



City of Bartlett
David Parsons, Mayor

DESIGN REVIEW COMMISSION AGENDA

Tuesday, September 17, 2024 – 6:30 P.M.

Bartlett City Hall Assembly Chamber

Opening Prayer

****Official Business of the Day****

Minutes of the Tuesday, July 16, 2024 Meeting

NEW BUSINESS

Site Plan

1. Chipotle, 6600 Stage Road (Shawna Fuhrman, Dungan Design Group)

Open Discussion

The public shall be provided an opportunity to address the Board or Commission during an Open Discussion period at the end of each regular and special meeting of the governing body. Prior to the start of the meeting, individuals will be required to complete and present to the Clerk the Open Discussion Citizen form provided at each meeting. The Open Discussion period for regular and special meetings of the Board or Commission shall be limited to twenty (20) minutes. Individuals shall be allowed to speak for up to three (3) minutes each. Open Discussion periods will not be held for any meeting where there are no actionable items on the agenda or meetings where the governing body is conducting a disciplinary hearing for a member of the governing body or a person whose profession or activities fall within the jurisdiction of the governing body.

Adjourn

DESIGN REVIEW COMMISSION
Tuesday, September 17, 2024 – 6:30 P.M.
Bartlett City Hall Assembly Chamber
Staff Comments

NEW BUSINESS

Site Plan

- 1. Chipotle, Stage Road West of Kirby Whitten Parkway (Taylor Webb, Rockfield Engineering, LLC)**

INTRODUCTION: Ms. Shawna Fuhrman with Dungan Design Group is requesting Design Review Commission approval of a Site Plan for Chipotle Restaurant with a drive-thru window. The subject property is located within the Stage Centre parking lot at 6600 Stage Road. The subject property is zoned "SC-1" Planned Unit Commercial Development.

BACKGROUND: On December 4, 2023, the Planning Commission approved a Site Plan for Chipotle on subject property. The details of the approved Site Plan were as follows:

Site Data	
Site Area:	21,403 square feet
Total Parking Spaces Removed:	48 regular spaces
Total Proposed New Parking Spaces:	22
Total Restaurant Required Parking Spaces	23
Handicap Accessible:	2
Regular:	21
Proposed Building Area:	2,330 square feet
Greenspace/Openspace Existing:	8.5%
Greenspace/Openspace Proposed:	11.8 %
Building Height:	one story

DISCUSSION: The specific request by the applicant is for the approval of a revised Site Plan to add a 2,230 square foot Chipotle restaurant with drive-thru. Chipotle will be located within Stage Centre, on a leased portion of the parking. Access to the site will be from shared ingress/egress access from both Stage Road and Kirby Whitten Road.

Elevations: The front of the building is the south elevation, which also serves as the main entrance to the building. The north elevation is the rear of the building. All four elevations of the building will consist of a brick façade, Endicott “Executive Ironspot.” The two soldier course rows will be “Dutch Gray Velour” by Beldon Brick. Each column will have a brick scent stripe in “Red Ironspot” by Endicott Brick. The soffit and coping will be painted to match the Beldon Brick “Dutch Gray Velour”. The storefront and windows frames will be charcoal aluminum with clear glass windows. Above the main entrance and the drive-thru window will be prefab metal canopies in “Knight’s Armor”. The west elevation features a metal tower at the drive-thru window with MBCI Panels in “Knight’s Armor”. The drive-thru window will be a “Dark Bronze” aluminum pass-thru window. The north elevation features an employee door, gas and electrical meters, and exterior roof ladder painted “Knight’s Armor”.

Landscaping: The majority of the proposed landscaping will be located around the perimeter of the property. The proposed landscape plantings are as follows: 2 “Overcup” Oaks, 5 “Little Girl” Magnolias, 20 “Eleanor Tabor” Indian Hawthorne, 14 “Miss Patricia” Holly, 9 Inkberry, and 255 square feet of “Tifway” 419 Bermuda.

Lighting: The proposed lighting will be 4 Hubble ASL2 4K LED black fixtures on a 25 foot black square pole will be lighting the parking lot. Under the two canopies, there will be 2 Paradigm AMC LED channel lights. Above the 3 entrances will be an Exitronix MLED1 5K LED light. The average foot candles for the site 4.1.

Mechanical: All mechanical units will be located on the roof screened by a parapet wall.

Dumpster Enclosure: The dumpster enclosure is located to the rear of the building in the northeast corner of the site. The dumpster enclosure will be finished in brick CMU to match the building.

Recommendation: Approval with Conditions.

Planning Comments:

1. The applicant is adding 22 new parking spaces. Of those, 10 parking spaces are intended to be shared with the shopping center. The remainder of the restaurant's required parking are the 11 existing spaces facing Stage Road.
2. The applicant is not removing greenspace due to the development occurring on existing asphalt.
3. Should the applicant want a ground sign along Stage Road, the applicant must revise their leased area to include property up to the Stage Road right-of-way. Also, with this revised lease the applicant will be responsible for the

supplementation and replacement of the landscaping in the Streetscape in perpetuity.

Planning Conditions:

1. The applicant shall include a site data table on the Site Plan.
2. The applicant shall identify all paint brands and colors on the exterior material legend.
3. Applicant shall provide dumpster enclosure building elevations. Staff recommends composite gate panels attached to a steel frame with steel drop pins.
4. All exterior lighting shall be 4,000 K.
5. The applicant shall include lighting cut sheets and lighting temps to the Photometric Plan.
6. Maximum height for the proposed light pole, base, and fixtures shall not exceed 25 feet in height from the top of grade. Applicant shall show the total proposed light pole height on the light base detail.
7. Staff recommends replacing the 2 "Overcup" Oak plantings with either Crape Myrtle, Chaste Tree, or Okame Cherry.
8. The applicant shall provide a tree protection plan showing which trees are to be removed and which trees are to be saved.
9. Applicant shall add Tree Density Unit Table to the landscape plan.
10. All proposed signage shall be submitted on a separate application to the Design Review Commission.
11. Irrigation is required for all planting on the landscape plan.
12. The commercial property owner will be responsible for landscape maintenance of the entire lot in perpetuity.
13. The owner/applicant shall identify all utilities on site by contacting Tennessee One Call at 811 before commencing any site work.
14. The owner/applicant shall be present at the meeting in order to make decisions relative to any changes that may be suggested by the Planning Commission.

Engineering Conditions:

General:

1. A Commercial Site Plan contract may be required and will be prepared by Engineering and submitted to the developer/engineer for review to cover the fees to be paid to the City of Bartlett.
2. Applicant/ Engineer shall provide a **digital set of drawing** files showing the sanitary sewer lines, drainage lines, lot lines and all improvements in AutoCAD format to dhubbard@cityofbartlett.org and ecampbell@cityofbartlett.org for use in the preparation of the Water Design Plan. This plan will be coordinated with the site design engineer to resolve any conflicts.
3. A SWPPP and a TDEC permit may be required and shall be submitted to TDEC and also to the City of Bartlett Engineering office.

4. All new utilities shall be underground.
5. Fire protection must be approved by the City of Bartlett Fire Marshall.
6. The 6" showing needs to be specified as 8" and must be Ductile Iron Pipe.
7. Correct all markups.
8. This site is part of Bartlett Ridge Commercial and built on existing parking lot.

Grading and Drainage Plan:

9. The building footprint is shown over an existing private drainage line. A new line shown to be installed to the north but there are no details on the removal or abandonment of the existing line and structures. It may be necessary to relocate the existing water in order to accommodate the drain pipe relocation.

Utility Plan:

10. A sewer cleanout shall be placed at the edge of the sewer easement to differentiate public from private.
11. The sewer line from the SMH to the cleanout must be SDR26.
12. If any sewer cleanout is located in a paved area, then it shall comply with the detail approved by Bartlett Codes, which involves a brass connections and a concrete collar.
13. Water main extension and fire hydrant are public and must follow City of Bartlett standards.
14. All water and sanitary crossings shall be encased if appropriate clearance cannot be achieved.
15. Water meters should be set just behind the curb.



DRC Site Plan Application Application

Date: 08/23/2024

Project Information

Property Address:	TBD Stage Road	Present Zoning:	
Project Name:		# of Lots:	1
Description:	Restaurant		

Applicant / Owner

Applicant Name:	Shawna Fuhrman	Owner Name:	Ray Gill
Company Name:	Dungan Design Group	Company Name:	Stage Centre LP
Address:	8826 Santa Fe Drive, Suite 304	Address:	8130 Macon Station, Suite 114
City, State, Zip:	Overland Park, KS 66210	City, State, Zip:	Cordova, TN 38018
Phone:	913-341-2466	Phone:	
Email:	sfuhrman@ddg.bz	Email:	

Architect / Engineer

Architect Contact:	Shawna Fuhrman	Architect Contact:	
Company Name:	Dungan Design Group	Company Name:	
Address:	8826 Santa Fe Drive, Suite 304	Address:	
City, State, Zip:	Overland Park, KS 66210	City, State, Zip:	
Phone:	913-341-2466	Phone:	
Email:	sfuhrman@ddg.bz	Email:	

I do hereby certify that the information contained herein is true and correct.

<u>Shawna Fuhrman</u>	<u>08/23/2024</u>
Name	Date

Site Plan Checklist

Bartlett Design Review Commission

The design of new buildings shall be compatible with the general character of the existing surroundings. Site plan applications will be reviewed for compatibility of landscaping, exterior materials, exterior colors, architectural style, scale, proportion, mass, and details. Diversity is acceptable to the extent that compatibility can be demonstrated. The applicant must explain the design to the Commission to demonstrate compatibility. A rendering and full, clear color exterior samples are required.

1. Basic Submittals

- ___ a. * Site plan.
- ___ b. * Building elevations (all four) and a color rendering of the building.
- ___ c. Floor area (square feet) in buildings.
- ___ d. One PDF file of items indicated herein by an asterisk (*), for display at the Design Review Commission meeting.

2. Landscaping

- ___ a. * Landscaping plan.
- ___ b. Identification of all existing trees, denoting those to remain and those to be removed; with grading shown to save trees where possible.
- ___ c. Proposed new trees, shrubs, and ground covers, shown graphically with plant common names and size.
- ___ d. Adequate landscape screening along property lines where required.
- ___ e. Grass strip between sidewalk and street curb.
- ___ f. Street trees on all commercial and residential site plans reviewed by the Commission, in accordance with the Bartlett Tree and Landscape Ordinance.
- ___ g. Parking lot planters.

3. Exterior Lighting

Provide details on the following:

- ___ a. Location

- ___ b. Height
- ___ c. Style of Fixtures
- ___ d. * Photometric Plan with design and arrangement to prevent intrusion on adjoining property and streets.
- ___ e. Bulb Temperature not to exceed 4K

4. Trash Collection Areas

- ___ a. Type and location indicated on plan.
- ___ b. Trash receptacles in accordance with Bartlett Codified Ordinance 17-103. (Ask for dumpster enclosure drawings.)

5. Gas And Electric Meters And Transformer Locations

- ___ a. Locations shown in rear of commercial project in accessible area.
- ___ b. Screening of all meters.
- ___ c. Water meter location.

6. Mechanical Units, Vents (Plumbing Heating, etc.).

- ___ a. Location
- ___ b. Screening required

7. Exterior Material

	Roofing	Exterior
___ a. Material	_____	_____
___ b. Colors	_____	_____
___ c. Large samples of colors and materials must be presented at the meeting.		

8. Plans shall be sealed, signed and dated by an architect or engineer that is registered in the State of Tennessee.

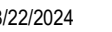
9. Owner must arrange for debris and mud to be kept from the streets during construction or the City will remove it and charge the owner.

Include a fee of \$ 400.00 with this application (check payable to the City of Bartlett).

INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED

1. STENCILS FOR PARKING MARKINGS AVAILABLE FROM PAVEMENT STENCIL COMPANY, PHONE: (800) 250-5547, EMAIL: STENCILS@PAVEMENTSTENCIL.COM
2. NOTE: ARCHITECTURAL SITE PLAN IS FOR REFERENCE ONLY. GC TO BUILD FROM CIVIL DRAWINGS. IF THERE IS A DISCREPANCY BETWEEN ARCHITECTURE AND CIVIL, CONTACT ARCHITECT IMMEDIATELY.
3. A GEOTECHNICAL ENGINEERING REPORT IS AVAILABLE FOR THIS SITE. THE GENERAL CONTRACTOR SHALL REQUEST THE REPORT FROM THE ARCHITECT AND SHALL PERFORM ALL RECOMMENDATIONS IN THE REPORT. NOTIFY THE ARCHITECT, STRUCTURAL ENGINEER, AND OWNER WITH ANY QUESTIONS.
4. ALL SITE WORK INCLUDING PAVING, CURBING, PARKING, PARKING LOT LIGHTING, SIDEWALKS, LANDSCAPING AND DUMPSTER ENCLOSURE ARE EXISTING U.N.O.

326 Santa Fe Drive Suite 304
Overland Park, KS 66212
913-341-2466

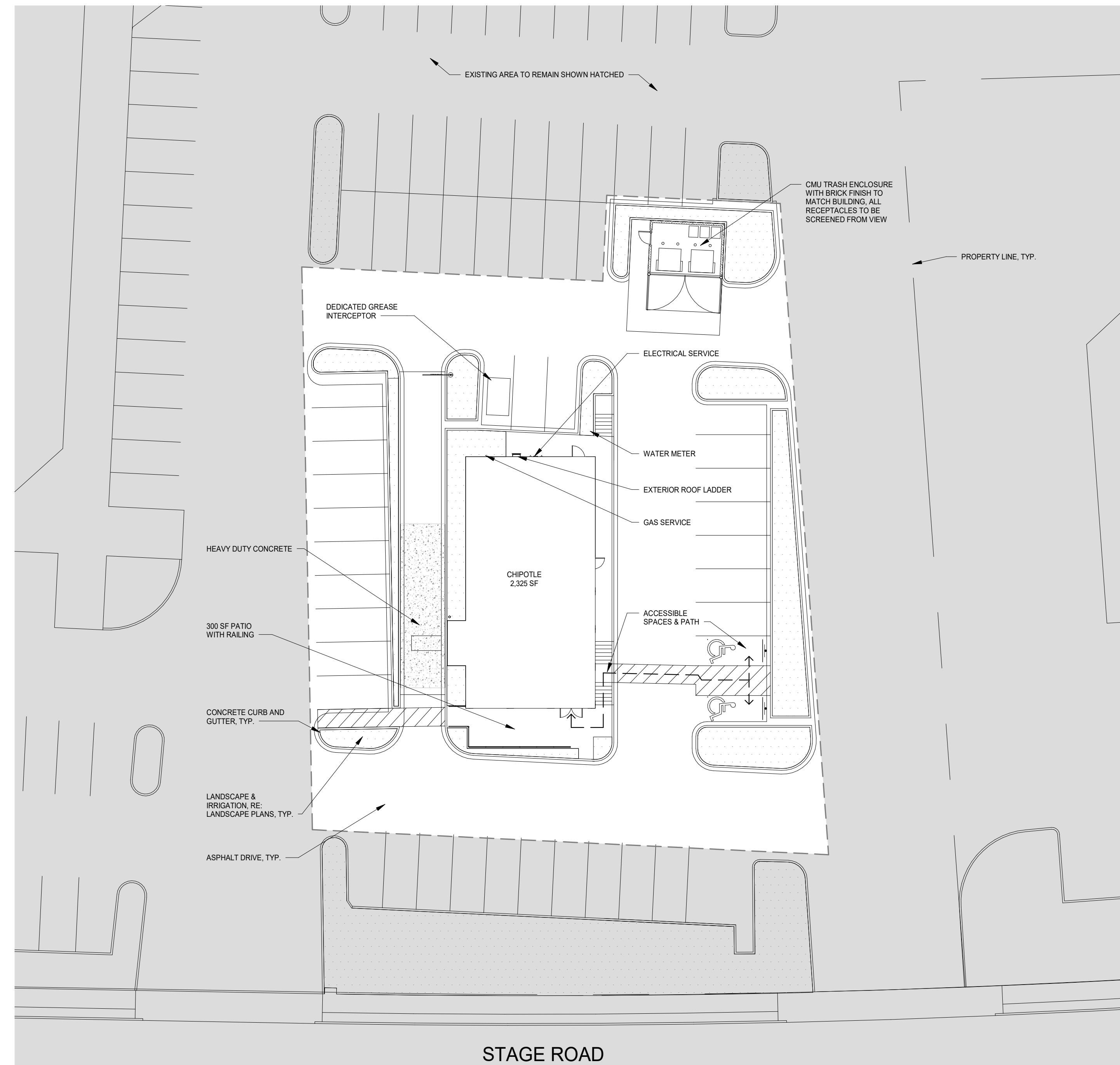


Shell Building
(Bartlett)
TBD Stage Rd.
Bartlett, TN 38134

[illegible]

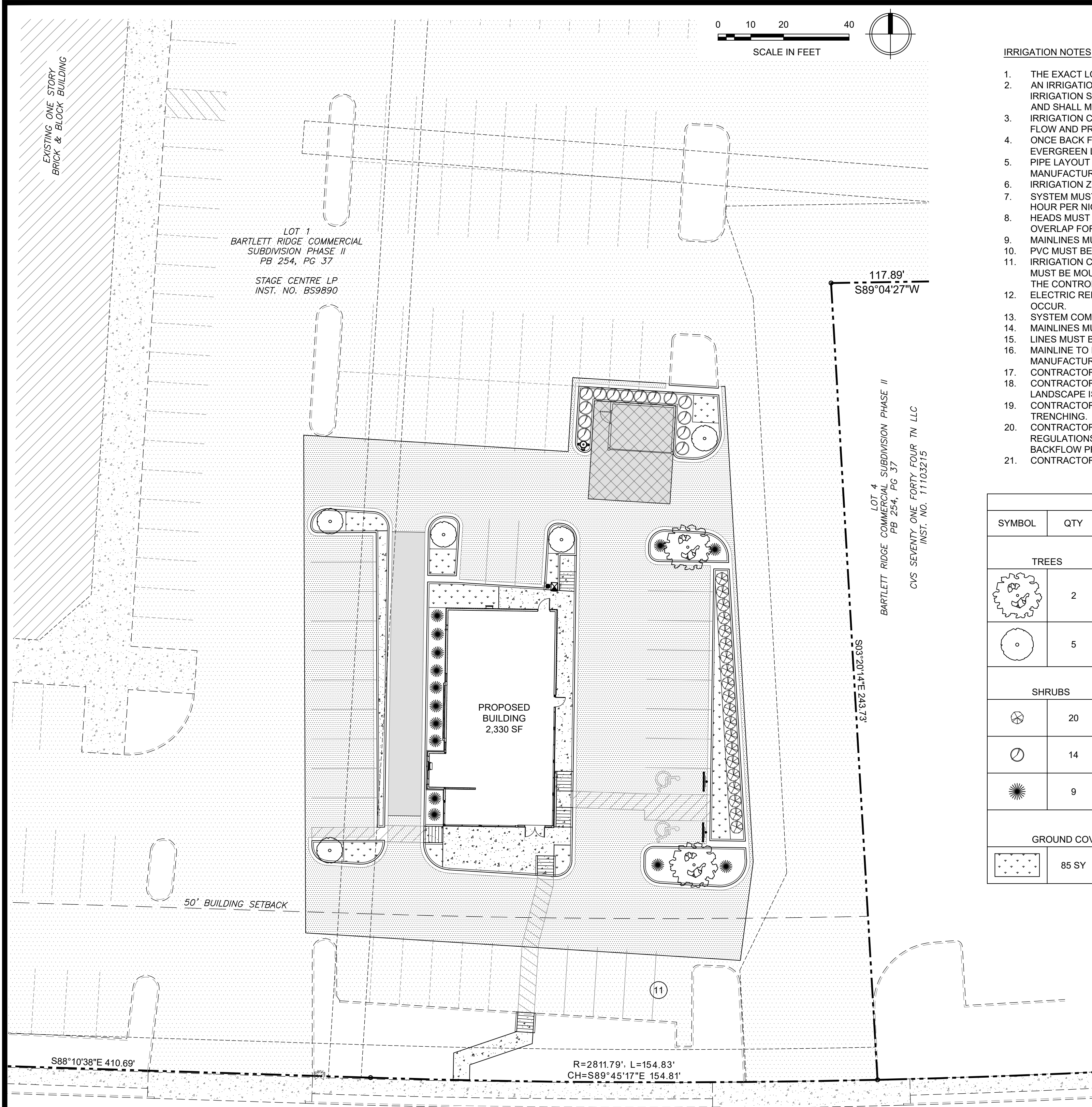
Architectural Site Plan

SP100



 1 ARCHITECTURAL SITE PLAN
1" = 20'-0"

Architectural Site Plan



LEGEND	EXISTING	PROPOSED
OVERHEAD ELECTRIC	---	OHE ---
DRAINAGE MANHOLE		
CURB INLET		
AREA INLET (2X4)		
FIRE HYDRANT		
POST INDICATOR VALVE		
WATER VALVE		
WATER METER		
GAS VALVE		
GAS METER		
ASPHALT PAVEMENT		
CONCRETE PAVEMENT		
CONCRETE SIDEWALK		

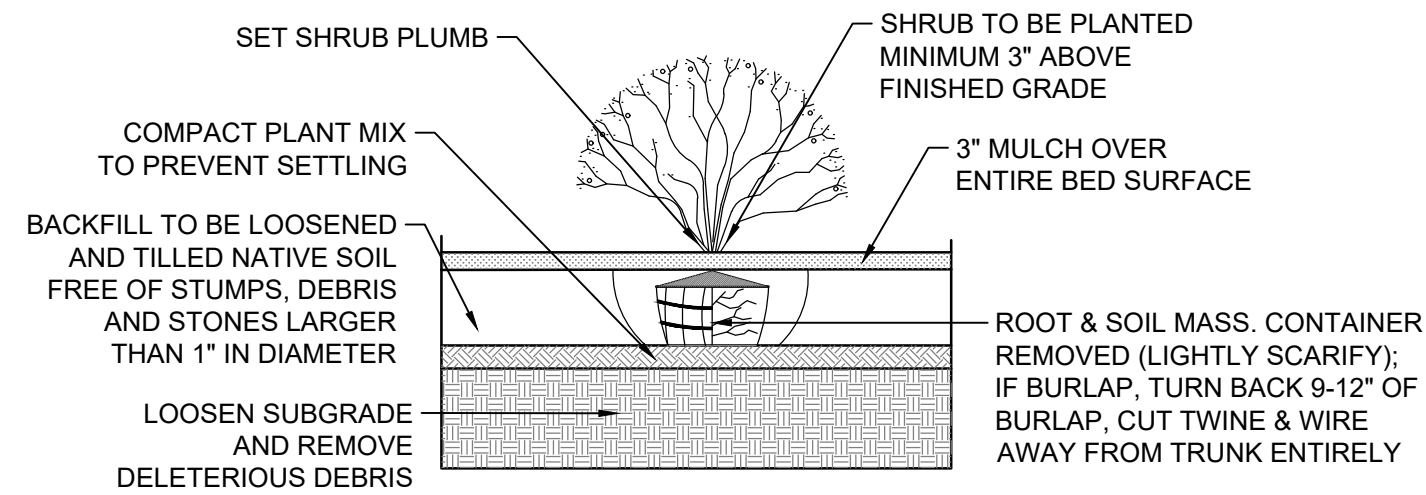
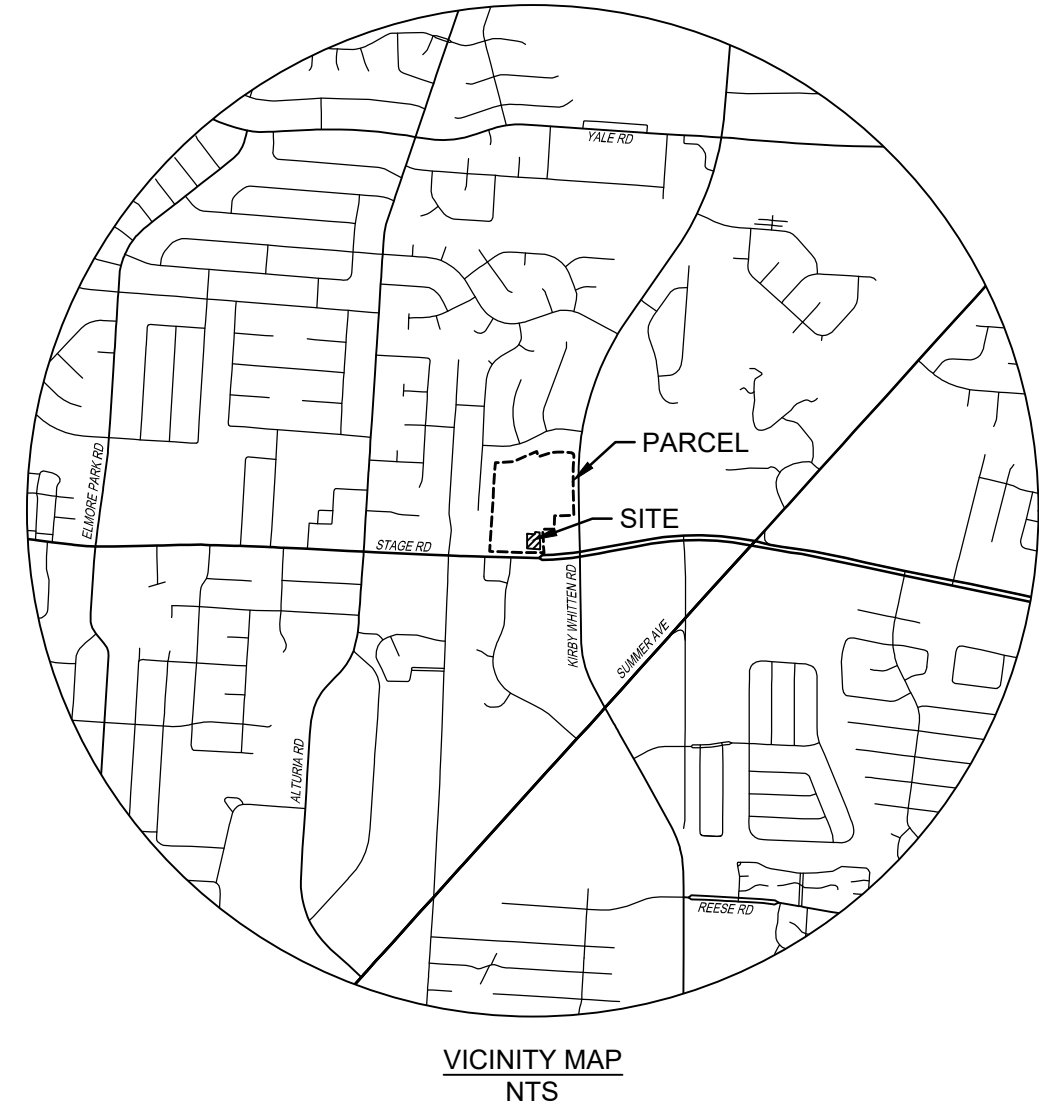
STAGE ROAD
(106' R.O.W.)



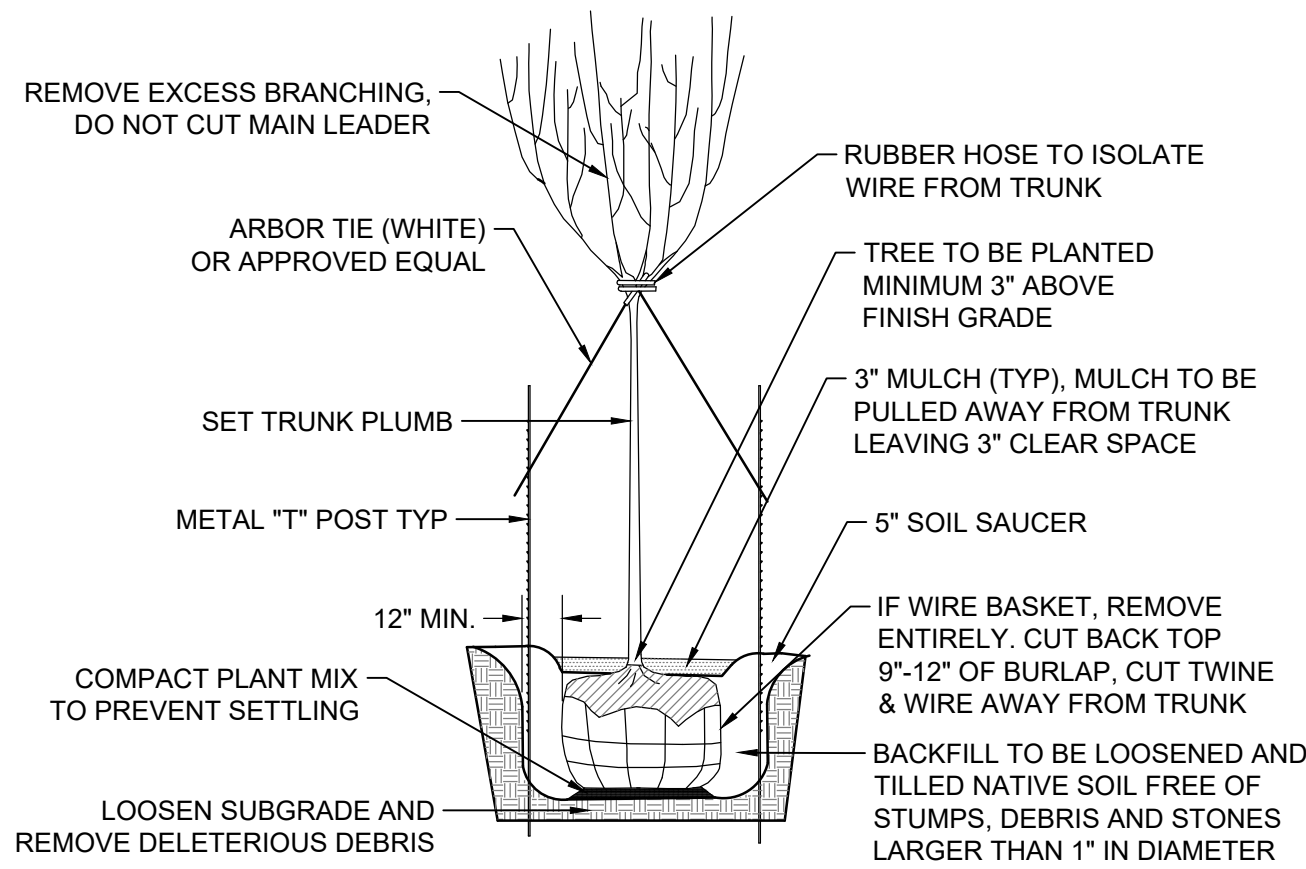
IRRIGATION NOTES

1. THE EXACT LOCATION OF WATER LINES SHALL BE VERIFIED PRIOR TO CONSTRUCTION.
2. AN IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED BY THE LANDSCAPE CONTRACTOR "LC". IRRIGATION SYSTEM SHALL BE DESIGNED AND ZONED BASED ON THE PRESSURE AT THE WATER MAIN TAP AND SHALL MEET REQUIREMENTS OF LOCAL CODE.
3. IRRIGATION CONTRACTOR (OR LC) TO PERFORM A FLOW TEST TO VERIFY THAT THERE WILL BE ADEQUATE FLOW AND PRESSURE IN THE SYSTEM AS DESIGNED PRIOR TO INSTALLATION OF THE IRRIGATION SYSTEM.
4. ONCE BACK FLOW PREVENTER IS INSTALLED, THE LC SHALL SCREEN IT FROM THE PUBLIC VIEW WITH EVERGREEN LANDSCAPING THAT MATCHES THE LANDSCAPING PLAN.
5. PIPE LAYOUT MUST BE DESIGNED TO PROVIDE ADEQUATE PRESSURE AND FLOW TO MEET IRRIGATION HEAD MANUFACTURERS' MINIMUM REQUIREMENTS.
6. IRRIGATION ZONE MUST NOT EXCEED 80 GALLONS PER MINUTE
7. SYSTEM MUST BE CAPABLE OF UNIFORMLY APPLYING ½" OF WATER PER NIGHT, WATERING A MAXIMUM OF 8 HOUR PER NIGHT.
8. HEADS MUST BE SPACED AT A DISTANCE EQUAL TO THE OUTPUT RADIUS, PROVIDING A 100 PERCENT OVERLAP FOR EVEN APPLICATION OF WATER
9. MAINLINES MUST HAVE A MINIMUM OF 18" OF COVER; LATERAL LINES MUST HAVE A MINIMUM OF 12" COVER. PVC MUST BE CLASS 200
10. IRRIGATION CONTROLLER LOCATION TO BE CHOSEN BY OWNER; IF INSTALLED OUTDOORS, CONTROLLER MUST BE MOUNTED IN A LOCKABLE, WEATHERPROOF, VANDAL-RESISTANT BOX, 110-120 VOLT POWER TO THE CONTROLLER TO BE PROVIDED BY THE GENERAL CONTRACTOR.
12. ELECTRIC REMOTE-CONTROL VALVES MUST BE PRESSURE REGULATING TO ENSURE THAT NO MISTING WILL OCCUR.
13. SYSTEM COMPONENTS AND HARDWARE MUST BE INSTALLED PER MANUFACTURERS' SPECIFICATION.
14. MAINLINES MUST BE PRESSURE TESTED PRIOR TO BACKFILLING TRENCHES
15. LINES MUST BE FLUSHED PRIOR TO INSTALLATION OF HEADS.
16. MAINLINE TO BE LOOPED WHERE POSSIBLE. ROTOR HEADS MUST BE MOUNTED ON SWING JOINTS PER MANUFACTURERS' RECOMMENDATION
17. CONTRACTOR TO PROVIDE EXPANSION COILS FOR EACH WIRE CONNECTION TO THE VALVE.
18. CONTRACTOR TO VERIFY LOCATIONS OF SLEEVES, SLEEVES TO BE PROVIDED BY CONTRACTOR TO LANDSCAPE ISLANDS AND INSTALLED PRIOR TO PAVING OPERATIONS.
19. CONTRACTOR TO VERIFY LOCATIONS OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION OR TRENCHING.
20. CONTRACTOR SHALL PROVIDE BACK FLOW PREVENTER; PREVENTER SHALL MEET HEALTH AND SAFETY REGULATIONS OF MEMPHIS AND SHELBY COUNTY. CONTRACTOR SHALL PROVIDE COVER FOR THE BACKFLOW PREVENTER, COVER SHALL BE FIBERGLASS, PAINTED DARK GREEN.
21. CONTRACTOR SHALL PROVIDE MANUAL GATE VALVES AT MAINLINE INTERSECTIONS.

PLANT SCHEDULE					
SYMBOL	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	NOTES
TREES					
	2	QUERCUS LYRATA	OVERCUP OAK	14'-16' HT 3" CAL.	FULL, MATCHING FORM
	5	MAGNOLIA 'JANE', 'SUSAN', 'RICKI', 'ANN'	LITTLE GIRL MAGNOLIA	12'-14' HT 30 GAL.	FULL, MATCHING FORM, WITH 5' CLEAR TRUNK HT.
SHRUBS					
	20	RHAPHIOLEPIS INDICA 'CONOR' P.P# 8398	ELEANOR TABOR INDIAN HAWTHORNE	18"-24" SPREAD	MATCHING FORM, 4' O.C.
	14	ILEX X 'MISS PATRICIA'	MISS PATRICIA HOLLY	36" HT	FULL, MATCHING FORM
	9	ILEX GLABRA	INKBERRY	24" HT	FULL, MATCHING FORM
GROUND COVER					
	85 SY	SOD	TIFWAY 419 BERMUDA		FREE OF WEEDS



1 SHRUB PLANTING DETAIL
L100 NTS



2 TREE PLANTING DETAIL
L100 NTS

NOT FOR
CONSTRUCTION

REVISIONS		
ITEM NO.	DESCRIPTION OF CHANGE	APPROVAL DATE

T.B.M.: TOP OF CAP SCREW, LOCATED ON FIRE HYDRANT. BETWEEN MUELLER, FIRE HYDRANT IS LOCATED ON THE EAST SIDE OF THE PALM BEACH TAN BUILDING AND 347' ± NORTH OF STAGE ROAD AS SHOWN HERE ON. ELEVATION ON (T.B.M.) WAS DERIVED FROM GPS OBSERVATION UTILIZING TDOT REFERENCE STATION #45. ELEVATION: 292.69

FLOOD NOTE: THIS PROPERTY IS LOCATED IN ZONE X, WHICH IS NOT A SPECIAL FLOOD HAZARD AREA PER FLOOD INSURANCE RATE MAP, MAP NO. 47157C034G, COMMUNITY PANEL NO. 470175 0304 G, EFFECTIVE DATE: FEBRUARY 06, 2013.

CITY OF BARTLETT
CHIPOTLE - STAGE CENTRE
DEVELOPER: STAGE CENTRE, LP

Rockfield ENGINEERING 1355 LYNNFIELD, STE. 245
MEMPHIS, TN 38119
901-310-5960

DEPARTMENT OF ENGINEERING LANDSCAPE PLAN		
LOCATION: STAGE ROAD, 594' WEST OF CENTER LINE OF KIRBY-WHITTEN PARKWAY, BARTLETT, TN		
SURVEY: OLLAR, LLC	DATE: 10/31/2023	BOOK: PB 254, PG 37
DESIGN BY: ROCKFIELD, LLC	DATE: 11/06/2023	SCALE: AS SHOWN
DRAWN BY: ROCKFIELD, LLC	DATE: 11/06/2023	
REVIEWED		
CITY ENGINEER	DATE	

L100

Consultant:

NATIONAL
ENGINEERING
4635 Trueman Blvd. Suite 250
Hilliard, Ohio 43026
Phone: (614) 751-9610
Fax: (614) 552-5240
Contact: Joe Jones
(614) 328-2024
JJones@nationalengineering.com



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SHELL BUILDING (BARTLETT KIRBY
WHITTEN RD)
TBD STAGE RD
BARTLETT, TN 38002

Issue Record:

Revisions:

Drawn: JEJ
Checked: CIK

Project No.
2401171

Contents:

ELECTRICAL SITE
LIGHTING PLAN

E105

SITE LIGHTING FIXTURE SCHEDULE

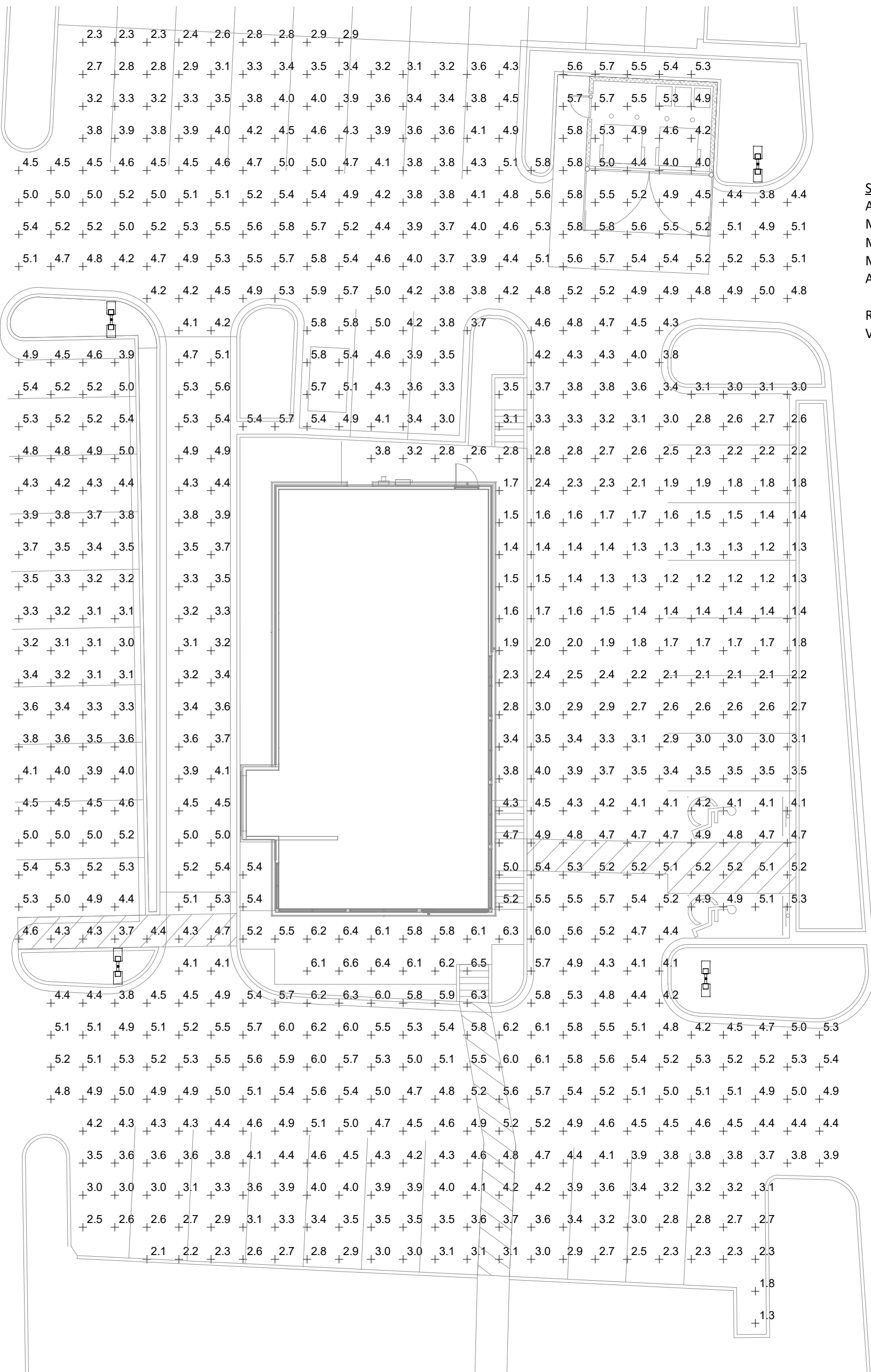
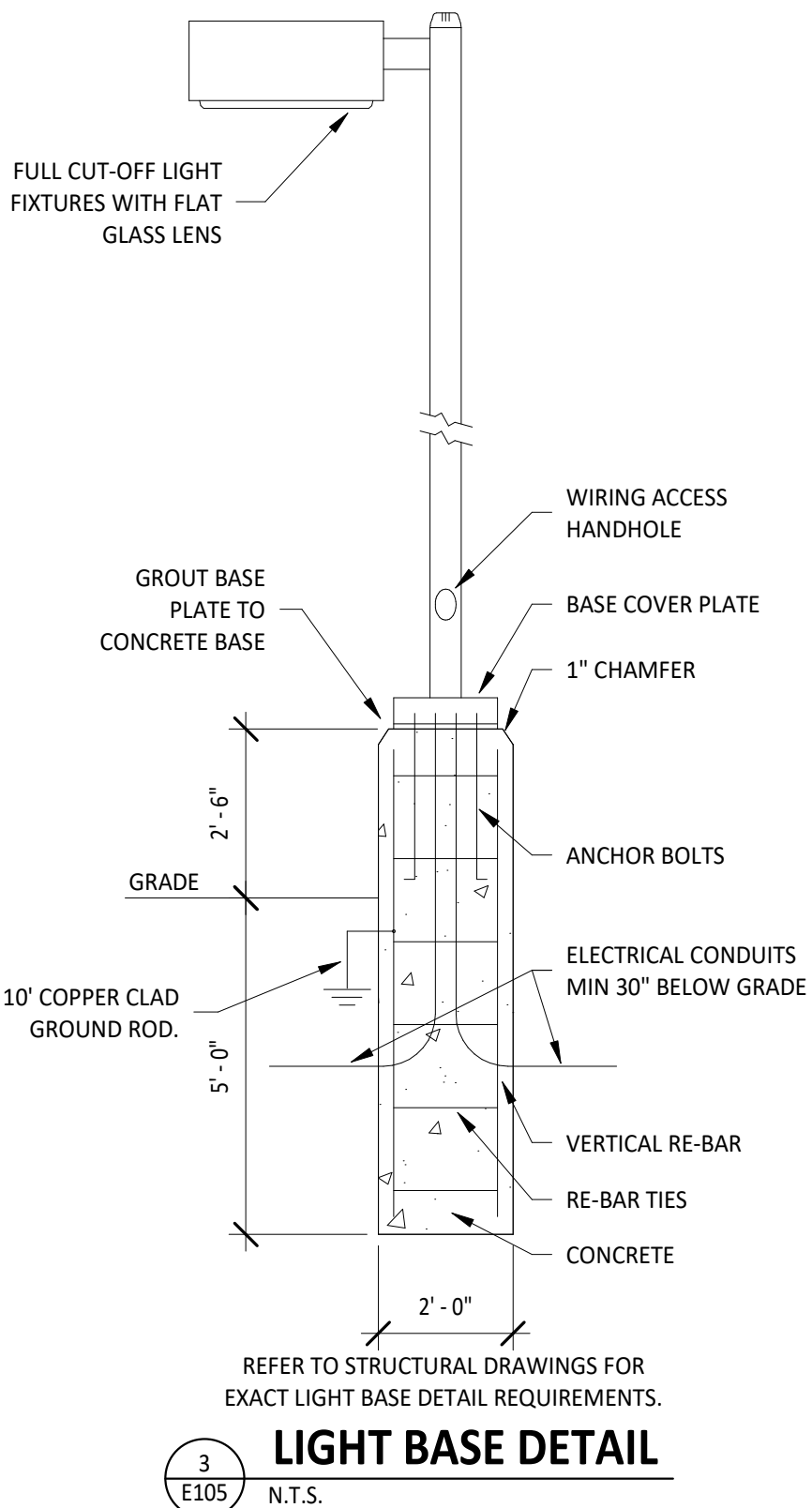
TAG	QUANTITY	NUM. OF FIXTURES PER POLE	LAMP WATTAGE & TYPE	VOLTAGE	DISTRIBUTION	COLOR	FURNISHED BY	INSTALLED BY	MANUFACTURER	MODEL #	OPTIONS & ACCESSORIES	POLE TYPE	POLE SIZE	POLE HEIGHT	POLE COLOR	POLE MANUFACTURER	POLE MODEL #
PL1	4	2	(1) 205W LED	120 V	TYPE IV	BLACK	GC	GC	HUBBELL	ASL2-320L-1-70-4K7-4W-U	LAMP	SQUARE STRAIGHT STEEL	4"	25' - 0"	BLACK	HUBBELL	SSS-25-40-90

LIGHTING FIXTURE SCHEDULE

TAG	QUANTITY	TYPE	MOUNT	FURNISHED BY	INSTALLED BY	MANUFACTURER	MODEL	LAMP(S)	VOLTS	WATTS	SPECIAL REQUIREMENTS
E2	3	EXTERIOR REMOTE EMERGENCY LIGHT	VARIOUS	GC	GC	EXITRONIX	MLED1-B-WP	(1) SPECIAL LED	4	1	LOW VOLTAGE REMOTE EMERGENCY LIGHT POWERED BY REMOTE-CAPABLE EXIT SIGN WITH MOUNTING PLATE
E4	3	WHITE EXIT SIGN WITH EMERGENCY LIGHT - STANDARD RED LETTERS	VARIOUS	GC	GC	EXITRONIX	CLED-U-WH	(1) SPECIAL LED	120	2	90 MINUTE BATTERY BACKUP WITH INTEGRAL EMERGENCY LIGHT, REMOTE HEAD CAPABLE
X9	3	LED CHANNEL LIGHT	SURFACE	GC	GC	PARADIGM LED	AMC-2410-S W/ OPAL LENS AND END CAPS	FLEXSR-45-30-67-24	120		FURNISHED W/ REMOTE-MOUNTED NEMA 3R LED DRIVER. SEE PLAN FOR LENGTHS.

ELECTRICAL SITE LIGHTING PLAN NOTES

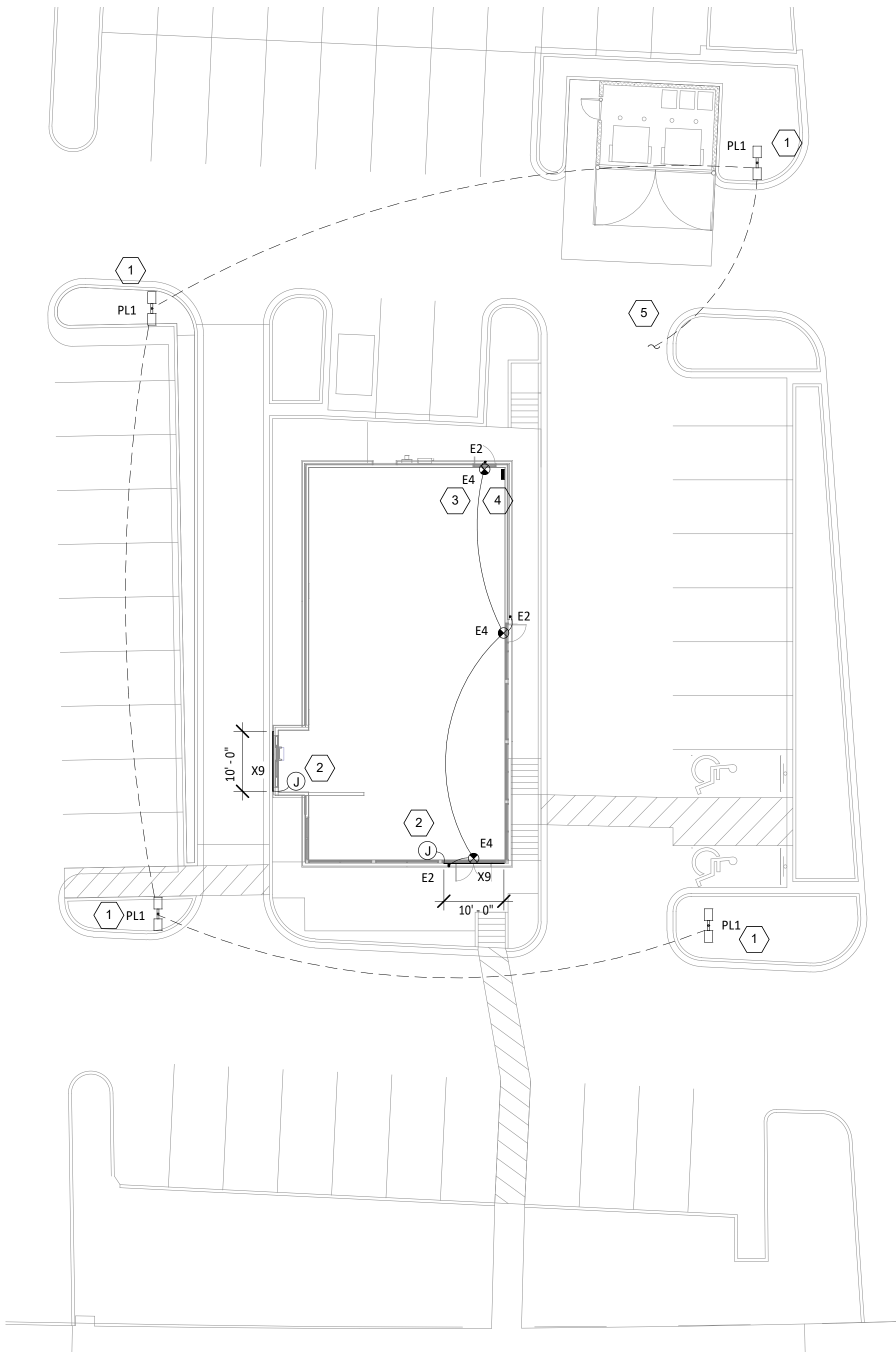
- 1 PROVIDE SITE LIGHTING PER DETAIL 3/THIS SHEET. TYPICAL.
- 2 INSTALL LED DRIVERS FURNISHED WITH THE X9 LED STRIP LIGHTS ON WALL AT 12'-0" AFF IN AN ACCESSIBLE LOCATION. PROVIDE LOW VOLTAGE WIRING FROM LED DRIVER TO THE X9 LIGHT FIXTURES AS SHOWN.
- 3 PROVIDE JUNCTION BOX NEAR FUTURE ELECTRICAL PANEL FOR EMERGENCY LIGHTING CONNECTION BY TENANT.
- 4 PROVIDE JUNCTION BOX NEAR FUTURE ELECTRICAL PANEL FOR EXTERIOR LIGHTING CONNECTION BY TENANT.
- 5 PROVIDE (2) #10, #10 G. IN 3/4" C FROM POLE LIGHT FIXTURES TO J-BOX WITHIN BUILDING.



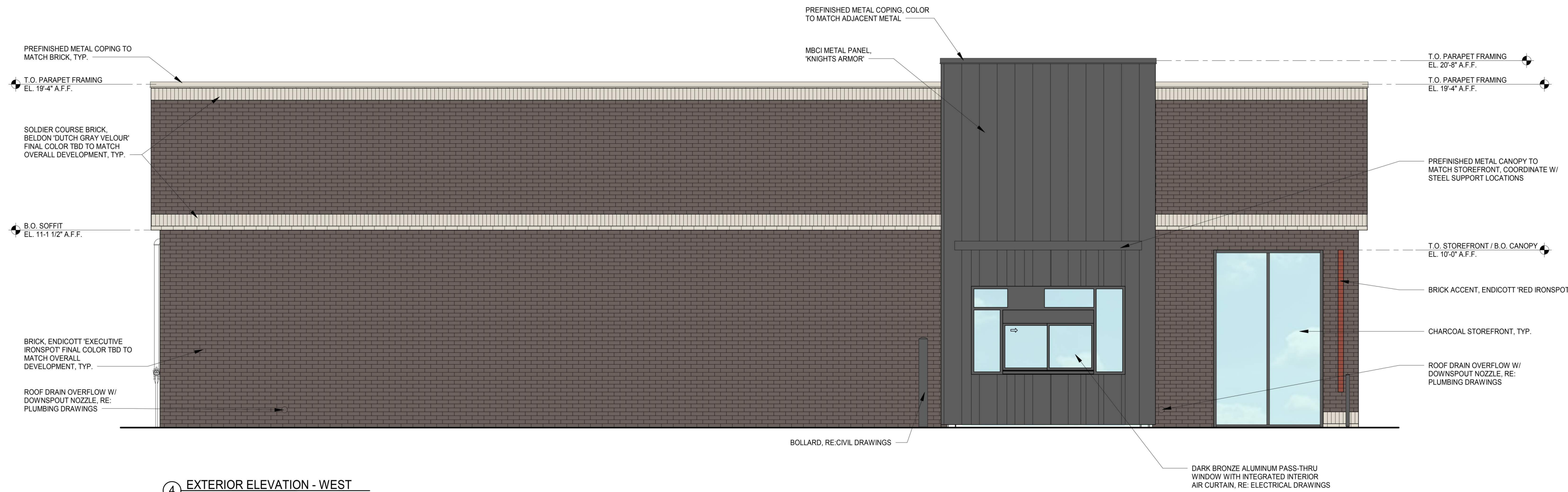
SITE LIGHTING INFORMATION:

AVERAGE: 4.1 FC
MAXIMUM: 6.6 FC
MINIMUM: 1.2 FC
MAX/MIN: 5.5:1
AVERAGE/MIN: 3.4:1

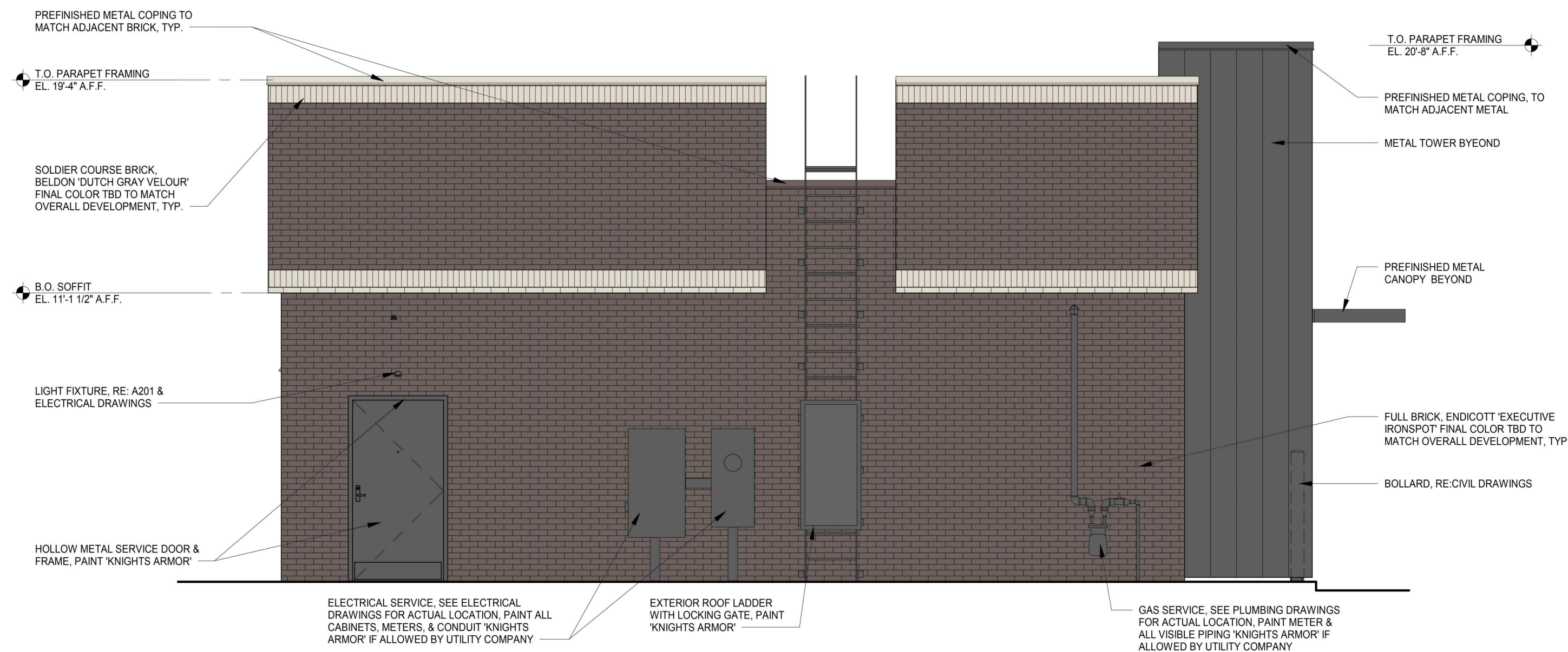
READINGS TAKEN AT FINISHED FLOOR.
VALUES CALCULATED USING VISUAL 2020



1
E105
1/16" = 1'-0"



4 EXTERIOR ELEVATION - WEST
1/4" = 1'-0"



3 EXTERIOR ELEVATION - NORTH
1/4" = 1'-0"



2 EXTERIOR ELEVATION - SOUTH
1/4" = 1'-0"



1 EXTERIOR ELEVATION - EAST
1/4" = 1'-0"

GENERAL NOTES

1. ENSURE THAT ALL STOREFRONT HAS CONTINUOUS, CLEAN SEALANT AROUND THE INTERIOR AND EXTERIOR PERIMETER BETWEEN THE STOREFRONT AND THE EXTERIOR WALL FINISHES

MATERIAL LEGEND

	BRICK ENDICOTT 'EXECUTIVE IRONSPOT'
	BRICK BELDON 'DUTCH GRAY VELOUR'
	BRICK ENDICOTT 'RED IRONSPOT'
	METAL MBI PANEL 'KNIGHTS ARMOR'

DUNGAN
DESIGN
GROUP

8826 Santa Fe Drive Suite 304
Overland Park, KS 66212
913-341-2466



08/22/2024

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Shell Building
(Bartlett)
TBD Stage Rd.
Bartlett, TN 38134

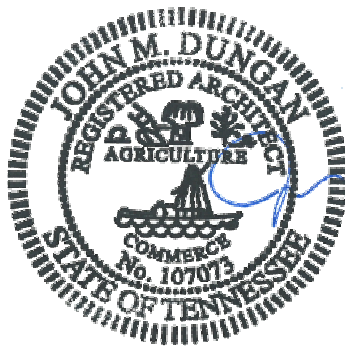
Issue Record:
08/22/2024 DRC Submittal

Revisions:

Project No.
029171

Exterior Elevations

A301



08/22/2024

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① EXTERIOR VIEW
1/2" = 1'-0"



② EXTERIOR VIEW
1/2" = 1'-0"

Shell Building
(Bartlett)
TBD Stage Rd.
Bartlett, TN 38134

Issue Record:	
08/22/2024	DRC Submittal

Revisions:	

Project No.
029171

Exterior Views

A900