



City of Bartlett

David Parsons, Mayor

**Municipal Planning Commission
AGENDA
Monday, October 7, 2024 — 6:30 p.m.
Bartlett City Hall Assembly Chamber**

Opening Prayer

****Official Business of the Day****

Minutes of the Tuesday, September 3, 2024 Meeting

NEW BUSINESS

Public Hearing

Rezoning

1. Stelling Planned Development, 4570 Billy Maher Road (David Bray, the Bray Firm)

Planned Development

2. Stelling Planned Development, 4570 Billy Maher Road (David Bray, the Bray Firm)

Open Discussion

The public shall be provided an opportunity to address the Board or Commission during an Open Discussion period at the end of each regular and special meeting of the governing body. Prior to the start of the meeting, individuals will be required to complete and present to the Clerk the Open Discussion Citizen form provided at each meeting. The Open Discussion period for regular and special meetings of the Board or Commission shall be limited to twenty (20) minutes. Individuals shall be allowed to speak for up to three (3) minutes each. Open Discussion periods will not be held for any meeting where there are no actionable items on the agenda or meetings where the governing body is conducting a disciplinary hearing for a member of the governing body or a person whose profession or activities fall within the jurisdiction of the governing body.

Adjourn

PLANNING COMMISSION
Monday, October 7, 2024 - 6:30 P.M.
Bartlett City Hall Assembly Chamber
Staff Comments

New Business
Public Hearing
Rezoning

1. Stelling Planned Development, 4570 Billy Maher Road (David Bray, The Bray Firm)

INTRODUCTION: Mr. David Bray with The Bray Firm is requesting Planning Commission approval of a favorable recommendation to rezone 31.51 acres of land from "RS-18" to "RS-12" Single Family Residential Zoning District. The subject property is located at 4570 Billy Maher Road.

BACKGROUND: On May 13, 2024 the Planning Commission approved a favorable recommendation to the Board of Mayor and Alderman for a Planned Development. On June 25, 2024 the Board of Mayor and Alderman approved the Stelling Planned Development. The approved planned residential development was 62 lots ranging from 12,040 square feet to 1.28 acres. The approved 62 lots was compliant with the underlying 2.0 lots per acre required by the "RS-18" single family residential zoning district.

DISCUSSION: The specific request by the applicant is for approval of a favorable recommendation to rezone 31.51 acres of land from "RS-18" to "RS-12" Single Family Residential Zoning District in order to increase the allowed lots per acre from 2.0 to 3.0 lots per acre. As an example, this request is consistent with the "RS-12" single family residential zoning district utilized for the Rockyford Subdivision.

The revised planned residential development will feature 94 lots ranging from 8,000 square feet to 11,839 square feet. According to the applicant, the minimum size of the homes will be 1,800 square feet with the average home size being 2,400 + square feet. The homes will be a minimum of 80% brick. Should this rezoning be approved the applicant will move forward with a conjunctive request for a revised planned residential development recommendation for approval from the Planning Commission.

Recommendation: Approval with conditions

Engineering Conditions:

General:

1. A Residential Site Plan contract may be required and will be prepared by Engineering and submitted to the developer/engineer for review to cover the fees to be paid to the City of Bartlett.
2. Applicant/ Engineer shall provide a **digital set of drawing** files showing the sanitary sewer lines, drainage lines, lot lines and all improvements in AutoCAD format to dhubbard@cityofbartlett.org and ecampbell@cityofbartlett.org for use in the preparation of the Water Design Plan. This plan will be coordinated with the site design engineer to resolve any conflicts.
3. A SWPPP and a TDEC permit may be required. A Notice of Intent (NOI) shall be submitted to TDEC with a copy provided to the City of Bartlett Engineering office.
4. All new utilities shall be underground.
5. Easements should be shown on all plan sheets.
6. Coordination with MLG&W is required for relocation of existing fire hydrant and power poles.
7. Orange vinyl fence shall be installed to clearly mark the "limit of disturbance" as shown on the plans.
8. A traffic control plan will be required.
9. Correct all markups.

Plat:

10. Sewer easements need to be added.
11. Drainage easements need to be added.
12. Lots 1, 2, 3, 4, 58, 59 & 94 are to have no direct driveway access onto Billy Maher Rd.
13. Show COS A&B to be owned and maintained by the HOA.
14. The planned detention basin in COS B needs to be shown as a separate COS to be owned and maintained by the HOA.
15. Need to show the stream buffer and label as non-buildable greenbelt. Greenbelt shall be dedicated to City of Bartlett Parks Department.
16. The portion of COS B along the northern edge of the planned development needs to be shown as a separate COS to be owned and maintained by the HOA.
17. Minimum floor elevations may be required for some lots.
18. A sidewalk chart is required. Wheelchair ramps on all corners.

Sanitary Sewer:

- 19. Eliminate one of the services to lot 20.
- 20. Change construction notes to reflect information for the City of Bartlett.
- 21. A structure and pipe table is required.
- 22. A plan and profile is required.
- 23. This PD will potentially discharge into the Billy Maher Sewer pump station. A flow analysis must be conducted to see if this pump station and/or forcemain must be upgraded.

Erosion Control Plan:

- 24. The engineer shall provide a copy of the SWPPP (Storm Water Pollution Prevention Plan) that has been or will be submitted to TDEC (Tennessee Department of Conservation).
- 25. Prior to any work being started, an NOC (Notice of Coverage) from TDEC must be received and a copy submitted to the City of Bartlett.
- 26. Metal posts with wire-backed fence are required on the proposed silt fences.
- 27. Details for inlet protection are required.
- 28. The TDEC permit number shall be shown.

Grading and Drainage:

- 29. The applicant's engineer shall submit the stamped and signed detention calculations for the detention basins required for this property and show the 'pre' and the 'post' runoff for the 2, 5, 10, 25, 100 year storms.
- 30. An ARAP may be required for the discharge of pipe to the Stream, the developer is responsible for verifying this discharge with TDEC.
- 31. More offsite area should be included for adequate review of drainage, and the need for additional drainage structures.
- 32. Existing pond outline shall be shown. A TDEC permit may be required regarding the filling of the pond and relocation of natural wild life. A geotechnical design to include soil boring must be submitted for the removal of soil and backfill of the pond area including and around the existing pond to insure proper proposed soil density is achieved. **On each Lot within the current pond:** Prior to issuance of building permits, Bartlett Code Enforcement will require that each Lot in the S/D have (1) Soil Boring, an engineered slab design, and an Engineer's certification of the work completed.
- 33. Structure and pipe table required.
- 34. Plan and profile required.

Billy Maher Rd right of way is currently owned and maintain by Shelby County. The following comments are required for their approval:

35. A trip generation study would be required.
36. Road widening and improvements would be required on Billy Maher Rd. Dedication right turn lane and associated required taper. Dedication left turn lane and associated required taper. A striping plan will be required.

Planning Conditions:

1. The applicant has provided a site concept plan to show the proposed development. The applicant shall submit Construction and Final Plan applications to the Planning Commission and the Design Review Commission Site Plans for common amenities after the Board of Mayor and Aldermen approves the rezoning and revised planned residential development of this property.
2. The owner/applicant shall identify all utilities on site by contacting Tennessee One Call at 811 before commencing any site work.
3. The applicant and/or property owners shall be present at the meeting in order to make decisions relative to any changes that may be suggested by the Planning Commission.
4. The applicant and/or property owners shall be present at the corresponding Board of Mayor and Aldermen meetings to make decisions relative to any changes that may be suggested by the Board of Mayor and Aldermen.

Public Hearing

Planned Development

2. Stelling Planned Development, 4570 Billy Maher Road (David Bray, The Bray Firm)

INTRODUCTION: Mr. David Bray, with The Bray Firm, is requesting Planning Commission approval of a favorable recommendation for a Planned Development. The subject property is located at 4570 Billy Maher Road, and it is within the "RS-18" Single-Family Residential Zoning District, however the property is concurrently being rezoned "RS-12" Single-Family Residential Zoning District.

BACKGROUND: On June 25, 2024, the Board of Mayor and Alderman approved the Stelling Planned Development. The approved planned residential development was 62 lots ranging from 12,040 square feet to 11,839 square feet acres. The approved 62 lots was compliant with the underlying 2.0 lots per acre required by the "RS-18" single family residential zoning district.

DISCUSSION: The specific request by the applicant is for Planning Commission approval of a favorable recommendation to the Board of Mayor and Aldermen

for a Planned Residential Development to allow the subdivision of 31.51 acres of land into a 94 lot planned residential subdivision with 2 common open space lots. The lot sizes will range from 8,000 square feet to 1.28 acres. The rezoning of the property the zoning will change from "RS-18" to "RA-12" residential single family zoning district. Housing density with "RS-12" is 3 units per acre and the minimum yard setbacks are:

<u>Actual</u>	<u>RS-12 Zoning District</u>
A. Front – 30 feet	Front – 35 feet
B. Side – 5 feet	Side – minimum of 8 total of 18 feet
C. Rear – 25 feet	Rear – 30 feet

Storm water detention will be handled by a detention area on common open space B. Common open B space also features the cluster post office boxes and the greenbelt area. Access to the subdivision will be from Billy Maher Road.

Recommendation: Approval of a favorable recommendation by the Planning Commission to the Board of Mayor and Aldermen with conditions.

Engineering Conditions:

General:

1. A Residential Site Plan contract may be required and will be prepared by Engineering and submitted to the developer/engineer for review to cover the fees to be paid to the City of Bartlett.
2. Applicant/ Engineer shall provide a **digital set of drawing** files showing the sanitary sewer lines, drainage lines, lot lines and all improvements in AutoCAD format to dhubbard@cityofbartlett.org and ecampbell@cityofbartlett.org for use in the preparation of the Water Design Plan. This plan will be coordinated with the site design engineer to resolve any conflicts.
3. A SWPPP and a TDEC permit may be required. A Notice of Intent (NOI) shall be submitted to TDEC with a copy provided to the City of Bartlett Engineering office.
4. All new utilities shall be underground.
5. Easements should be shown on all plan sheets.
6. Coordination with MLG&W is required for relocation of existing fire hydrant and power poles.
7. Orange vinyl fence shall be installed to clearly mark the "limit of disturbance" as shown on the plans.
8. A traffic control plan will be required.
9. Correct all markups.

Plat:

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15. Need to show the stream buffer and label as non-buildable greenbelt. Greenbelt shall be dedicated to City of Bartlett Parks Department.
16. The portion of COS B along the northern edge of the planned development needs to be shown as a separate COS to be owned and maintained by the HOA.
17. Minimum floor elevations may be required for some lots.
18. A sidewalk chart is required. Wheelchair ramps on all corners.

Sanitary Sewer:

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20. Change construction notes to reflect information for the City of Bartlett.
21. A structure and pipe table is required.
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23. This PD will potentially discharge into the Billy Maher Sewer pump station. A flow analysis must be conducted to see if this pump station and/or forcemain must be upgraded.

Erosion Control Plan:

24. The engineer shall provide a copy of the SWPPP (Storm Water Pollution Prevention Plan) that has been or will be submitted to TDEC (Tennessee Department of Conservation).
25. Prior to any work being started, an NOC (Notice of Coverage) from TDEC must be received and a copy submitted to the City of Bartlett.
26. Metal posts with wire-backed fence are required on the proposed silt fences.
27. Details for inlet protection are required.
28. The TDEC permit number shall be shown.

Grading and Drainage:

29. The applicant's engineer shall submit the stamped and signed detention calculations for the detention basins required for this property and show the 'pre' and the 'post' runoff for the 2, 5, 10, 25, 100 year storms.

30. An ARAP may be required for the discharge of pipe to the Stream, the developer is responsible for verifying this discharge with TDEC.
31. More offsite area should be included for adequate review of drainage, and the need for additional drainage structures.
32. Existing pond outline shall be shown. A TDEC permit may be required regarding the filling of the pond and relocation of natural wild life. A geotechnical design to include soil boring must be submitted for the removal of soil and backfill of the pond area including and around the existing pond to insure proper proposed soil density is achieved. **On each Lot within the current pond:** Prior to issuance of building permits, Bartlett Code Enforcement will require that each Lot in the S/D have (1) Soil Boring, an engineered slab design, and an Engineer's certification of the work completed.
33. Structure and pipe table required.
34. Plan and profile required.

Billy Maher Rd right of way is currently owned and maintain by Shelby County. The following comments are required for their approval:

35. A trip generation study would be required.
36. Road widening and improvements would be required on Billy Maher Rd. Dedication right turn lane and associated required taper. Dedication left turn lane and associated required taper. A striping plan will be required.

Planning Comments:

1. A Planned Development usually provides common amenities for the residents. Staff recommends adding a walking trail around the detention area and greenbelt on Common Open Space B.
2. This revised planned residential development is concurrently being rezoned from "RS-18" to "RS-12". Should the application for rezoning not be approved, then the planned residential development will be denied. The applicant could proceed with the approved 62 lot development utilizing the "RS-18" Zoning.

Planning Conditions:

1. Staff recommends the developer institute a fence template for the properties along Billy Maher Road.
2. The applicant shall put a fence and landscape plate along the north property line.
3. The applicant shall add street names for the future Construction Plan and Final Plan submittals.
4. The applicant shall include a tree survey with a tree table.

5. The applicant shall include a landscape plan for the common open spaces.
6. If the proposed setbacks for the PD are approved by the Planning Commission, then the applicant shall add the following restrictions to the final plat:
 - 8,000-square feet minimum lot size
 - 65-feet minimum lot width at the front building setback line.
7. The applicant will need to add a note to the plat to deny driveway access to Billy Maher for Lots 1, 2, 3, 4, 58, 59, and 94.
8. A note shall be added to the plat stating that the Stelling Planned Development requires a homeowner's association to be formed to maintain all common amenities, landscaping, subdivision fence, subdivision sign, and other features.
9. Ownership and maintenance responsibilities of Common Open Space B shall be listed on the Plat.
10. The applicant shall attach the homeowner's association bylaws instrument number and the covenants and restrictions instrument number to the final plat.
11. The applicant shall obtain Design and Review Commission approval for the common open space amenities and subdivision signage.
12. The owner/applicant shall be present at the meeting in order to make decisions relative to any changes that may be suggested by the Planning Commission.
13. The applicant shall be present at the corresponding Board of Mayor and Aldermen meetings to make decisions relative to any changes that may be suggested by the Board of Mayor and Aldermen.
14. Should the Planned Development be approved by the Board of Mayor and Aldermen, the applicant shall submit construction and final subdivision plans, along with a site plan application to the Design Review Commission for the common open space areas and the amenities to be installed in the common open space areas.

Bartlett Planning and
Economic Development Department
6382 Stage Road, P.O. Box 341148
Bartlett, TN 38184-1148
901-385-6417 FAX 901-385-6419
www.cityofbartlett.org

Bartlett Planning Commission Application for Rezoning

Consultation with the staff is encouraged prior to the completion of this application form.

Requested Zoning RS-12
Property Address 4570 Billy Martin Rd.
Present Zoning RS-18
Owner/Developer Contact JIM CORTIS - GBI CONSTRUCTION Phone 901.351.5375
MARC STOLLING Fax _____
Company Name _____
Address 4570 Billy Martin Rd.
Architect Contact _____ Phone _____
Company Name _____ Fax _____
Address _____
Engineer Contact DAVID BLAY Phone 901.383.8668
Company Name THE BLAY FIRM Fax _____
Address 2950 STAGE PLAZA N. BARTLETT, 38134

Submitted by DAVID BLAY (printed name) [Signature] (signature) 09.03.24 (date)
Email Address dgray@comcast.net Phone 901.383.8668 Fax _____

- dyb Attach a checked-off "Rezoning Checklist" and all items required therein.
- dyb Acknowledge (by initials in the blank to the left) that the "Application Instructions: Planning Commission" were obtained and read prior to submitting this application.
- dyb Provide 18-folded ($\pm 10'' \times 13''$) sets of plans with a copy of the signed application attached to each set.
- dyb Provide an electronic PDF file of the plans. Note that an updated electronic file is required when plans are revised. The electronic file shall be labeled with the project name and accurately dated.
- dyb Include a fee with this application (check payable to the City of Bartlett) of \$1,000 for five (5) acres or less, plus \$100 per acre (after the first five) to a maximum of \$3,000.00. **The fee is not refundable.**

I, the property owner(s) hereby authorize the filing of this application.

(print name)

(signature)

(date)

RECEIVED

SEP 03 2024

2950 Stage Plaza North
Bartlett, Tennessee 38134

September 3, 2024

Sam Harris
Senior Planner
City of Bartlett
Planning and Economic Development
6382 Stage Road
Bartlett, TN 38134

**RE: Stelling Planned Development
Request zoning change from RS-18 to RS-12
Bartlett, Tennessee**

Mr. Harris:

Per this letter, we are requesting rezoning of the 31+- acres identified as 4570 Billy Maher Road from RS-18 to RS-12. As you will recall, a previous application was submitted on this property conforming to the density of the RS-18 zoning district. However, the site development projections did not allow that plan to move forward to construction. The owner, Mark Stelling, and the applicant, Jim Curtis (GBI Contracting) are trying to find a viable option to develop this tract and bring new single family residences to the northwest portion of Bartlett. We believe that with the new masterplan (submitted concurrently) and the requested change in zoning this will be a viable project and an asset to this area of Bartlett.

Thank you for considering this request. If you have any questions or need any additional information, please contact me.

Sincerely,



David Gean Bray, P.E.

RECEIVED

SEP 03 2024

CITY OF BARTLETT

Stelling Manor PD

Proposed General Sub Requirements & Restrictions

Date: September 30, 2024

Subject: 94 Single Family Building Lots, 31.51 acres.

Location: 4570 Billy Maher Rd. Bartlett.

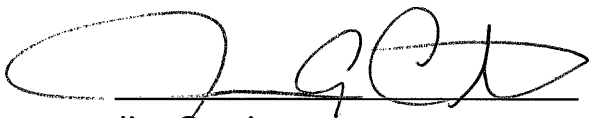
HOA: PD governed by Homeowner Association, to own/maintain all common areas and amenities. Including landscaping, fencing signage, etc.

Architectural Review/Requirements: An Architectural Review Committee will be in place to approve all house plans, to include design style, building materials, color selections, etc. Approval must be given prior to start of construction, and/or improvements after construction. All fencing must have approval prior to installation.

Design Requirements: 2,000 sf minimum heated/1,850 sf ground floor min heated. 2 car garage min - 3 car max. Architectural/dimensional type roofing shingle. 80% brick/stone (front elevation to be all brick/stone). Wood Clad or Vinyl windows (no aluminum). All garage doors to be carriage style, garage coach lights, roof vents painted. Yards to be professionally landscaped and fully sodded.

Other; No direct access from Billy Maher rd. to any lot. Subdivision entrance sign to be professional designed and have electricity & irrigation. Fencing along Billy Maher rd. on common area at lots 1 -4.

Other general and typical subdivision requirements and restrictions as found on single family residential Planned Developments.

A handwritten signature in black ink, appearing to read 'Jim Curtis', written over a horizontal line.

Jim Curtis
GBI Contractors

Bartlett Planning and
Economic Development Department
6382 Stage Road, P.O. Box 341148
Bartlett, TN 38184-1148
901-385-6417 FAX 901-385-6419
www.cityofbartlett.org

Bartlett Planning Commission
Application for
Planned Development Approval

Consultation with the staff is encouraged prior to the completion of this application form.

Requested Uses 94 LOTS RS-12
Property Address 4570 BILLY MATHER ROAD
Present Zoning RS-18
Owner/Developer Contact JIM CURTIS Phone 901.848.9821
Company Name GBI CONTRACTORS, INC Fax _____
Address 4570 BILLY MATHER email JIM@GBICONTRACTORS.COM
Architect Contact _____ Phone _____
Company Name _____ Fax _____
Address _____ email _____
Engineer Contact DAVID BRAY Phone 901.383.8668
Company Name THE BRAY FIRM Fax _____
Address 2950 STAGE PLAZA NORTH 38134 email dgb@comcast.net

Submitted by DAVID BRAY [Signature] 09.03.24
(printed name) (signature) (date)
Email Address dgb@comcast.net Phone 901.383.8668 Fax _____

✓ Attach a checked-off "Planned Development Checklist" and all items required therein.

dg Acknowledge (by initials in the blank to the left) that the "Application Instructions: Planning Commission" were obtained and read prior to submitting this application.

dg Provide 18-folded ($\pm 10'' \times 13''$) sets of plans with a copy of the signed application attached to each set.

dg Provide an electronic PDF file of the plans. Note that an updated electronic file is required when plans are revised. The electronic file shall be labeled with the project name and accurately dated.

dg Include a fee with this application (payable to the City of Bartlett) of \$1,000 for five (5) acres or less, plus \$30 per additional acre to a maximum of \$2,000. The fee is not refundable. Amendment fee is \$300 plus \$30 per additional acre over five to a maximum of \$2,000.

I, the property owner(s) hereby authorize the filing of this application.

(print name)

(signature)

(date)

Planned Development Checklist

Plot Plan And Legal Description (each parcel, if more than one)

Plot plan, drawn at a scale no smaller than 1" = 100', showing the following information for each parcel (several parcels may be included on one sheet):

Name and location of planned development, name of owner and designer, date, north point, and scale.

Location of existing and platted property lines, streets, buildings, water courses, railroads, sewers, bridges, culverts, drain pipes, water mains, easements, and the present zoning classification of the site and adjoining land.

Proposed street names and the location and dimensions of proposed streets, drives, alleys, easements, parking areas, parks and other open space, reservations, lot lines, and building setback lines.

A drainage plan showing the existing and proposed drainage with contour intervals at not less than two feet. Also, provide flood hazard details when applicable.

All dimensions and acreage to the nearest tenth, building locations, number of dwelling units, landscape plans, and other information as may be required by the Planning Commission.

Requested uses, including purpose (attach statement, one page maximum).

Buffer planting areas.

A tree survey by a certified arborist is required if there are trees larger than 6" in diameter on the site.

A tree protection plan that is signed by a surveyor and arborist showing trees to be removed and saved is required.

Erosion control plan.

Location of sewer and water services and water meter sizes.

Legal description (may be attached to plot plan).

One (1) 8 1/2" x 11" transparency of the plot plan, for use with an overhead projector.

Vicinity Map

Vicinity map, drawn to a convenient scale, showing the subject property and all parcels within a 1,000-foot radius. Every parcel shall indicate owner's name and the streets, roads or alleys that each parcel fronts upon.

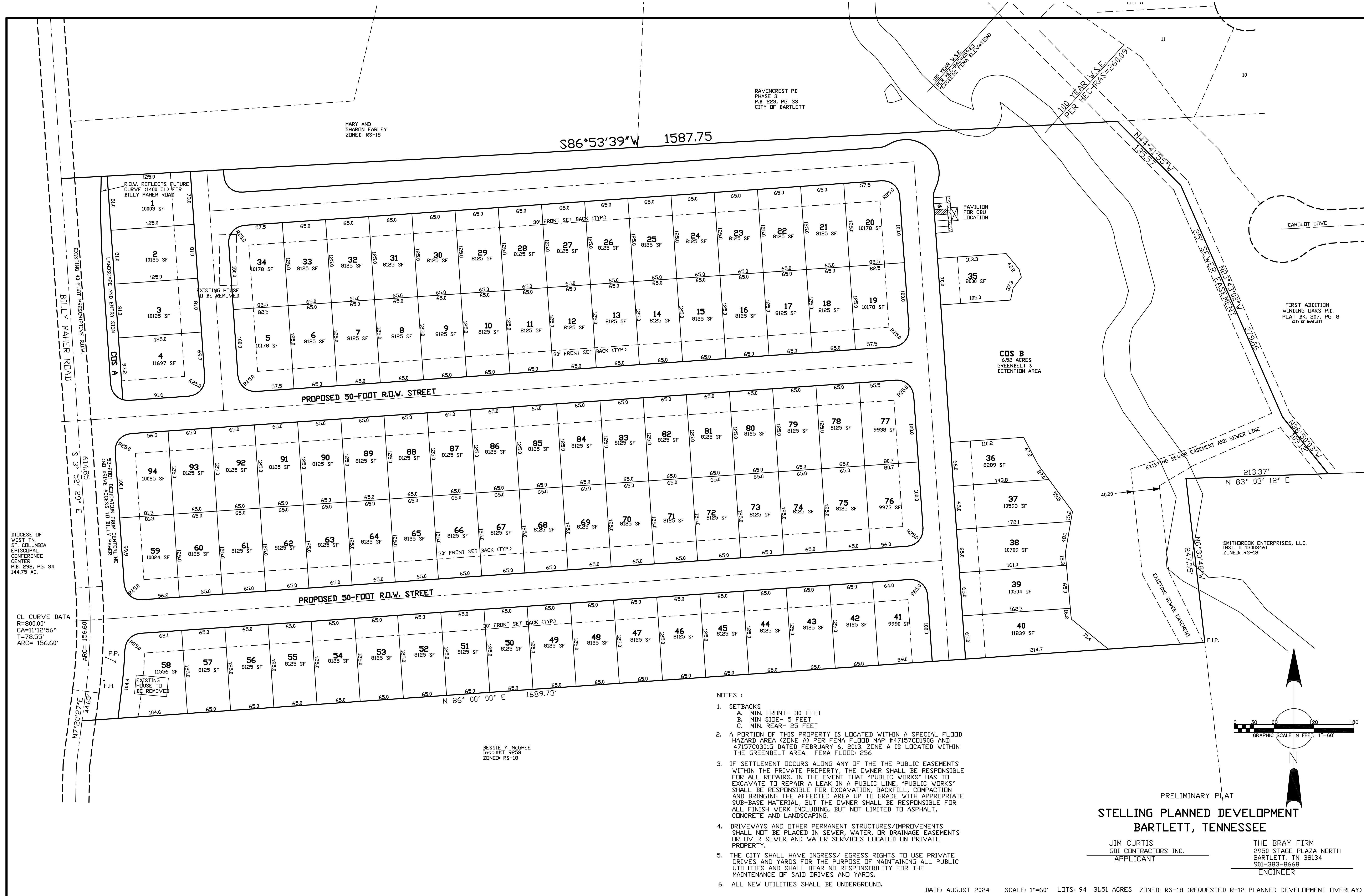
One (1) PDF file of the vicinity map, for display at the Planning Commission meeting.

Property Owners

List of all property owners within 1,000 feet or a minimum of fifty (50) property owners, whichever results in the greater number of owners. A xerographic copy of the mailing labels may serve as the list.

Self-adhesive mailing labels for the list of property owners (two sets).

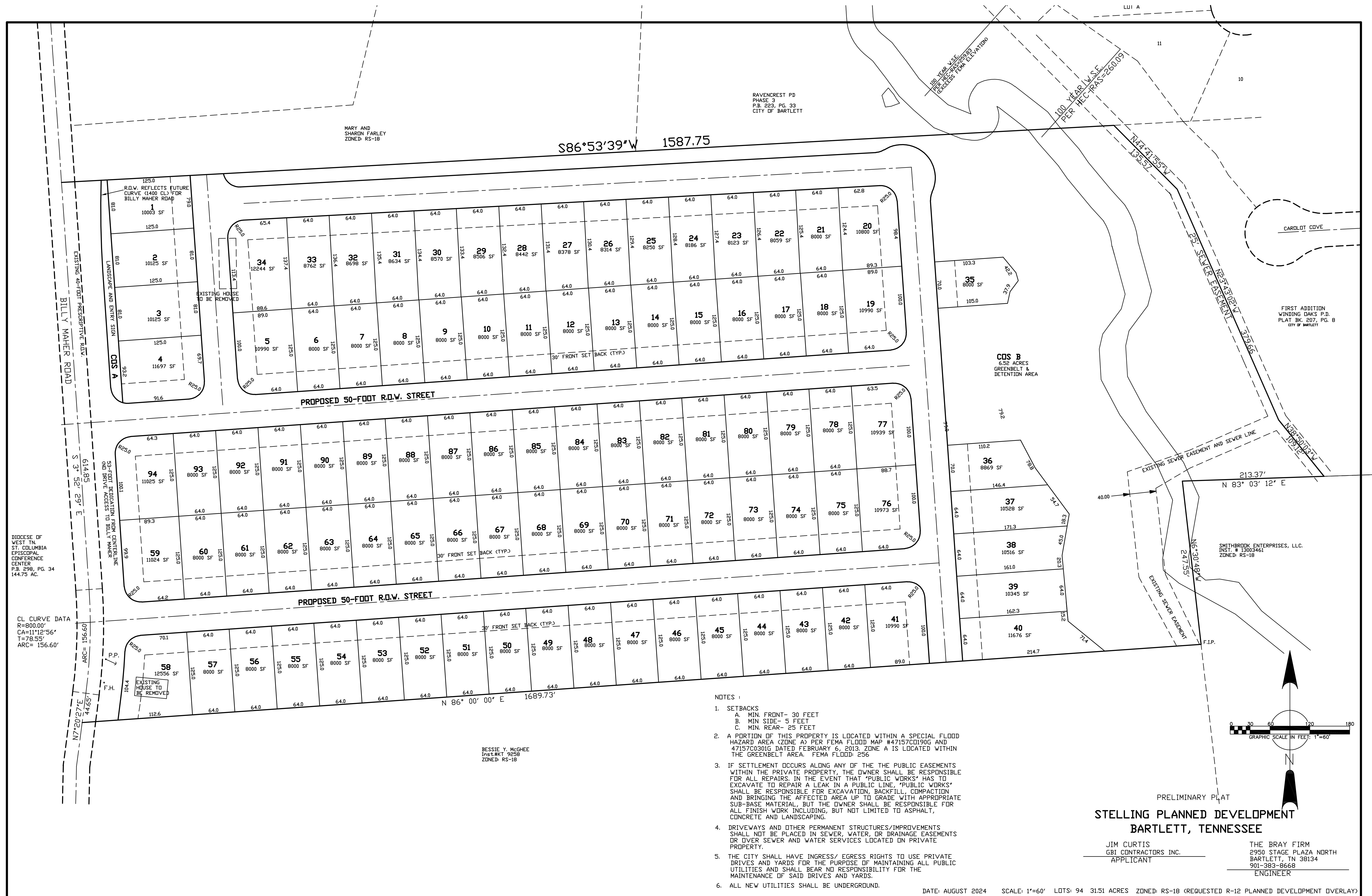
INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED

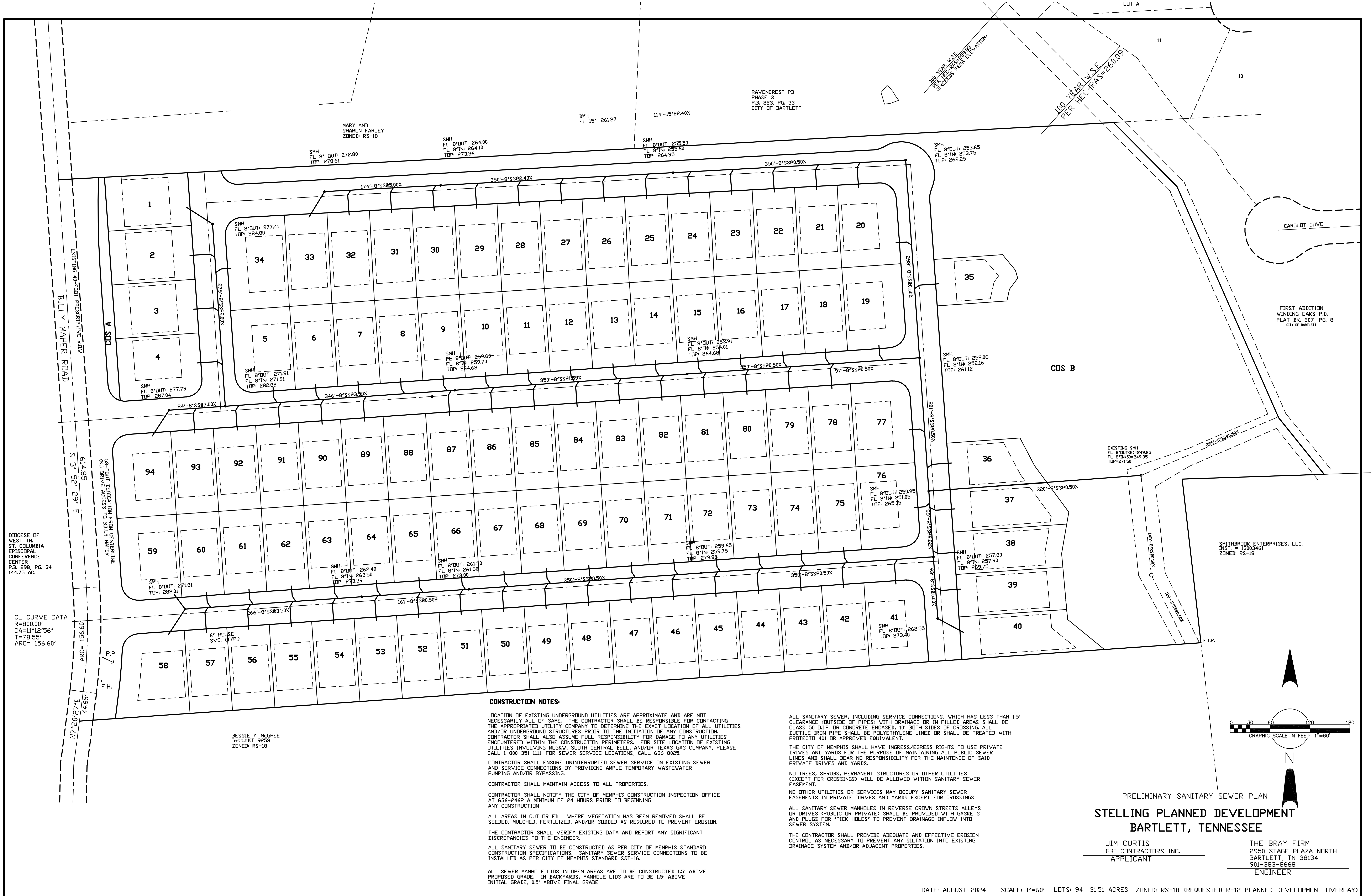


NOTES :

- SETBACKS
A. MIN. FRONT- 30 FEET
B. MIN SIDE- 5 FEET
C. MIN. REAR- 25 FEET
- A PORTION OF THIS PROPERTY IS LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA (ZONE A) PER FEMA FLOOD MAP #47157C0190G AND 47157C0301G DATED FEBRUARY 6, 2013. ZONE A IS LOCATED WITHIN THE GREENBELT AREA. FEMA FLOOD: 256
- IF SETTLEMENT OCCURS ALONG ANY OF THE THE PUBLIC EASEMENTS WITHIN THE PRIVATE PROPERTY, THE OWNER SHALL BE RESPONSIBLE FOR ALL REPAIRS. IN THE EVENT THAT "PUBLIC WORKS" HAS TO EXCAVATE TO REPAIR A LEAK IN A PUBLIC LINE, "PUBLIC WORKS" SHALL BE RESPONSIBLE FOR EXCAVATION, BACKFILL, COMPACTION AND BRINGING THE AFFECTED AREA UP TO GRADE WITH APPROPRIATE SUB-BASE MATERIAL, BUT THE OWNER SHALL BE RESPONSIBLE FOR ALL FINISH WORK INCLUDING, BUT NOT LIMITED TO ASPHALT, CONCRETE AND LANDSCAPING.
- DRIVEWAYS AND OTHER PERMANENT STRUCTURES/IMPROVEMENTS SHALL NOT BE PLACED IN SEWER, WATER, OR DRAINAGE EASEMENTS OR OVER SEWER AND WATER SERVICES LOCATED ON PRIVATE PROPERTY.
- THE CITY SHALL HAVE INGRESS/ EGRESS RIGHTS TO USE PRIVATE DRIVES AND YARDS FOR THE PURPOSE OF MAINTAINING ALL PUBLIC UTILITIES AND SHALL BEAR NO RESPONSIBILITY FOR THE MAINTENANCE OF SAID DRIVES AND YARDS.
- ALL NEW UTILITIES SHALL BE UNDERGROUND.

DATE: AUGUST 2024 SCALE: 1"=60' LOTS: 94 31.51 ACRES ZONED: RS-18 (REQUESTED R-12 PLANNED DEVELOPMENT OVERLAY)





CONSTRUCTION NOTES:

LOCATION OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE AND ARE NOT NECESSARILY ALL OF SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE APPROPRIATED UTILITY COMPANY TO DETERMINE THE EXACT LOCATION OF ALL UTILITIES AND/OR UNDERGROUND STRUCTURES PRIOR TO THE INITIATION OF ANY CONSTRUCTION. CONTRACTOR SHALL ALSO ASSUME FULL RESPONSIBILITY FOR DAMAGE TO ANY UTILITIES ENCOUNTERED WITHIN THE CONSTRUCTION PERIMETERS. FOR SITE LOCATION OF EXISTING UTILITIES INVOLVING M&W, SOUTH CENTRAL BELL, AND/OR TEXAS GAS COMPANY, PLEASE CALL 1-800-351-1111. FOR SEWER SERVICE LOCATIONS, CALL 636-8025.

CONTRACTOR SHALL ENSURE UNINTERRUPTED SEWER SERVICE ON EXISTING SEWER AND SERVICE CONNECTIONS BY PROVIDING AMPLE TEMPORARY WASTEWATER PUMPING AND/OR BYPASSING.

CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES.

CONTRACTOR SHALL NOTIFY THE CITY OF MEMPHIS CONSTRUCTION INSPECTION OFFICE AT 636-2462 A MINIMUM OF 24 HOURS PRIOR TO BEGINNING ANY CONSTRUCTION

ALL AREAS IN CUT OR FILL WHERE VEGETATION HAS BEEN REMOVED SHALL BE SEEDED, MULCHED, FERTILIZED, AND/OR SODDED AS REQUIRED TO PREVENT EROSION.

THE CONTRACTOR SHALL VERIFY EXISTING DATA AND REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ENGINEER.

ALL SANITARY SEWER TO BE CONSTRUCTED AS PER CITY OF MEMPHIS STANDARD CONSTRUCTION SPECIFICATIONS. SANITARY SEWER SERVICE CONNECTIONS TO BE INSTALLED AS PER CITY OF MEMPHIS STANDARD SST-16.

ALL SEWER MANHOLE LIDS IN OPEN AREAS ARE TO BE CONSTRUCTED 1.5' ABOVE PROPOSED GRADE. IN BACKYARDS, MANHOLE LIDS ARE TO BE 1.5' ABOVE INITIAL GRADE, 0.5' ABOVE FINAL GRADE.

ALL SANITARY SEWER, INCLUDING SERVICE CONNECTIONS, WHICH HAS LESS THAN 1.5' CLEARANCE (OUTSIDE OF PIPES) WITH DRAINAGE OR IN FILLED AREAS SHALL BE CLASS 50 D.I.P. OR CONCRETE ENCASED, 10" BOTH SIDES OF CROSSING. ALL DUCTILE IRON PIPE SHALL BE POLYETHYLENE LINED OR SHALL BE TREATED WITH PROTECTO 401 OR APPROVED EQUIVALENT.

THE CITY OF MEMPHIS SHALL HAVE INGRESS/EGRESS RIGHTS TO USE PRIVATE DRIVES AND YARDS FOR THE PURPOSE OF MAINTAINING ALL PUBLIC SEWER LINES AND SHALL BEAR NO RESPONSIBILITY FOR THE MAINTENANCE OF SAID PRIVATE DRIVES AND YARDS.

NO TREES, SHRUBS, PERMANENT STRUCTURES OR OTHER UTILITIES (EXCEPT FOR CROSSINGS) WILL BE ALLOWED WITHIN SANITARY SEWER EASEMENT.

NO OTHER UTILITIES OR SERVICES MAY OCCUPY SANITARY SEWER EASEMENTS IN PRIVATE DRIVES AND YARDS EXCEPT FOR CROSSINGS.

ALL SANITARY SEWER MANHOLES IN REVERSE CROWN STREETS ALLEYS OR DRIVES (PUBLIC OR PRIVATE) SHALL BE PROVIDED WITH GASKETS AND PLUGS FOR 'PICK HOLES' TO PREVENT DRAINAGE INFLOW INTO SEWER SYSTEM.

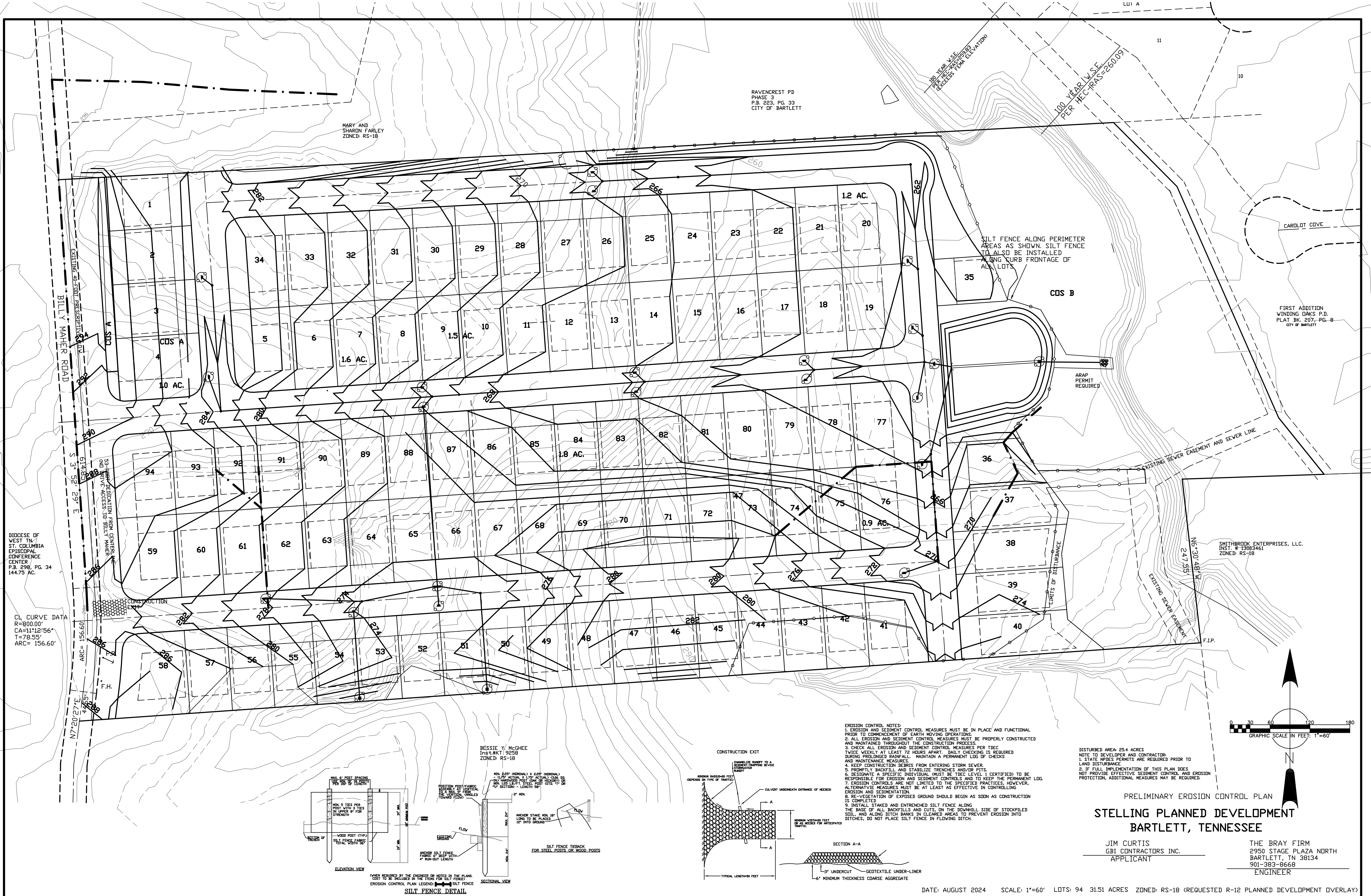
THE CONTRACTOR SHALL PROVIDE ADEQUATE AND EFFECTIVE EROSION CONTROL AS NECESSARY TO PREVENT ANY SILTATION INTO EXISTING DRAINAGE SYSTEM AND/OR ADJACENT PROPERTIES.

PRELIMINARY SANITARY SEWER PLAN

**STELLING PLANNED DEVELOPMENT
BARTLETT, TENNESSEE**

JIM CURTIS
GBI CONTRACTORS INC.
APPLICANT

THE BRAY FIRM
2950 STAGE PLAZA NORTH
BARTLETT, TN 38134
901-383-8668
ENGINEER



- EROSION CONTROL NOTES:
1. EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE AND FUNCTIONAL PRIOR TO COMMENCEMENT OF EARTH MOVING OPERATIONS.
 2. ALL EROSION AND SEDIMENT CONTROL MEASURES MUST BE PROPERLY CONSTRUCTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
 3. CHECK ALL EROSION AND SEDIMENT CONTROL MEASURES PER TDEC TWICE WEEKLY AT LEAST 72 HOURS APART. DAILY CHECKING IS REQUIRED DURING PROLONGED RAINFALL. MAINTAIN A PERMANENT LOG OF CHECKS AND MAINTENANCE MEASURES.
 4. KEEP CONSTRUCTION DEBRIS FROM ENTERING STORM SEWERS.
 5. PROMPTLY BACKFILL AND STABILIZE TRENCHES AND/OR PITS.
 6. DESIGNATE A SPECIFIC INDIVIDUAL (MUST BE TDEC LEVEL 1 CERTIFIED) TO BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROLS AND TO KEEP THE PERMANENT LOG.
 7. EROSION CONTROLS ARE NOT LIMITED TO THE SPECIFIED PRACTICES; HOWEVER, ALTERNATIVE MEASURES MUST BE AT LEAST AS EFFECTIVE IN CONTROLLING EROSION AND SEDIMENTATION.
 8. RE-VEGETATION OF EXPOSED GROUND SHOULD BEGIN AS SOON AS CONSTRUCTION IS COMPLETED.
 9. INSTALL STAKED AND ENTRENCHED SILT FENCE ALONG THE BASE OF ALL BACKFILLS AND CUTS, ON THE DOWNHILL SIDE OF STOCKPILED SOIL, AND ALONG DITCH BANKS IN CLEARED AREAS TO PREVENT EROSION INTO DITCHES. DO NOT PLACE SILT FENCE IN FLOWING DITCH.

DISTURBED AREA: 25.4 ACRES
NOTE TO DEVELOPER AND CONTRACTOR:
1. STATE NPDES PERMITS ARE REQUIRED PRIOR TO LAND DISTURBANCE.
2. IF FULL IMPLEMENTATION OF THIS PLAN DOES NOT PROVIDE EFFECTIVE SEDIMENT CONTROL AND EROSION PROTECTION, ADDITIONAL MEASURES MAY BE REQUIRED.

PRELIMINARY EROSION CONTROL PLAN
**STELLING PLANNED DEVELOPMENT
BARTLETT, TENNESSEE**

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