IS INTENDED TO SUPERSEDE OR RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF INSTALLING THE APPROPRIATE TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH THE CURRENT STATE OF TENNESSEE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS."
- CONTRACTOR SHALL BE REQUIRED TO NOTIFY THE CITY OF BARTLETT A MINIMUM OF 24 HOURS PRIOR TO COMMENCING CONSTRUCTION OR IMPLEMENTING A TRAFFIC CONTROL PLAN. ALL TRAFFIC CONTROL DEVICES MUST BE IN PLACE BEFORE CONSTRUCTION ACTIVITY BEGINS.
- SIZES OF ALL SIGNS SHALL COMPLY WITH STATE OF TENNESSEE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL TRAFFIC CONTROL DEVICES AND THEIR INSTALLATION SHALL MEET THE STANDARD PRESCRIBED IN THE STATE OF TENNESSEE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND SHALL COMPLY WITH THE STATE OF TENNESSEE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SECTION 712 TEMPORARY TRAFFIC CONTROL.
- ACCESS TO ADJACENT PROPERTIES SHALL BE MAINTAINED AT ALL TIMES.
- SIDE STREET, DRIVEWAY ACCESS, AND SAFE PEDESTRIAN WAYS SHALL BE MAINTAINED AT ALL TIMES.
- THE CONTRACTOR SHALL NOT BE PERMITTED TO PARK ANY VEHICLES OR CONSTRUCTION EQUIPMENT DURING PERIODS OF INACTIVITY, WITHIN THE RIGHT -OF-WAY OR WITHIN THIRTY (30) FEET OF THE EDGE OF PAVEMENT WHICHEVER IS LESS, WHEN THE LANE IS OPEN TO TRAFFIC, UNLESS PROTECTED BY GUARDRAIL, BRIDGE RAIL, AND/OR BARRIERS INSTALLED FOR OTHER PURPOSES. PRIVATELY OWNED VEHICLES SHALL NOT BE ALLOWED TO BE PARKED WITHIN THE RIGHT-OF-WAY OR WITHIN THIRTY (30) FEET OF AN OPEN TRAFFIC LANE WHICHEVER IS LESS, AT ANY TIME UNLESS PROTECTED AS DESCRIBED ABOVE.
- CONTRACTOR SHALL USE PLASTIC DRUMS WITH TYPE "C" WARNING LIGHTS TO SEPARATE TRAFFIC FROM THE CONSTRUCTION AREA.
- CONTRACTOR SHALL COVER ALL EXISTING SIGNS THAT CONFLICT WITH THE TRAFFIC CONTROL PLAN SIGNS OR DEVICES DURING CONSTRUCTION AND THEY SHALL REMAIN COVERED DURING CONSTRUCTION AND UNTIL SUCH TIME THAT NO CONFLICT EXISTS.
- TWO-WAY TRAFFIC SHALL BE MAINTAINED ON STAGE ROAD AT ALL TIMES.
- THREE 11 FOOT LANE OF TRAFFIC SHALL REMAIN OPEN TO TRAFFIC AT ALL TIMES.
- ALL TEMPORARY OR PERMANENT TRAVELED SURFACE SHALL BE INSPECTED DAILY BY THE CONTRACTOR (INCLUDING WEEKENDS) AND NECESSARY PATCHING OR REFINISHING PERFORMED.
- WORK WITHIN THE ROADWAY SHALL BE CONDUCTED BETWEEN 9:00A.M. AND 4:00 P.M. AND THE ROADWAY SHALL BE COMPLETELY OPEN TO TRAFFIC AT ALL OTHER TIMES AND ALL INAPPROPRIATE SIGNS SHALL BE COVERED OR REMOVED.
- THE APPROPRIATE TRAFFIC CONTROL SHALL BE INSTALLED AT THE INCEPTION OF EACH STAGE OF CONSTRUCTION AND SHALL BE PROPERLY MAINTAINED AND/OR OPERATED DURING THE TIME SUCH SPECIAL CONDITIONS EXIST. THEY SHALL REMAIN IN PLACE ONLY AS LONG AS THEY ARE NEEDED AND SHALL BE IMMEDIATELY REMOVED THEREAFTER.
- IF CONSTRUCTION ACTIVITIES REQUIRE OVER-NIGHT CLOSURE OF ANY PORTION OF THE ROADWAY, A REVISED TRAFFIC CONTROL PLAN SHALL BE SUBMITTED TO AND APPROVED BY THE CITY ENGINEER'S OFFICE.
- EXISTING STRIPING THAT CONFLICTS WITH THE TEMPORARY TRAFFIC CONTROL DEVICES SHALL BE COVERED OR REMOVED DURING CONSTRUCTION. WHEN CONSTRUCTION IS COMPLETE THE EXISTING STRIPING SHALL BE RETURNED TO ITS ORIGINAL STATE.
- ALL TRAFFIC CONTROL SIGNS SHALL MEET THE MINIMUM RETROREFLECTIVITY LEVELS SPECIFIED IN THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- THE DEVELOPER SHALL PROVIDE A TRAFFIC CONTROL PLAN TO THE CITY ENGINEER THAT SHOWS THE PHASING FOR EACH STREET FRONTAGE DURING DEMOLITION AND CONSTRUCTION OF CURB GUTTER AND SIDEWALK. UPON COMPLETION OF SIDEWALK AND CURB AND GUTTER IMPROVEMENTS, A MINIMUM 5 FOOT WIDE PEDESTRIAN PATHWAY SHALL BE PROVIDED THROUGHOUT THE REMAINDER OF THE PROJECT.
- ANY CLOSURE OF THE RIGHT OF WAY SHALL BE TIME LIMITED TO THE ACTIVE DEMOLITION OR CONSTRUCTION. CONTINUOUS UNWARRANTED CLOSURE OF THE RIGHT OF WAY SHALL NOT BE ALLOWED FOR THE DURATION OF THE PROJECT. THE DEVELOPER SHALL PROVIDE ON THE TRAFFIC CONTROL PLAN, THE TIME NEEDED PER PHASE TO COMPLETE THAT PORTION OF THE WORK. TIME LIMITS WILL BEGIN ON THE DAY OF CLOSURE AND WILL BE MONITORED BY THE ENGINEERING CONSTRUCTION INSPECTORS ON THE JOB.
- THE CONTRACTOR SHALL NOTIFY MEMPHIS AREA TRANSIT AUTHORITY (MATA) AT 722-7100 A MINIMUM OF 48 HOURS PRIOR TO IMPLEMENTING A TRAFFIC CONTROL PLAN.

SIGN LEGEND



Design Speed Limit: 40 MPH

REVISIONS		
ITEM No.	DESCRIPTION of CHANGE	APPROVAL DATE



BAH LEGACY SQUARE SUBDIVISION
DEVELOPER: 7B MEMPHIS, LLC.
ENGINEER: THE REAVES FIRM, INC.

SHEET 2 OF 2
DIVISION OF ENGINEERING

C-5.1

TRAFFIC CONTROL PLAN: PHASE 2
LOCATION: 5905 STAGE ROAD

SURVEY CARLSON DATE 04/23 BOOK
DRAFTED EKM DATE 03/24 SCALE 1"= 60'
DESIGN BY TRF DATE 03/24 CHECKED DATE

REVIEWED
CITY ENGINEER DATE

**CITY OF BARTLETT
6400 STAGE RD
BARTLETT TN 38134**

**DAMON-MARCUS COMPANY
5781 BARTLETT-STAGE RD
MEMPHIS TN 38134**

**MCHANN AND ANGLIN PROPERTIES
LLC
4039 OLD GETWELL RD
MEMPHIS TN 38118**

**FIRST NATIONAL BK MEMPHIS
1755 LYNNFIELD RD
MEMPHIS TN 38119**

**CITY OF BARTLETT
6400 STAGE RD
MEMPHIS TN 38134**

**LIGHTMAN MICHAEL A
5100 POPLAR AVE
MEMPHIS TN 38137**

**BAH AND BAH LEGACY HOLDINGS LLC
5905 STAGE RD
BARTLETT TN 38134**

**THE REAVES FIRM, INC.
CHRISTINE DONHARDT
6800 POPLAR AVE. SUITE 101
MEMPHIS, TN 38138**

Bartlett Planning and
Economic Development Department
6382 Stage Road, P.O. Box 341148
Bartlett, TN 38184-1148
901-385-6417 FAX 901-385-6419
www.cityofbartlett.org

Bartlett Planning Commission
Application for Final Subdivision Plan/Plat
Approval

Subdivision Name RE-SUBDIVISION OF LOTS 51 & 52
ELLENDALE HIGHWAY SUBDIVISION (P.B. 9, PG. 90) No. of Lots 2
Subdivision Location 7205/7215 ANDREWS ROAD
Owner/Developer Contact JOEL & SHEILA McCABE Phone 901 829 3008
Company Name — Fax —
Address 7215 ANDREWS RD, BARTLETT, TN 38135
Email Address —
Architect Contact — Phone —
Company Name — Fax —
Address —
Email Address —
Engineer Contact DAVID BLAY Phone 901.383.8668
Company Name THE BLAY FIRM Fax —
Address 2950 STAGE PLAZA NORTH BARTLETT, TN 38134
Email Address dgray@comcast.net

Submitted by DAVID BLAY (printed name) [Signature] (signature) 03.03.24 (date)
Email Address dgray@comcast.net Phone 901.383.8668 Fax —

[Initials] Acknowledge (by initials in the blank to the left) that the "Application Instructions: Planning Commission" were obtained and read prior to submitting this application.

[Initials] The "Final Subdivision Plan Checklist" has been completed and required all items have been provided. (See reverse page/or attached checklist)

[Initials] Provide 18-folded ($\pm 10'' \times 13''$) sets of plans with a copy of the signed application attached to each set.

[Initials] Provide an electronic PDF file of the plans. Note that an updated electronic file is required when plans are revised.

[Initials] Include a fee of \$500.00 plus \$20.00 per lot with this application (check payable to the City of Bartlett). **The fee is not refundable.**

I, the property owner(s) hereby authorize the filing of this application.

Joel McCabe (print name) [Signature] (signature) 3-4-24 (date)

RECEIVED

MAR 04 2024

Bartlett Planning and
Economic Development Department
6382 Stage Road, P.O. Box 341148
Bartlett, TN 38184-1148
901-385-6417 FAX 901-385-6419
www.cityofbartlett.org

Final Subdivision Plan/Plat Checklist

The applicant shall either indicate that the following items have been completed by a check (✓) or that they are not applicable (n/a).

- ☒ Drawn in ink on 20" x 24" mylar, at a scale of 1" = 100'.
- ☒ Bearing and length of every street line, lot line, boundary line, block line and building line whether curved or straight.
- ☒ Subdivision name and location
- ☒ Location sketch map
- ☒ Date
- ☒ "Grid" or "true" north point
- ☒ Name of adjoining landowners, developments
- ☒ Written boundary survey
- ☒ Location and description of a clearly identified and verifiable point of beginning for the survey
- ☒ Buildings setback lines
- ☒ Reservations for all easements
- ☒ Areas dedicated for public use
- ☒ Areas of non-residential use
- ☒ Areas of flood hazard
- ☒ Lots numbered in numerical order

- ☒ Landscaped buffer strips
- ☒ Street names
- ☒ Restrictive covenants

The following, with dimensions to nearest one hundredth (1/100th) of a foot and angles or true or grid bearings to the nearest twenty seconds of arc (20"):

- ☒ Lot lines
- ☒ Street & road lines
- ☒ Alley lines

The following completed certificates where applicable:

- ☒ Owner
- ☒ Surveyor or Engineer
- ☒ Storm drainage
- ☒ Board of Mayor and Aldermen
- ☒ Planning Commission
- ☒ Mortgagee

In addition to the Final Plan drawing, the following shall be provided:

- ☒ One PDF file of the pictorial portion of the Final Plan, for display at the Planning Commission meeting.

INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED

Re-subdivision of Lots 51 & 52
Ellendale Highway Subdivision
Page 1 of 1

Joel & Sheila McCabe
7215 Andrews Road
Bartlett, TN 38135

The Bray Firm
2950 Stage Plaza North
Bartlett, TN 38134

Owner

Engineer

James Nelson & Mary Coe
7197 Andrews Rd
Memphis, TN 38135

John & Kimberly Bernard
7225 Andrews Rd
Bartlett, TN 38135

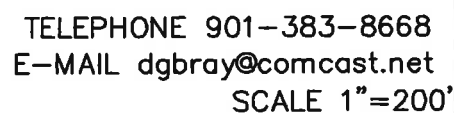
Perry & Michelle Short
3552 Marietta Cv
Bartlett, TN 38135

Resident
7200 Andrews Rd
Bartlett, TN 38135

CSMA BLT LLC
1850 Parkway Pl
Ste 900
Marietta, GA 30067

Resident
3500 Marietta Blvd
Bartlett, TN 38135

Virginia Norman
3400 Oak Rd
Bartlett, TN 38135



CERTIFICATE OF SURVEY:

I, CHARLES CAMPBELL, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND I HAVE SURVEYED THE LANDS EMBRACED WITHIN THE PLAT DESIGNATED AS RE-SUBDIVISION OF LOTS 51 & 52, BLOCK A, ELLENDALE HWY SUBDIVISION, A SUBDIVISION ALL LYING WITHIN THE CORPORATE LIMITS OF THE CITY OF BARTLETT, TENNESSEE, THAT SAID PLAT IS A TRUE AND CORRECT PLAT OF THE LANDS EMBRACED THEREIN, SHOWING THE SUBDIVISION THEREOF IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF BARTLETT, TENNESSEE. I FURTHER CERTIFY THAT THE SURVEY OF THE LANDS EMBRACED WITHIN SAID PLAT HAS BEEN CORRECTLY MONUMENTED IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF BARTLETT, TENNESSEE.

IN WITNESS WHEREOF, I, THE SAID, TIMOTHY A. SULLIVAN, SURVEYOR, HEREUNTO SET OUT HAND AND AFFIX MY SEAL THIS _____ DAY OF _____ 2024

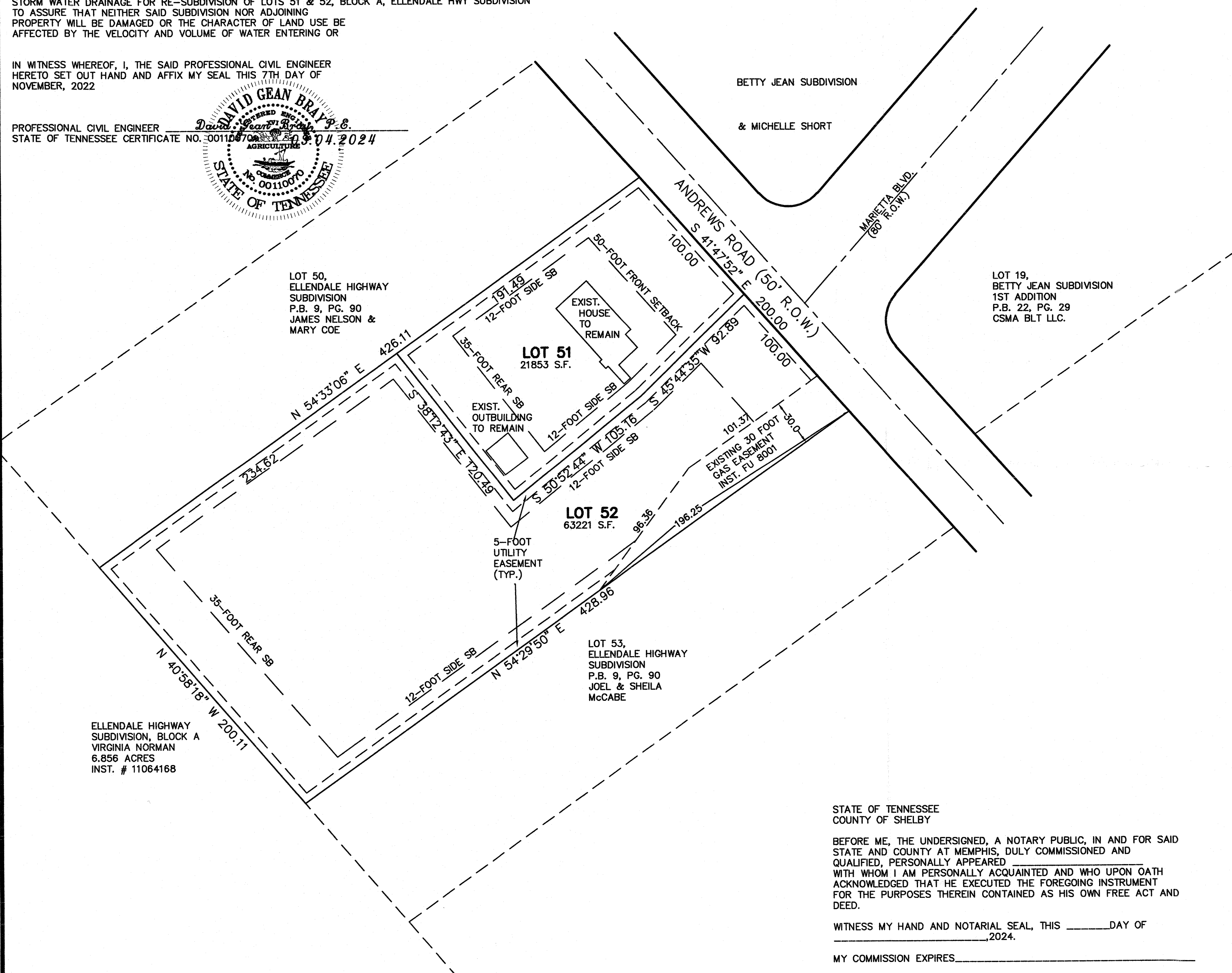
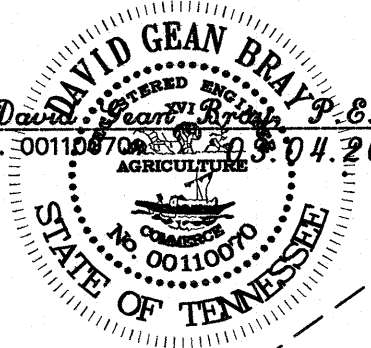
LAND SURVEYOR
STATE OF TENNESSEE CERTIFICATE NO. _____

CERTIFICATE OF ADEQUACY OF STORM DRAINAGE

I, DAVID GEAN BRAY, HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL CIVIL ENGINEER, AND THAT I HAVE DESIGNED ALL STORM WATER DRAINAGE FOR RE-SUBDIVISION OF LOTS 51 & 52, BLOCK A, ELLENDALE HWY SUBDIVISION TO ASSURE THAT NEITHER SAID SUBDIVISION NOR ADJOINING PROPERTY WILL BE DAMAGED OR THE CHARACTER OF LAND USE BE AFFECTED BY THE VELOCITY AND VOLUME OF WATER ENTERING OR

IN WITNESS WHEREOF, I, THE SAID PROFESSIONAL CIVIL ENGINEER HERETO SET OUT HAND AND AFFIX MY SEAL THIS 7TH DAY OF NOVEMBER, 2022

PROFESSIONAL CIVIL ENGINEER
STATE OF TENNESSEE CERTIFICATE NO. 00110070



ELLENDALE HIGHWAY
SUBDIVISION, BLOCK A
VIRGINIA NORMAN
6.856 ACRES
INST. # 11064168

OWNER'S CERTIFICATE:

WE, JOEL AND SHEILA McCABE, OWNERS OF THE PROPERTY SHOWN HEREON, HEREBY ADOPT THIS PLAT AS OUR PLAN OF SUBDIVISION, AND DEDICATE THE STREETS, RIGHTS-OF-WAYS, EASEMENTS, AND RIGHTS OF ACCESS AS SHOWN AND/OR DESCRIBED TO THE PUBLIC USE FOREVER, AND HEREBY CERTIFY THAT WE ARE THE OWNERS IN FEE SIMPLE, DULY AUTHORIZED TO ACT AND THAT SAID PROPERTY IS UNENCUMBERED BY ANY TAXES WHICH HAVE BECOME DUE AND PAYABLE.

JOEL & SHEILA McCABE

DATE

BOARD OF MAYOR AND ALDERMAN CERTIFICATE:

I, _____, HEREBY CERTIFY THAT ALL REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED OR THAT A PERFORMANCE BOND OR OTHER COLLATERAL IN SUFFICIENT AMOUNT TO ASSURE COMPLETION OF ALL REQUIRED IMPROVEMENTS HAS BEEN POSTED FOR THE SUBDIVISION SHOWN ON THIS PLAT AND ARE HEREBY APPROVED BY THE CITY OF BARTLETT, TENNESSEE.

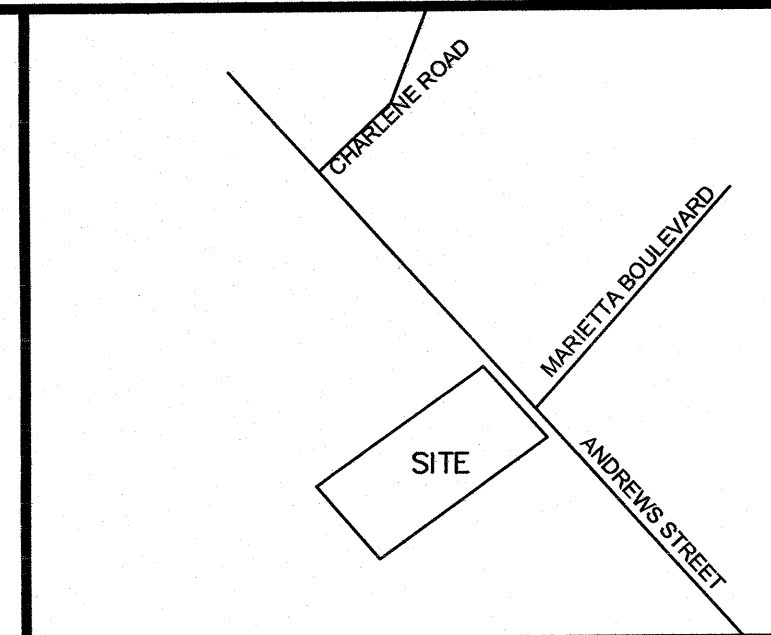
DATE _____ MAYOR
CITY OF BARTLETT

PLANNING COMMISSION CERTIFICATE

I, _____, DO HEREBY CERTIFY THAT THE CITY OF BARTLETT PLANNING COMMISSION HAS APPROVED THIS PLAT OF SUBDIVISION FOR RECORDING.

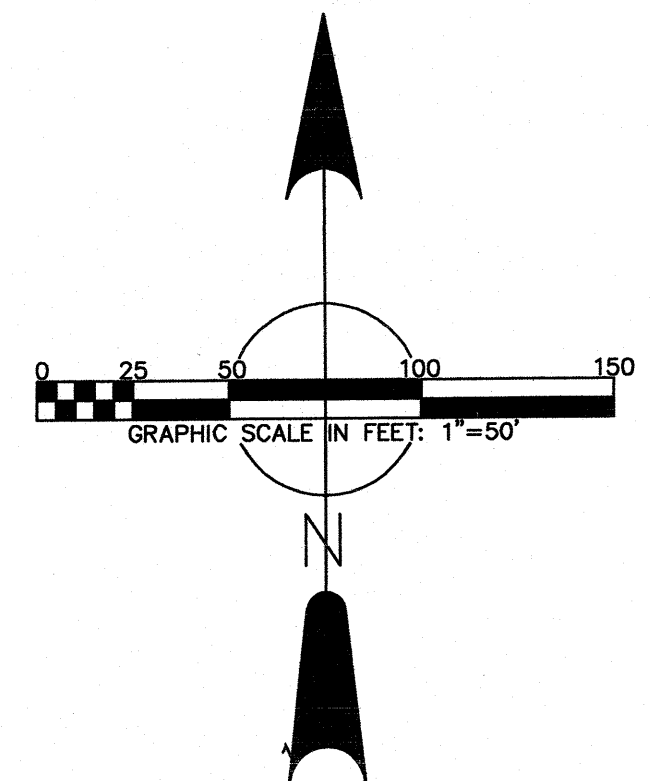
DATE _____ SECRETARY
BARTLETT PLANNING COMMISSION

VICINITY MAP, N.T.S.



NOTES :

- SETBACKS
A. MIN. FRONT- 50 FEET
B. MIN. SIDE YARD- 12 FEET
C. MIN. REAR- 35 FEET
- THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA PER FEMA FLOOD MAP #47157C0302G FEBRUARY 6, 2013
- IF SETTLEMENT OCCURS ALONG ANY OF THE THE PUBLIC EASEMENTS WITHIN THE PRIVATE PROPERTY, THE OWNER SHALL BE RESPONSIBLE FOR ALL REPAIRS. IN THE EVENT THAT "PUBLIC WORKS" HAS TO EXCAVATE TO REPAIR A LEAK IN A PUBLIC LINE, "PUBLIC WORKS" SHALL BE RESPONSIBLE FOR EXCAVATION, BACKFILL, COMPACTION AND BRINGING THE AFFECTED AREA UP TO GRADE WITH APPROPRIATE SUB-BASE MATERIAL, BUT THE OWNER SHALL BE RESPONSIBLE FOR ALL FINISH WORK INCLUDING, BUT NOT LIMITED TO ASPHALT, CONCRETE AND LANDSCAPING.
- DRIVEWAYS AND OTHER PERMANENT STRUCTURES/IMPROVEMENTS SHALL NOT BE PLACED IN SEWER, WATER, OR DRAINAGE EASEMENTS OR OVER SEWER AND WATER SERVICES LOCATED ON PRIVATE PROPERTY.
- THE CITY SHALL HAVE INGRESS/ EGRESS RIGHTS TO USE PRIVATE DRIVES AND YARDS FOR THE PURPOSE OF MAINTAINING ALL PUBLIC UTILITIES AND SHALL BEAR NO RESPONSIBILITY FOR THE MAINTENANCE OF SAID DRIVES AND YARDS.
- ALL NEW UTILITIES SHALL BE UNDERGROUND.



STATE OF TENNESSEE
COUNTY OF SHELBY

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC, IN AND FOR SAID STATE AND COUNTY AT MEMPHIS, DULY COMMISSIONED AND QUALIFIED, PERSONALLY APPEARED _____ WITH WHOM I AM PERSONALLY ACQUAINTED AND WHO UPON OATH ACKNOWLEDGED THAT HE EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED AS HIS OWN FREE ACT AND DEED.

WITNESS MY HAND AND NOTARIAL SEAL, THIS _____ DAY OF _____, 2024.

MY COMMISSION EXPIRES _____ NOTARY PUBLIC

STATE OF TENNESSEE
COUNTY OF SHELBY

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC, IN AND FOR SAID STATE AND COUNTY AT MEMPHIS, DULY COMMISSIONED AND QUALIFIED, PERSONALLY APPEARED _____ WITH WHOM I AM PERSONALLY ACQUAINTED AND WHO UPON OATH ACKNOWLEDGED THAT HE EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED AS HIS OWN FREE ACT AND DEED.

WITNESS MY HAND AND NOTARIAL SEAL, THIS _____ DAY OF _____, 2024.

MY COMMISSION EXPIRES _____ NOTARY PUBLIC

SHEET 1 OF 1
PRELIMINARY PLAT/FINAL PLAT
RE-SUBDIVISION OF LOTS 51 & 52
ELLENDALE HIGHWAY SUBDIVISION (P.B. 9, PG. 90)
BARTLETT, TENNESSEE

JOEL & SHEILA McCABE
7215 ANDREWS ROAD
BARTLETT, TN 38135

OWNER/DEVELOPER

THE BRAY FIRM
2950 STAGE PLAZA NORTH
BARTLETT, TN 38134
901-383-8668

ENGINEER

DATE: MARCH 2024 SCALE: 1"=50' LOTS: 2 1.95 ACRES ZONED: RS-18

Bartlett Planning and
Economic Development Department
6382 Stage Road, P.O. Box 341148
Bartlett, TN 38184-1148
901-385-6417 FAX 901-385-6419
www.cityofbartlett.org

Bartlett Planning Commission Application for Site Plan Approval

Project Name Calhoun Memorial Mission Center
Project Address 8069 Thorne Rd Bartlett 38002
Owner/Developer Contact Calhoun Memorial Temple Church
Edward L. Calhoun / Pastor Phone 901-573-6856
Company Name M + B Enterprise Inc - 901-372-1160 Fax -
Address 8026 N Westbrook Rd Bartlett, 38002
Email Address mbenterprise16@att.net
Architect Contact Martin Ewing Phone 901-494-4013
Company Name Home Design - Building Consultant Fax -
Address 715 Walnut Bend Dr - ARLINGTON 38002
Email Address martin@houseplansmde.com
Engineer Contact Michael Stephens Phone 901-684-1112
Company Name Broug + Stephens Fax 901-684-1114
Address 5050 Poplar Ave #1020 Memphis 38159
Email Address broughands@aol.com

Submitted by Drenda Walls (printed name) [Signature] (signature) 10/27/23 (date)
Email Address mbenterprise16@att.net Phone 901-413-8732 Fax -

- BW Acknowledge (by initials in the blank to the left) that the "Application Instructions: Planning Commission" were obtained and read prior to submitting this application.
- ☒ The "Site Plan Checklist" has been completed and required all items have been provided. (See reverse page/or attached checklist)
- ☒ Provide 10 18-folded ($\pm 10" \times 13"$) sets of plans with a copy of the signed application attached to each set.
- ☒ Provide an electronic PDF file of the plans. Note that an updated electronic file is required when plans are revised. The electronic file shall be labeled with the project name and accurately dated.
- ☐ Without Contract: Include a fee of \$400.00 with this application (check payable to the City of Bartlett).
- ☒ With Contract: Include a fee of \$500.00 with this application (check payable to the City of Bartlett).

The fee is non-refundable. Approval may be granted to the entire development for construction purposes, or approval may be granted by stages. Any unauthorized deviation from the approved Site Plan shall constitute a violation of the Building Permit. If the site is subject to the Subdivision process, all requirements of the Subdivision Ordinance must be met.

I, the property owner(s) hereby authorize the filing of this application.

Edward L. Calhoun
(print name)

[Signature]
(signature)

10/27/23
(date)

Updated 7/1/2023

Page 1 of 2

OCT 30 2023

CITY OF BARTLETT

Site Plan Checklist

The site plan package shall include the information below, with dimensions as necessary to show compliance with the Zoning Ordinance and to locate required features:

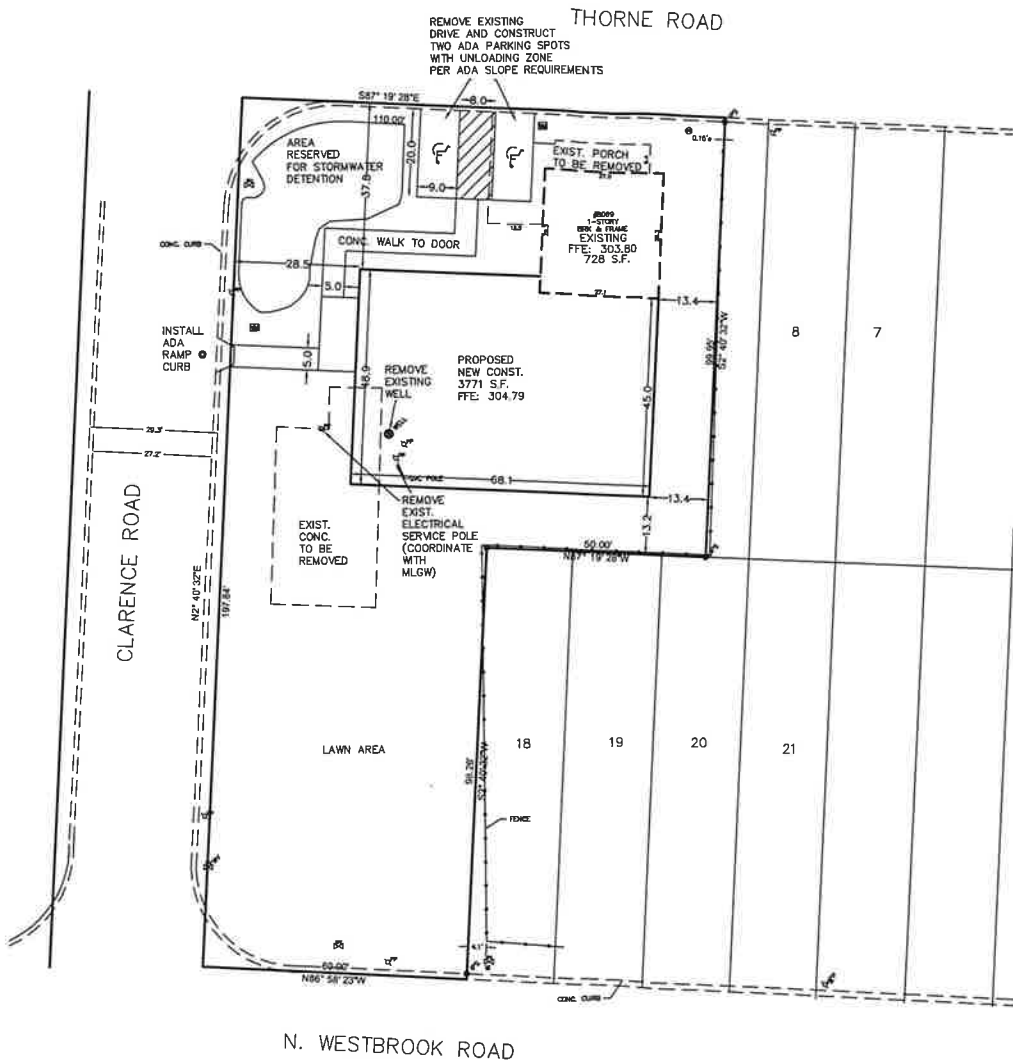
- ☒ a. The proposed development's name and location, the name(s) and address(es) of the owner(s), and the name of the designer of the site plan.
- ☒ b. A site location (vicinity) map.
- ? ☒ c. Date, north point and *graphic* scale. Draw to scale on sheets **no larger than 24" x 36"**. Scale shall be no smaller than 1" = 100' and large enough to show required detail clearly and distinctly. Use an engineer's scale. An architect's scale may be used for building elevations.
- ☒ d. The locations of existing and platted property lines and any existing streets, buildings, easements, etc.
- ~~N/A~~ ☒ e. The locations and dimensions of proposed streets, buildings, easements, lot lines and other site plan features.
- ☒ f. The proposed types of uses and their locations, height of buildings, arrangement, lot coverage, yards and open spaces.
- ☒ g. A grading and drainage plan that has provisions for detention. Also, provide flood hazard details when applicable.
- ☒ h. Floor area of proposed buildings or building additions (each floor, in square feet).
- ☒ i. Proposed off-street parking with parking spaces shown and dimensioned.
- ~~N/A~~ ☒ j. Landscaping and screening plan, evidence of compliance with required landscaping.
- ☒ k. Table on the landscape plan showing compliance with the Tree Ordinance.
- ☒ l. Other information as may be required by the Planning Commission.
- ~~N/A~~ ☒ m. A tree survey by a certified arborist is required if there are trees larger than 6" in diameter on the site.
- ~~N/A~~ ☒ n. A tree protection plan that is signed by a surveyor and arborist showing trees to be removed and saved is required.
- ~~N/A~~ ☒ o. Erosion control plan.
- ☒ p. Location of sewer and water services and water meter sizes.
- ☒ q. The applicant must provide one PDF file of the pictorial portion of the site plan (and also one of any separate landscaping plan), for display at the Planning Commission meeting.

Plans shall be sealed, signed and dated by an engineer that is registered in the State of Tennessee.

INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED

NOTES :

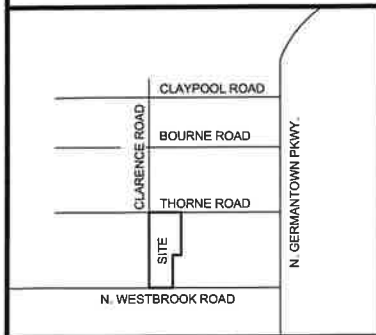
1. THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA PER FEMA FLOOD MAP #47157C0195G FEBRUARY 5, 2013.
2. IF SETTLEMENT OCCURS ALONG ANY OF THE THE PUBLIC EASEMENTS WITHIN THE PRIVATE PROPERTY, THE OWNER SHALL BE RESPONSIBLE FOR ALL REPAIRS. IN THE EVENT THAT "PUBLIC WORKS" HAS TO EXCAVATE TO REPAIR A LEAK IN A PUBLIC LINE, "PUBLIC WORKS" SHALL BE RESPONSIBLE FOR EXCAVATION, BACKFILL, COMPACTION AND BRINGING THE AFFECTED AREA UP TO GRADE WITH APPROPRIATE SUB-BASE MATERIAL, BUT THE OWNER SHALL BE RESPONSIBLE FOR ALL FINISH WORK INCLUDING, BUT NOT LIMITED TO ASPHALT, CONCRETE AND LANDSCAPING.
3. DRIVEWAYS AND OTHER PERMANENT STRUCTURES/IMPROVEMENTS SHALL NOT BE PLACED IN SEWER, WATER, OR DRAINAGE EASEMENTS OR OVER SEWER AND WATER SERVICES LOCATED ON PRIVATE PROPERTY.
4. THE CITY SHALL HAVE INGRESS/ EGRESS RIGHTS TO USE PRIVATE DRIVES AND YARDS FOR THE PURPOSE OF MAINTAINING ALL PUBLIC UTILITIES AND SHALL BEAR NO RESPONSIBILITY FOR THE MAINTENANCE OF SAID DRIVES AND YARDS.
5. ALL NEW UTILITIES SHALL BE UNDERGROUND.



SITE DATA:

PROPOSED USE: WORSHIP CENTER
SITE AREA: 0.39 ACRES
BUILDING SIZE: 4499 S.F. (TOTAL)
FAR: 0.26
REQUIRED GREENSPACE: 35%
PROVIDED GREENSPACE: 68%
PARKING PROVIDED: 2 ADA SPACES

VICINITY MAP n.t.s.



Pavement recommendations:

The recommendations for pavement sections are as follows:
FLEXIBLE PAVEMENT
HEAVY DUTY PAVEMENT:
1.0 inches wearing course Hot Mix Asphalt Concrete
2.0 inches binder course Hot Mix Asphalt Concrete
6.0 inches Soil Cement Base or
10.0 inches Crushed Stone Base
LIGHT DUTY PAVEMENT (parking area):
1.0 inches wearing course Hot Mix Asphalt Concrete
2.0 inches binder course Hot Mix Asphalt Concrete
6.0 inches Soil Cement Base or
6.0 inches Crushed Stone Base
RIGID PAVEMENT:
HEAVY DUTY:
6.0 inches Portland Cement Concrete
6.0 inches Granular Sub Base
LIGHT DUTY:
3.0 inches Portland Cement Concrete
6.0 inches Granular Sub Base (optional)
Dumpster areas and truck loading areas shall have 7.0 inches

RECEIVED

MAR 04 2024

CITY OF BARTLETT

REVISIONS		
ITEM NO.	DESCRIPTION OF CHANGE	DATE APPROVED
CALHOUN MISSION CENTER 8069 THORNE ROAD DEVELOPER: EDWARD CALHOUN ENGINEER: THE BRAY FIRM		



SITE PLAN
BARTLETT, TENNESSEE

SURVEY: ASHWORTH
DESIGN: TBF
DATE: 3-2024
REVIEWED BY:
CITY ENGINEER: DATE:

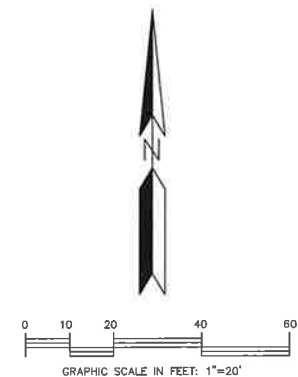
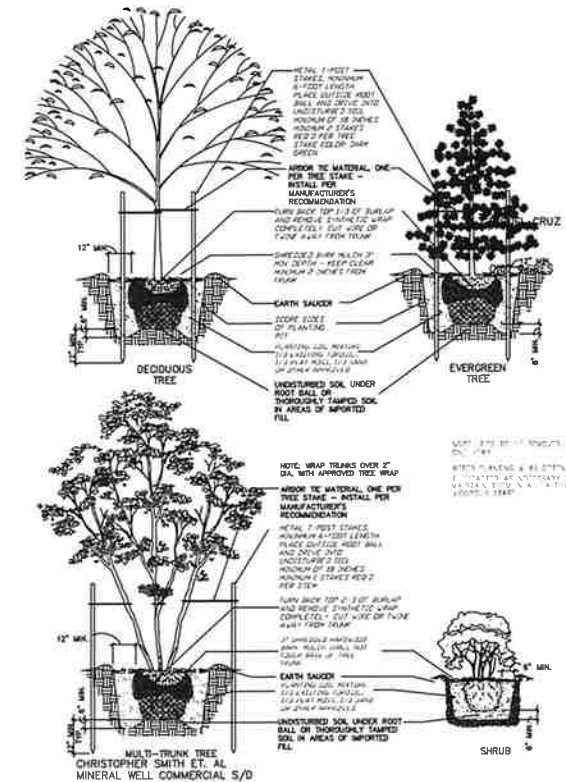
1. Plants shall be nursery grown and material shall conform to the latest edition of American Standard for nursery stock (ANSI-S60.1), as published by the American Association of Nurserymen.
2. Roots shall conform to A.A.N. Standards. Only natural fiber burlap will be acceptable for wrapping.
3. Ball depths on some trees in a single group may vary. In general, ⅓ the ball should be above grade. But, if depths vary, all trees in a group should set so that the base of the trunks will appear to be at the same relative elevation above grade.
4. Plant locations to be specified and approved by Owner prior to installation.
5. Planting plans shall govern quantities. Any discrepancies or omissions in lists of materials should be reported to the Owner.
6. Substitution of plant materials specified can only occur by prior approval of Owner and the City of Bartlett.
7. The landscape contractor shall furnish, install and/or dig, ball, burlap and transplant all plant materials listed on the plant schedule. Bareroot planting is not permitted for any tree or shrub.
8. Endeavor Contractor to guarantee plant materials for two growing seasons following substantial completion per specifications.
9. Establish plant bed configurations. Owner to approve bed layout in field. Prepare plant beds per specifications.
10. In event of planting beds and mulch being required, the contractor shall install black fiber mesh under the mulch to prevent weed growth.
11. Contractor shall provide a minimum 2" of landscape grade topsoil to the entire site.
12. Verification of total quantities as shown on the plant list shall be the responsibility of the planting contractor and the total quantities shall be as required on the planting plan.
13. B&B as Listed under "Root" in the plant list indicated balled and burlapped.
14. All plants shall bear the same relationship to finished grade as it bore to grade in nursery.
15. Typical planting backfill mixture shall consist of 1 part ground pine bark to 4 parts existing soil with "Agriform" 20-1-5 formulation (or equal) at manufacturer's rate.
16. All root balls removed from containers shall be scanned prior to backfilling.
17. No wrap is to be used on this bark species only (such as maples). The landscape architect shall be sole judge of which species should be wrapped if there is any question.
18. No deciduous or evergreen trees will be accepted if there is more than one leader unless the tree is specified as multi-trunk.
19. Lawn areas: to be seed as provided below, except as noted elsewhere on drawing.
20. Seeds of common Bermuda grasses are often used to establish home lawns, sports fields and utility turfs. Bermuda grass seed blends include Enviro-Bermuda ("Blackhawk," "Sydney" and "Panama" varieties), LaPrima ("SR5554" and "LaPaloma"), Oasis ("Blackjack," "Savannah" and "Sundevil") and Triangle ("Mohawk," "Sultan" and "Sydney").
21. Seeding Schedule:

Fall/Winter (Oct-Mar)	Spring/Summer (Apr-Sept)
75% Cold Water Bermuda Grass Seed	100% Blended Hulled Bermuda Grass Seed
25% Gulf Coast Paspalum	
5-20 lbs per 1,000 Square Feet	2-3 lbs/1,000 Square Feet
22. Lawn areas damaged by Contractor shall be reseeded and established at no additional cost to owner.

[illegible]

The map shows a grid of roads. N. Westbrook Road runs horizontally across the bottom. Clarence Road runs vertically, intersecting N. Westbrook Road. To the right of Clarence Road, there are three horizontal roads: Claypool Road, Bourne Road, and Thorne Road. To the right of these roads is a curved road labeled N. Germantown Pkwy. A small rectangular area on Clarence Road, just north of N. Westbrook Road, is labeled 'SITE'.

SYM	QTY	Common Name	Botanical Name	Size	Species	Remarks
2G	6	Emerald Green Arborvitae	<i>Thuja occidentalis</i>	6-feet ht.	30" o.c.	Dense
DB	4E	Dwarf Burford Holly	<i>Ilex cornuta</i> Dwarf Burford	3-feet ht.	3' o.c.	Dense
GM	2G	Green Mountain Rosehol	<i>Burns Green Mountain</i>	3-feet ht.	5' o.c.	Dense
AB	2I	Alsea	<i>Karwinskops Alsea</i>	3-feet ht.	3' o.c.	Dense

[illegible]

DIVISION OF ENGINEERING

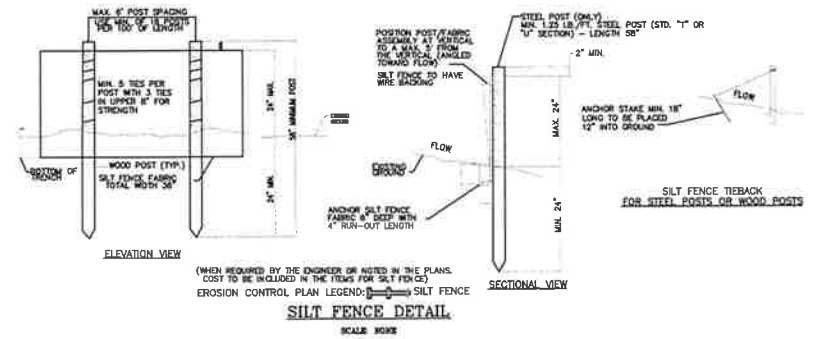
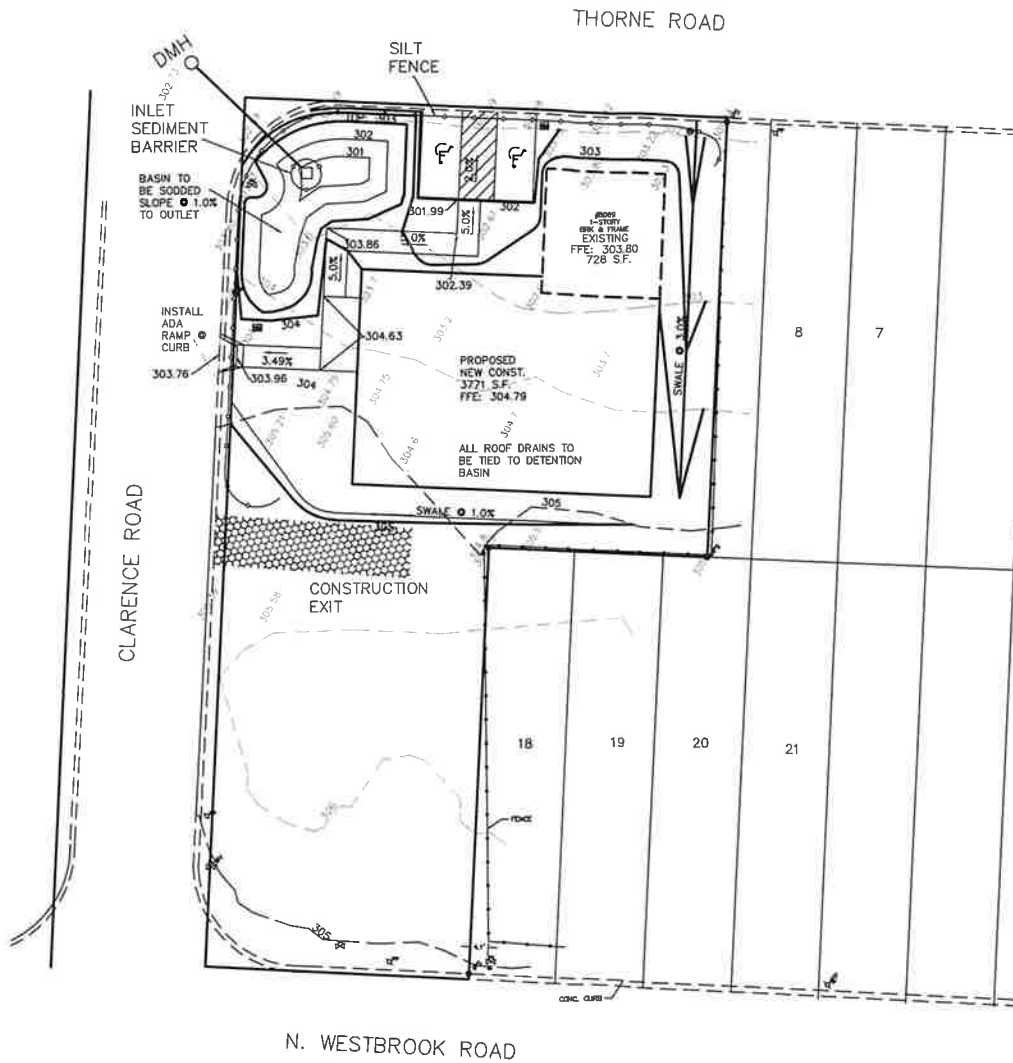
LANDSCAPE PLAN
BARTLETT, TENNESSEE

SURVEY: ASHWORTH
DESIGN: TBF DATE: 3-2024 SCALE 1"=20'
REVIEWED BY

CITY ENGINEER _____ DATE _____

NOTES :

1. THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA PER FEMA FLOOD MAP #47157C0195G FEBRUARY 5, 2013.
2. IF SETTLEMENT OCCURS ALONG ANY OF THE THE PUBLIC EASEMENTS WITHIN THE PRIVATE PROPERTY, THE OWNER SHALL BE RESPONSIBLE FOR ALL REPAIRS. IN THE EVENT THAT "PUBLIC WORKS" HAS TO EXCAVATE TO REPAIR A LEAK IN A PUBLIC LINE, "PUBLIC WORKS" SHALL BE RESPONSIBLE FOR EXCAVATION, BACKFILL, COMPACTION AND BRINGING THE AFFECTED AREA UP TO GRADE WITH APPROPRIATE SUB-BASE MATERIAL, BUT THE OWNER SHALL BE RESPONSIBLE FOR ALL FINISH WORK INCLUDING, BUT NOT LIMITED TO ASPHALT, CONCRETE AND LANDSCAPING.
3. DRIVEWAYS AND OTHER PERMANENT STRUCTURES/IMPROVEMENTS SHALL NOT BE PLACED IN SEWER, WATER, OR DRAINAGE EASEMENTS OR OVER SEWER AND WATER SERVICES LOCATED ON PRIVATE PROPERTY.
4. THE CITY SHALL HAVE INGRESS/ EGRESS RIGHTS TO USE PRIVATE DRIVES AND YARDS FOR THE PURPOSE OF MAINTAINING ALL PUBLIC UTILITIES AND SHALL BEAR NO RESPONSIBILITY FOR THE MAINTENANCE OF SAID DRIVES AND YARDS.
5. ALL NEW UTILITIES SHALL BE UNDERGROUND.



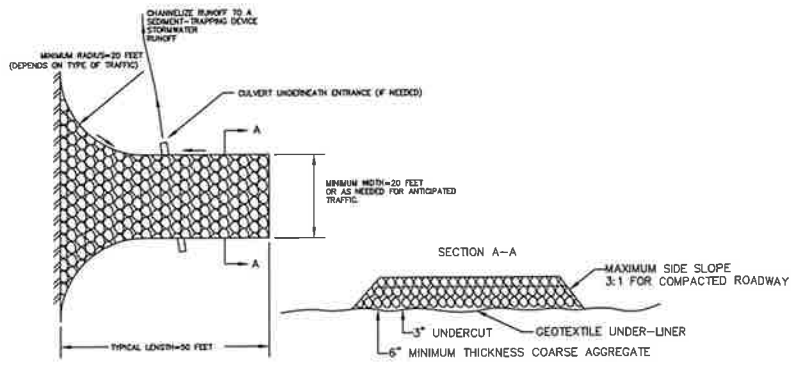
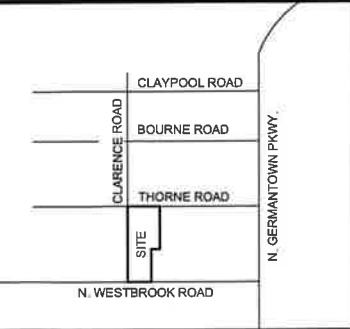
- EROSION CONTROL NOTES:
1. EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE AND FUNCTIONAL PRIOR TO COMMENCEMENT OF EARTH MOVING OPERATIONS.
 2. ALL EROSION AND SEDIMENT CONTROL MEASURES MUST BE PROPERLY CONSTRUCTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
 3. CHECK ALL EROSION AND SEDIMENT CONTROL MEASURES PER TDEC TWICE WEEKLY AT LEAST 72 HOURS APART. DAILY CHECKING IS REQUIRED DURING PROLONGED RAINFALL. MAINTAIN A PERMANENT LOG OF CHECKS AND MAINTENANCE MEASURES.
 4. KEEP CONSTRUCTION DEBRIS FROM ENTERING STORM SEWER.
 5. PROMPTLY BACKFILL AND STABILIZE TRENCHES AND/OR PITS.
 6. DESIGNATE A SPECIFIC INDIVIDUAL (MUST BE TDEC LEVEL 1 CERTIFIED) TO BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROLS AND TO KEEP THE PERMANENT LOG.
 7. EROSION CONTROLS ARE NOT LIMITED TO THE SPECIFIED PRACTICES, HOWEVER, ALTERNATIVE MEASURES MUST BE AT LEAST AS EFFECTIVE IN CONTROLLING EROSION AND SEDIMENTATION.
 8. RE-VEGETATION OF EXPOSED GROUND SHOULD BEGIN AS SOON AS CONSTRUCTION IS COMPLETED.
 9. INSTALL STAKED AND ENTRENCHED SILT FENCE ALONG THE BASE OF ALL BACKFILLS AND CUTS, ON THE DOWNHILL SIDE OF STOCKPILED SOIL, AND ALONG DITCH BANKS IN CLEARED AREAS TO PREVENT EROSION INTO DITCHES, DO NOT PLACE SILT FENCE IN FLOWING DITCH.

DISTURBED AREA: 0.3 ACRES

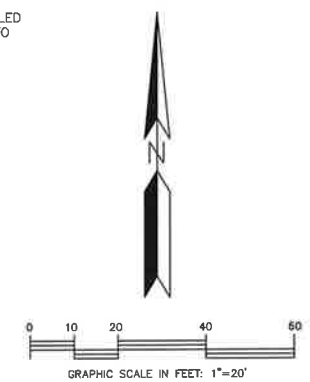
NOTE TO DEVELOPER AND CONTRACTOR:

1. STATE NPDES PERMITS ARE NOT REQUIRED PRIOR TO LAND DISTURBANCE
2. IF FULL IMPLEMENTATION OF THIS PLAN DOES NOT PROVIDE EFFECTIVE SEDIMENT CONTROL AND EROSION PROTECTION, ADDITIONAL MEASURES MAY BE REQUIRED.

VICINITY MAP n.t.s.



REVISIONS		
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CALHOUN MISSION CENTER 8069 THORNE ROAD DEVELOPER: EDWARD CALHOUN ENGINEER: THE BRAY FIRM		



DIVISION OF ENGINEERING

EROSION CONTROL PLAN

BARTLETT, TENNESSEE

SURVEY: ASHWORTH
DESIGN: TBF
CITY ENGINEER

DATE: 3-2024
REVIEWED BY
DATE

SCALE 1"=20'

1. THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA PER FEMA FLOOD MAP #47157C0195G FEBRUARY 5, 2013.
2. IF SETTLEMENT OCCURS ALONG ANY OF THE THE PUBLIC EASEMENTS WITHIN THE PRIVATE PROPERTY, THE OWNER SHALL BE RESPONSIBLE FOR ALL REPAIRS. IN THE EVENT THAT "PUBLIC WORKS" HAS TO EXCAVATE TO REPAIR A LEAK IN A PUBLIC LINE, "PUBLIC WORKS" SHALL BE RESPONSIBLE FOR EXCAVATION, BACKFILL, COMPACTION AND BRINGING THE AFFECTED AREA UP TO GRADE WITH APPROPRIATE SUB-BASE MATERIAL, BUT THE OWNER SHALL BE RESPONSIBLE FOR ALL FINISH WORK INCLUDING, BUT NOT LIMITED TO ASPHALT, CONCRETE AND LANDSCAPING.
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5. ALL NEW UTILITIES SHALL BE UNDERGROUND.

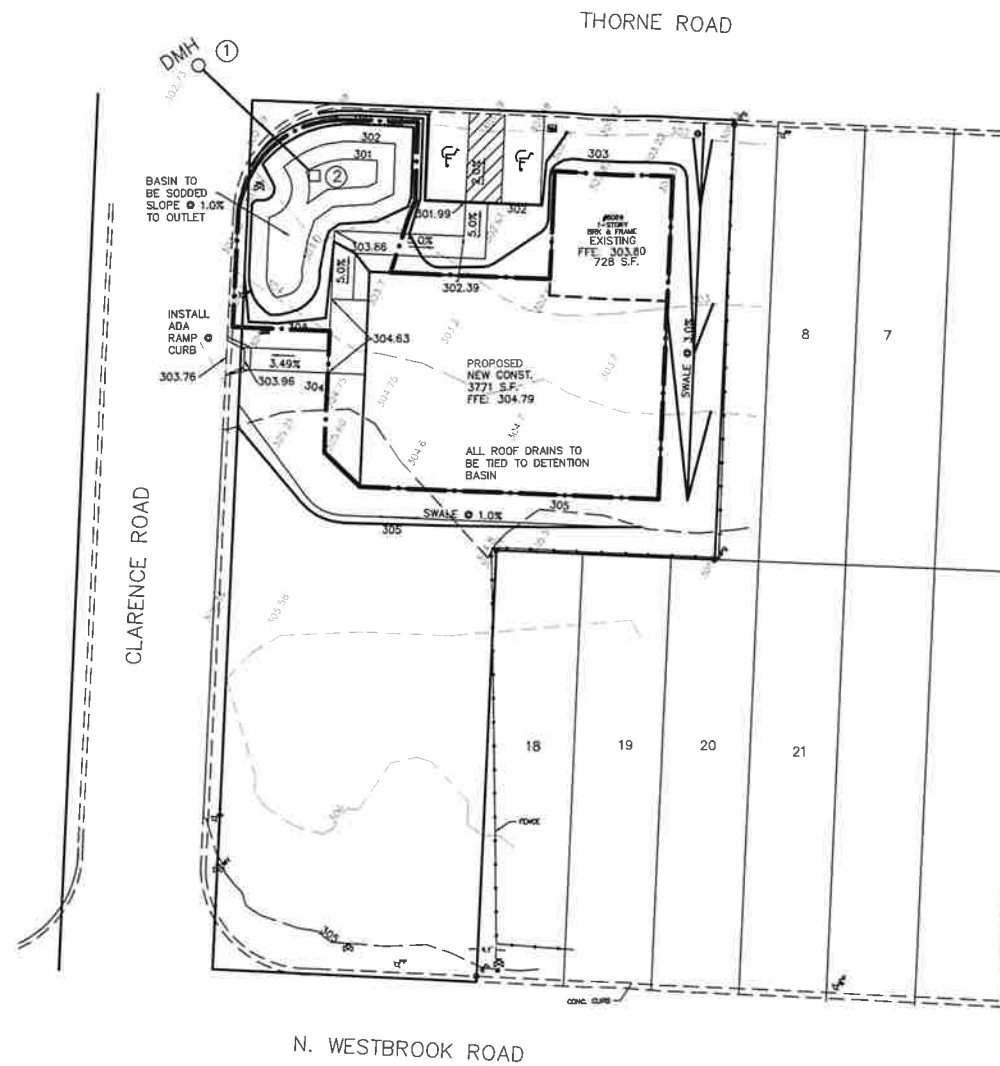
STRUCTURE		AREA	Q25	ITEM	
#	TYPE	sq.	cfs		
1	EXIST. DMH	NA	NA	EXIST. 18" PROP. 15" TOP	295.83 299.48 302.73
2	3x3 INLET (SEE DETAIL)	0.14	0.30*	15" THROAT	300.47 302.50

FROM #	TO #	DIA. in.	LENGTH ft.	SLOPE %	AREA ac.	Qd cfs	Qc cfs	V10 f/s		
2	300.47	1	299.48	15"	33	3.00	0.14	0.30*	11.1	9.1

DETENTION BASIN SUMMARY
DRAINAGE AREA: 0.14 ACRES (0.6 offsite)
Cpre=0.35 Tcpre=5 MIN.
Cpost=0.81 Tcpost=5 minutes

ELEV.	STORAGE CUFT	OUTFLOW CFS
300.50	0	0
301.00	25	0.05
302.00	324	0.24
302.50	700	0.37

RETURN YRS	ALLOWABLE	ACTUAL	STORAGE CUFT	W.S.E. FT
	FLOW CFS	OUTFLOW CFS		
2	0.29	0.22	290	301.89
5	0.32	0.25	359	302.05
10	0.36	0.27	418	302.13
25	0.41	0.30	510	302.25
100	0.49	0.36	660	302.45



A map showing the location of the site. The site is a small rectangular area located on the east side of N. Westbrook Road, south of Thorne Road. The map includes the following streets: Clarence Road, Bourne Road, Thorne Road, Claypool Road, N. Westbrook Road, and N. Germantown Pkwy. The site is labeled "SITE" and is situated between Thorne Road and N. Westbrook Road.

Diagram of the 302.50 box showing dimensions and features:

- COVER**: Located on the top face.
- FULL THROAT ALL SIDES 302.50**: Label pointing to the side of the box.
- 302.00**: Dimension for the height of the box.
- 0.05**: Dimension for the thickness of the box.
- 300.50**: Dimension for the width of the box.
- INLET CONTROL OPENING EAST SIDE ONLY**: Label pointing to the front face of the box.

REVIEWS		
ITEM NO.	DESCRIPTION OF CHANGE	DATE APPROVED



A horizontal graphic scale bar with markings at 0, 10, 20, 40, and 60 feet. Below the scale, the text reads "GRAPHIC SCALE IN FEET: 1"=20'".

DIVISION OF ENGINEERING

GRADING AND DRAINAGE PLAN

BARTLETT, TENNESSEE

BY: ASHWORTH
DATE: 3-2024
SCALE: 1"=20'

REVIEWED BY

CITY ENGINEER