



# *City of Bartlett*

*David Parsons, Mayor*

**Municipal Planning Commission  
AGENDA  
Monday, February 3, 2025 — 6:30 p.m.  
Bartlett City Hall Assembly Chamber**

**Opening Prayer**

**\*\*Official Business of the Day\*\***

**Minutes of the Monday, December 2, 2024 Meeting**

**NEW BUSINESS  
Construction Plan**

1. Union Depot Phase 3, 6896 Highway 70 (Roy Lamica, EFI Global)

**Final Plan**

2. Union Depot Phase 3, 6896 Highway 70 (Roy Lamica, EFI Global)

**Site Plan**

3. Union Depot Phase 3, 6896 Highway 70 (Roy Lamica, EFI Global)

**Officer Elections**

**Open Discussion**

The public shall be provided an opportunity to address the Board or Commission during an Open Discussion period at the end of each regular and special meeting of the governing body. Prior to the start of the meeting, individuals will be required to complete and present to the Clerk the Open Discussion Citizen form provided at each meeting. The Open Discussion period for regular and special meetings of the Board or Commission shall be limited to twenty (20) minutes. Individuals shall be allowed to speak for up to three (3) minutes each. Open Discussion periods will not be held for any meeting where there are no actionable items on the agenda or meetings where the governing body is conducting a disciplinary hearing for a member of the governing body or a person whose profession or activities fall within the jurisdiction of the governing body.

**Adjourn**

# PLANNING COMMISSION

Monday, February 3, 2025 - 6:30 P.M.

Bartlett City Hall Assembly Chamber

Staff Comments

## **NEW BUSINESS**

### **Construction Plan**

#### **1. Union Depot Phase 3, 6896 Highway 70 (Roy Lamica, EFI Global)**

**INTRODUCTION:** Mr. Roy Lamica with EFI Global is requesting Planning Commission approval of a Construction Plan for Phase 3 of the Union Depot Residential Mixed Use Planned Development. The subject property is located at 6896 Highway 70 along the west side of Highway 70 and north of Stage Road. The subject property has split zoning with the northern half within the "RS-10" Single Family Residential Zoning District and the southern half within the "O-R-1" Neighborhood Office Zoning District.

**BACKGROUND:** In December 2021, the Board of Mayor and Aldermen approved a Special Use Permit to allow for the submittal of development plans for a Residential Mixed Use Planned Development on the 73.9 acres that was the former site of the Tennessee Baptist Childrens Home. In June 2022, the Planning Commission approved a Master Plan to subdivide the 73.9 acres of land into a 236-lot residential mixed use subdivision with 623 residential dwelling units over phases with three future commercial development lots along the Highway 70 frontage. The approved phasing of the development is as follows:

|                       | Use                                               | Number of Lots                                                | Dwelling Units |
|-----------------------|---------------------------------------------------|---------------------------------------------------------------|----------------|
| Phase 1               | Flats                                             | 1                                                             | 337            |
| Phase 2A              | Residential Townhomes                             | 48 Townhome Lots 20-67                                        | 48             |
| Phase 2B              | Residential Townhomes / Single Family Residential | 22 Townhome Lots 1-19 and 68-70<br>54 Single Family Lots 1-54 | 76             |
| Phase 3               | Mixed Use Commercial/Lofts                        | 1                                                             | 82             |
| Phase 4               | Single Family Residential                         | 55 (Lots 55-109)                                              | 55             |
| Phase 5               | Single Family Residential                         | 52 (Lots 110-161)                                             | 52             |
| Commercial Outparcels | Commercial                                        | 3                                                             | 0              |

In September 2022, the Planning Commission approved a Construction Plan for Phase 1A to construct the Union Depot Drive and Talcott Lane connections to US Highway 70. In January 2023, the Planning Commission approved the Construction Plans for Phase 1B and Phase 2A. In October 2023, the Planning Commission approved the Construction Plans for Phase 2B.

**DISCUSSION:** The specific request by the applicant is for the approval of the Construction Plans for the Union Depot Residential Mixed Use Planned Development Phase 3 which is 2.792 acres. The project scope for Phase 3 is the site layout for the mixed use building containing the Station Lofts multi-family and first floor commercial use space. The construction plans for Phase 3 of the development include: a site and layout plan, a grading and drainage plan with a storm-water detention pond shared with Phase 1 on COS K, erosion control plans, and a site utility plan. Access to the subdivision will be from the Union Depot Drive and Talcott Lane connections to US Highway 70.

**Recommendation:** Approval with conditions.

**Engineering Conditions:**

**General:**

- 1) A Subdivision Site Plan contract may be required and will be prepared by Engineering and submitted to the developer/engineer for review to cover the fees to be paid to the City of Bartlett.
- 2) If required, Applicant/ Engineer shall provide a **digital set of drawing** files showing the sanitary sewer lines, drainage lines, lot lines and all improvements in AutoCAD format to [dhubbard@cityofbartlett.org](mailto:dhubbard@cityofbartlett.org) and [ecampbell@cityofbartlett.org](mailto:ecampbell@cityofbartlett.org) for use in the preparation of the Water Design Plan. This plan will be coordinated with the site design engineer to resolve any conflicts.
- 3) A SWPPP and TDEC General Construction Permit will be required and shall be submitted to the TDEC and the City of Bartlett Engineering office. Permit numbers will be recorded on each page of the erosion control plan.
- 4) All new utilities shall be underground.
- 5) Existing sidewalks shown on this plan set are not installed. The developer will be responsible for installing 5" sidewalks and wheelchair ramps in the 9.5 foot pedestrian and utility easement along Union Depot Drive and Portage Drive.
- 6) Correct all markups.

**Plat:**

- 7) Subdivision monument locations shall be shown in accordance with the subdivision regulation.
- 8) Drainage easement extension shall be shown.
- 9) First note on plat sheet 1 needs to include drainage for utility maintenance.

**Existing Conditions:**

- 10) Existing conditions shall be verified in field. Some items shown are not existing. These may need to be called out as "To be completed under separate contract"

**Site Plan:**

- 11) All parking spots adjacent to sidewalk shall have parking blocks (wheel stops) to prevent vehicles from encroaching over the sidewalk. These shall serve to prevent injuries to people using the sidewalk as well as prevent overhang by parked vehicles, which would make the sidewalk unusable and/or non-ADA compliant. ADA compliance requires 4' of clear walkway and the 5' sidewalk provides little buffer if vehicles are allowed to overhang (particularly truck beds and trailer hitches). Additionally the angled parking spots adjacent to the 12' sidewalk would benefit from wheel stops to prevent overhang, as well as damage to the curb.

**Layout Plan:**

- 12) Drainage easement extension shall be shown.

**Grading & Drainage Plan:**

- 13) Structure #33 is shown in a parking spot, No. 10 special inlets are not suitable for parking areas.

**Erosion Control Notes & Details:**

- 14) Only the Dandy Bag should be used for inlet protection for inlets on streets open to the public.

**Site Utility Plan:**

- 15) Proposed Irrigation tap and meter will require a permit and tap fees to be paid.
- 16) A fire suppression system will be required, and must be approved by the City of Bartlett fire Marshall. A hydrant is required within 100' of the fire connection.
- 17) A post indicator valve (PIV) will be required.
- 18) An 8" water valve will be required where the 6" C900 (private) is to connect to the existing 8" water main. A reducer will be required on the fire main side of the valve.
- 19) Identify new sanitary sewer pipe as SDR-26.
- 20) A public cleanout, per City of Bartlett standard specifications, is required at the sanitary easement for the 6" sewer flowing into SMH#1. Pipe from manhole to cleanout to be SDR-26.

**Sewer Profile and Details:**

- 21) Indicate on profile that 8" sewer pipe is to be SDR-26.
- 22) Detail 2 is a City of Memphis detail. Although acceptable to use, the City of Bartlett will require steps in the manhole.
- 23) Add the City of Bartlett detail for a typical sewer cleanout.

**Landscape Plan:**

- 24) The plan calls for a 6' ornamental metal fence. Please provide a detail.

**Planning Conditions:**

1. The applicant shall label Landscape Plate D on the Phase 3 final plat. The Landscape Plate D detail must also be provided on the Phase 3 plat. These landscape plates will be modified to avoid landscaping being placed in conflict with underlying utilities.
2. The Final Plat for Phase 3 must have a phasing key map with the boundaries highlighted or bolded.
3. The Final Plat for Phase 3 must have the Outline Plan Instrument Number attached to the plat.
4. The Final Plat for Phase 3 shall identify the roles and responsibilities of the Property Owners Association/Home Owners Association.
5. The applicant shall be present at the meeting in order to make decisions to any changes that may be suggested by the Planning Commission.

**Final Plan**

**2. Union Depot Phase 3, 6896 Highway 70 (Roy Lamica, EFI Global)**

**INTRODUCTION:** Mr. Roy Lamica with EFI Global is requesting Planning Commission approval of a Final Plan for Phase 3 of the Union Depot Residential Mixed Use Planned Development. The subject property is located at 6896 Highway 70 along the west side of Highway 70 and north of Stage Road. The subject property has split zoning with the northern half within the "RS-10" Single Family Residential Zoning District and the southern half within the "O-R-1" Neighborhood Office Zoning District.

**BACKGROUND:** In December 2021, the Board of Mayor and Aldermen approved a Special Use Permit to allow for the submittal of development plans for a Residential Mixed Use Planned Development on the 73.9 acres that was the former site of the Tennessee Baptist Childrens Home. In June 2022, the Planning Commission approved a Master Plan to subdivide the 73.9 acres of land into a 236-lot residential mixed use subdivision with 623 residential dwelling units over phases with three future commercial development lots along the Highway 70 frontage. The approved phasing of the development is as follows:

|                       | Use                                               | Number of Lots                                                | Dwelling Units |
|-----------------------|---------------------------------------------------|---------------------------------------------------------------|----------------|
| Phase 1               | Flats                                             | 1                                                             | 337            |
| Phase 2A              | Residential Townhomes                             | 48 Townhome Lots 20-67                                        | 48             |
| Phase 2B              | Residential Townhomes / Single Family Residential | 22 Townhome Lots 1-19 and 68-70<br>54 Single Family Lots 1-54 | 76             |
| Phase 3               | Mixed Use Commercial/Lofts                        | 1                                                             | 82             |
| Phase 4               | Single Family Residential                         | 55 (Lots 55-109)                                              | 55             |
| Phase 5               | Single Family Residential                         | 52 (Lots 110-161)                                             | 52             |
| Commercial Outparcels | Commercial                                        | 3                                                             | 0              |

In January 2023, the Planning Commission approved the Final Plan for Phase 1 and Phase 2A. In October 2023, the Planning Commission approved the Final Plan for Phase 2B.

**DISCUSSION:** The specific request by the applicant is for the approval of the Final Plan for the Union Depot Residential Mixed Use Planned Development Phase 3 which is 2.792 acres. The project scope for Phase 3 is the site layout for the mixed use building containing the Station Lofts multi-family and first floor commercial use space. Access to the subdivision will be from the Union Depot Drive and Talcott Lane connections to US Highway 70.

**Recommendation:** Approval with conditions.

### **Engineering Conditions:**

#### **General:**

- 1) A Subdivision Site Plan contract may be required and will be prepared by Engineering and submitted to the developer/engineer for review to cover the fees to be paid to the City of Bartlett.
- 2) If required, Applicant/ Engineer shall provide a **digital set of drawing** files showing the sanitary sewer lines, drainage lines, lot lines and all improvements in AutoCAD format to [dhubbard@cityofbartlett.org](mailto:dhubbard@cityofbartlett.org) and [ecampbell@cityofbartlett.org](mailto:ecampbell@cityofbartlett.org) for use in the preparation of the Water Design Plan. This plan will be coordinated with the site design engineer to resolve any conflicts.

- 3) A SWPPP and TDEC General Construction Permit will be required and shall be submitted to the TDEC and the City of Bartlett Engineering office. Permit numbers will be recorded on each page of the erosion control plan.
- 4) All new utilities shall be underground.
- 5) Existing sidewalks shown on this plan set are not installed. The developer will be responsible for installing 5" sidewalks and wheelchair ramps in the 9.5 foot pedestrian and utility easement along Union Depot Drive and Portage Drive.
- 6) Correct all markups.

**Plat:**

- 7) Subdivision monument locations shall be shown in accordance with the subdivision regulation.
- 8) Drainage easement extension shall be shown.
- 9) First note on plat sheet 1 needs to include drainage for utility maintenance.

**Existing Conditions:**

- 10) Existing conditions shall be verified in field. Some items shown are not existing. These may need to be called out as "To be completed under separate contract"

**Site Plan:**

- 11) All parking spots adjacent to sidewalk shall have parking blocks (wheel stops) to prevent vehicles from encroaching over the sidewalk. These shall serve to prevent injuries to people using the sidewalk as well as prevent overhang by parked vehicles, which would make the sidewalk unusable and/or non-ADA compliant. ADA compliance requires 4' of clear walkway and the 5' sidewalk provides little buffer if vehicles are allowed to overhang (particularly truck beds and trailer hitches). Additionally the angled parking spots adjacent to the 12' sidewalk would benefit from wheel stops to prevent overhang, as well as damage to the curb.

**Layout Plan:**

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**Grading & Drainage Plan:**

- 13) Structure #33 is shown in a parking spot, No. 10 special inlets are not suitable for parking areas.

**Erosion Control Notes & Details:**

- 14) Only the Dandy Bag should be used for inlet protection for inlets on streets open to the public.

**Site Utility Plan:**

- 15) Proposed Irrigation tap and meter will require a permit and tap fees to be paid.
- 16) A fire suppression system will be required, and must be approved by the City of Bartlett fire Marshall. A hydrant is required within 100' of the fire connection.
- 17) A post indicator valve (PIV) will be required.
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**Sewer Profile and Details:**

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- 22) Detail 2 is a City of Memphis detail. Although acceptable to use, the City of Bartlett will require steps in the manhole.
- 23) Add the City of Bartlett detail for a typical sewer cleanout.

**Landscape Plan:**

- 24) The plan calls for a 6' ornamental metal fence. Please provide a detail.

**Planning Conditions:**

1. The applicant shall label Landscape Plate D on the Phase 3 final plat. The Landscape Plate D detail must also be provided on the Phase 3 plat. These landscape plates will be modified to avoid landscaping being placed in conflict with underlying utilities.
2. The Final Plat for Phase 3 must have a phasing key map with the boundaries highlighted or bolded.
3. The Final Plat for Phase 3 must have the Outline Plan Instrument Number attached to the plat.
4. The Final Plat for Phase 3 shall identify the roles and responsibilities of the Owners Association/Home Owners Association.
5. The applicant shall be present at the meeting in order to make decisions to any changes that may be suggested by the Planning Commission.

**Site Plan**

**3. Union Depot Phase 3, 6896 Highway 70 (Roy Lamica, EFI Global)**

**INTRODUCTION:** Mr. Roy Lamica with EFI Global is requesting Planning Commission approval of a Site Plan for Phase 3 – Station Lofts at Union Depot of

the Union Depot Residential Mixed Use Planned Development. The subject property is located at 6896 Highway 70 along the west side of Highway 70 and north of Stage Road. The subject property has split zoning with the northern half within the “RS-10” Single Family Residential Zoning District and the southern half within the “O-R-1” Neighborhood Office Zoning District.

**BACKGROUND:** In December 2021, the Board of Mayor and Aldermen approved a Special Use Permit to allow for the submittal of development plans for a Residential Mixed Use Planned Development on the 73.9 acres that was the former site of the Tennessee Baptist Childrens Home. In June 2022, the Planning Commission approved a Master Plan to subdivide the 73.9 acres of land into a 236-lot residential mixed use subdivision with 623 residential dwelling units over phases with three future commercial development lots along the Highway 70 frontage. The approved phasing of the development is as follows:

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| Phase 5               | Single Family Residential                         | 52 (Lots 110-161)                                             | 52             |
| Commercial Outparcels | Commercial                                        | 3                                                             | 0              |

In January 2023, the Planning Commission approved the Site Plan for The Westerly at Union Depot multi-family flats located in Phase 1.

**DISCUSSION:** The specific request by the applicant is for the approval of the Site Plan for the Union Depot Residential Mixed Use Planned Development Phase 3 – Station Lofts at Union Depot which is 2.792 acres. The proposed site plan includes the mixed use building containing the 82 units of Station Lofts multi-family and 10,608 square feet of first floor commercial use space, dumpster/trash compactor enclosure, vehicle charging locations, and streetscape along Union Depot Drive and Portage Drive. The multi-family units

will range in size from 530 sq.ft. to 1,186 sq.ft. Access to the subdivision will be from the Union Depot Drive and Talcott Lane connections to US Highway 70. The specifics of the proposed site plan is as follows:

| Site Data                                                                                                                                                                                                     |                                                                                                                  |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------|
| <b>Site Area:</b>                                                                                                                                                                                             | 2.792 acres/121,619.52-square feet                                                                               |
| <b>Proposed Total Building Area:</b>                                                                                                                                                                          | 89,654 square feet<br>Loft units – 67,983<br>Loft common areas, office – 11,063<br>Commercial use space – 10,608 |
| <b>Proposed Total Dwelling Units:</b>                                                                                                                                                                         | 82                                                                                                               |
| <b>Total Required Parking Spaces:</b><br><b>Multi Family Dwellings Use - 82</b><br><b>(1 space per unit if less than 165 units)</b><br><br><b>Commercial Use – 53</b><br><b>(1 space per 200 square feet)</b> | 135 Total (6 Handicap / 2 ADA Van)                                                                               |
| <b>Total Proposed Parking Spaces:</b>                                                                                                                                                                         | 137 Total<br>129 Regular & 6 Handicap / 2 ADA Van                                                                |
| <b>Green/Open Space:</b>                                                                                                                                                                                      | 15% (20% required overall with Residential Mixed Use)                                                            |
| <b>Building Height:</b>                                                                                                                                                                                       | 50 feet – 3 stories                                                                                              |

**Recommendation:** Approval with conditions.

### **Engineering Conditions:**

#### **General:**

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- 2) If required, Applicant/ Engineer shall provide a **digital set of drawing** files showing the sanitary sewer lines, drainage lines, lot lines and all improvements in AutoCAD format to [dhubbard@cityofbartlett.org](mailto:dhubbard@cityofbartlett.org) and [ecampbell@cityofbartlett.org](mailto:ecampbell@cityofbartlett.org) for use in the preparation of the Water Design Plan. This plan will be coordinated with the site design engineer to resolve any conflicts.
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- 6) Correct all markups.

**Plat:**

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- 20) A public cleanout, per City of Bartlett standard specifications, is required at the sanitary easement for the 6" sewer flowing into SMH#1. Pipe from manhole to cleanout to be SDR-26.

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23) Add the City of Bartlett detail for a typical sewer cleanout.

**Landscape Plan:**

- 24) The plan calls for a 6' ornamental metal fence. Please provide a detail.

**Planning Conditions:**

1. The applicant shall add the number of multi-family units and the square footage of commercial space to the site plan data table.
2. The applicant shall add the parking space design ratios for multi-family use and commercial use to the site plan data table.
3. The applicant shall clearly designate the location of multi-family parking spaces and commercial use parking spaces.
4. The applicant shall label Landscape Plate D on the Phase 3 final plat. The Landscape Plate D detail must also be provided on the Phase 3 plat. These landscape plates will be modified to avoid landscaping being placed in conflict with underlying utilities.
5. The Final Plat for Phase 3 must have a phasing key map with the boundaries highlighted or bolded.
6. The Final Plat for Phase 3 must have the Outline Plan Instrument Number attached to the plat.
7. The Final Plat for Phase 3 shall identify the roles and responsibilities of the Property Owners Association/Home Owners Association.
8. The applicant shall be present at the meeting in order to make decisions to any changes that may be suggested by the Planning Commission.



# Bartlett

T E N N E S S E E

HOMETOWN PROUD

## PC Construction Plan Application

Date: 01/06/2025

### Project Information

Property Address: 6896 Highway 70

Project Name:

Present Zoning:

# of Lots:

Planned Development

1

Description: Mixed Use (Retail/Multi-Family)

### Applicant / Owner

Applicant Name: Roy Lamica

Company Name: EFI Global

Address: 7975 Stage Hills Blvd, Suite 1

City, State, Zip: Bartlett, TN 38133

Phone: 9013551347

Email: roy.lamica@efiglobal.com

Owner Name:

Company Name:

Address:

City, State, Zip:

Phone:

Email:

Blue Sky Communities, Inc.

177 Crescent Drive

Collierville, TN 38017

9018540525

### Architect / Engineer

Architect Contact: Reid Cullers

Company Name: Shapiro & Company

Architects

Address: 435 Madison Avenue, Suite 200

City, State, Zip: Memphis, TN 38103

Phone: 9016859001

Email: rcullers@shapiroandco.com

Architect Contact: Roy Lamica

Company Name: EFI Global

Address: 7975 Stage Hills Blvd, Suite 1

City, State, Zip: Bartlett, TN 38133

Phone: 9013551347

Email: roy.lamica@efiglobal.com

I do hereby certify that the information contained herein is true and correct.

Roy Lamica

Name

01/06/2025

Date

**Bartlett Planning and  
Economic Development Department  
6382 Stage Road, P.O. Box 341148  
Bartlett, TN 38184-1148  
901-385-6417 FAX 901-385-6419  
www.cityofbartlett.org**

## **Construction Plan Checklist**

**The applicant shall either indicate that the following items have been completed by a check (✓) or that they are not applicable (n/a).**

In addition to all the requirements of the Master Plan, the Construction Plan shall show

- |              |                                                                                                                                          |
|--------------|------------------------------------------------------------------------------------------------------------------------------------------|
| <u>  X  </u> | Signature and Seal of Designer, a Professional Civil Engineer Registered in Tennessee                                                    |
| <u>  X  </u> | * Grading Plan, existing & finished contours for the site and fifty (50) feet beyond property                                            |
| <u> N/A </u> | * Extent and elevation of land below the 100-year flood                                                                                  |
| <u>  X  </u> | Detailed plan of sewer layouts                                                                                                           |
| <u>  X  </u> | Plan and profile sheets and engineering data for streets, storm drainage, controls for surface and ground water, water and sewer layouts |
| <u>  X  </u> | Landscape plan and planting schedule as required                                                                                         |
| <u>  X  </u> | Comprehensive drainage plan                                                                                                              |
| <u>  X  </u> | Construction traffic access plan                                                                                                         |

Certificates: (As applicable)

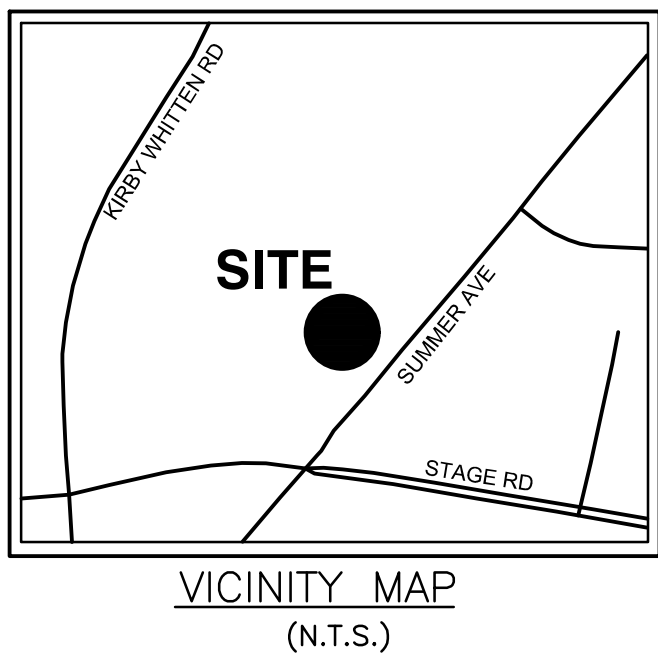
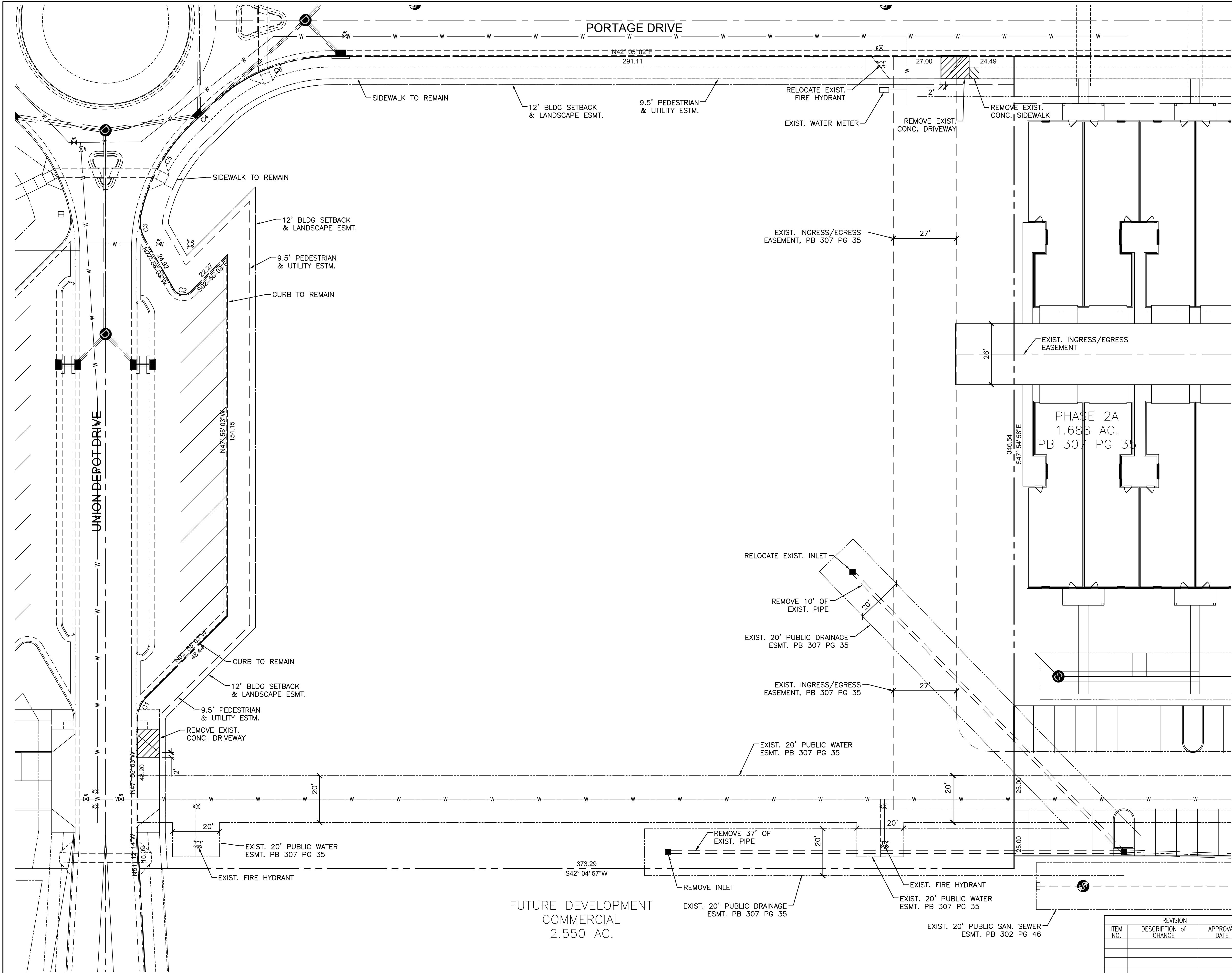
- |              |                                              |
|--------------|----------------------------------------------|
| <u> N/A </u> | Suitability of Soils for Septic Tanks        |
| <u>  X  </u> | Approval of Water and Sewerage Systems       |
| <u>  X  </u> | Accuracy of Engineering and Design           |
| <u>  X  </u> | Approval of Water and Sewer Lines            |
| <u>  X  </u> | Approval of Street and Drainage Improvements |
| <u>  X  </u> | Quality of Construction                      |
| <u>  X  </u> | Compliance with requirements of EPA          |
| <u> N/A </u> | Approval of Flood Administrator              |

**In addition to the Construction Plan drawings, the following shall be provided:**

- |              |                                                                                                                                                           |
|--------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------|
| <u>  X  </u> | One PDF file of the pictorial portion of the Construction Plan sheets indicated above by an asterisk (*), for display at the Planning Commission meeting. |
|--------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------|

Include a fee of \$500.00 plus \$20.00 per lot with this application (check payable to the City of Bartlett).  
**The fee is not refundable.**

**INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED**



- NOTES:
- UTILITY DISCLAIMER: LOCATION OF EXISTING ABOVE GROUND AND UNDERGROUND UTILITIES AND STRUCTURES INDICATED ARE APPROXIMATE ONLY, AND THOSE INDICATED ARE NOT NECESSARILY ALL WHICH MAY EXIST ON THE PROJECT SITE. CONTRACTOR SHALL DETERMINE ACTUAL LOCATIONS OF ALL UTILITIES AND STRUCTURES ON THE PROJECT SITE, WHETHER THEY ARE INDICATED OR NOT. CONTRACTOR SHALL ASSUME THE RESPONSIBILITY FOR ANY DAMAGE TO THE UTILITY LINES, WHETHER SHOWN ON THE CONSTRUCTION PLANS OR NOT, DURING WORK ON THE PROJECT.
  - FOR UNDERGROUND UTILITY LOCATIONS CALL TENNESSEE ONE CALL.
  - FIELD VERIFY EXISTING GRADES AND COMPARE WITH PLAN ON THIS SHEET. REPORT ALL DISCREPANCIES TO THE ARCHITECT/ENGINEER PRIOR TO STARTING CONSTRUCTION OPERATIONS.
  - ALL EDGES OF CONCRETE AND ASPHALT TO BE REMOVED SHALL BE SAWCUT ON NEAT LINES.
  - CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY ON ANY ADJUSTMENTS TO UTILITY BOXES OR VALVES.
  - ANY DAMAGE TO EXISTING SITE FEATURES, DURING CONSTRUCTION ACTIVITIES, NOT SHOWN TO BE REMOVED SHALL BE REPLACED AT THE DIRECTION OF THE ENGINEER AT THE EXPENSE OF THE CONTRACTOR.

| Curve Table |        |            |               |              |
|-------------|--------|------------|---------------|--------------|
| CURVE       | RADIUS | ARC LENGTH | CHORD BEARING | CHORD LENGTH |
| C5          | 74.50' | 47.30'     | S17° 55' 01"E | 46.51'       |
| C6          | 74.50' | 61.13'     | S18° 34' 37"W | 59.43'       |
| C1          | 14.50' | 11.39'     | S25° 25' 03"E | 11.10'       |
| C2          | 4.50'  | 8.25'      | N49° 34' 57"E | 7.14'        |
| C3          | 14.50' | 10.58'     | S57° 00' 42"E | 10.35'       |
| C4          | 57.50' | 5.22'      | S02° 19' 45"E | 5.22'        |



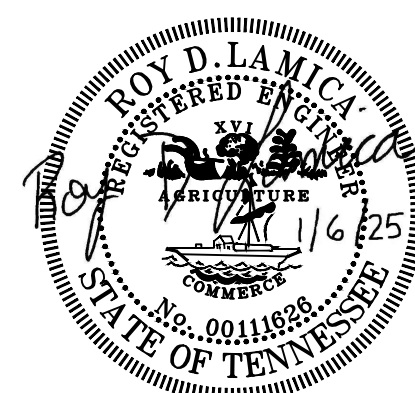
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REVISION

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20' 0 20' 40'

SCALE 1" = 20'

SHEET 1 of 1

CITY OF BARTLETT DIVISION OF ENGINEERING

EXISTING CONDITIONS & DEMO PLAN

LOCATION: SUMMER AVENUE

BARTLETT, TENNESSEE

SURVEY \_\_\_\_\_ DATE \_\_\_\_\_ BOOK \_\_\_\_\_

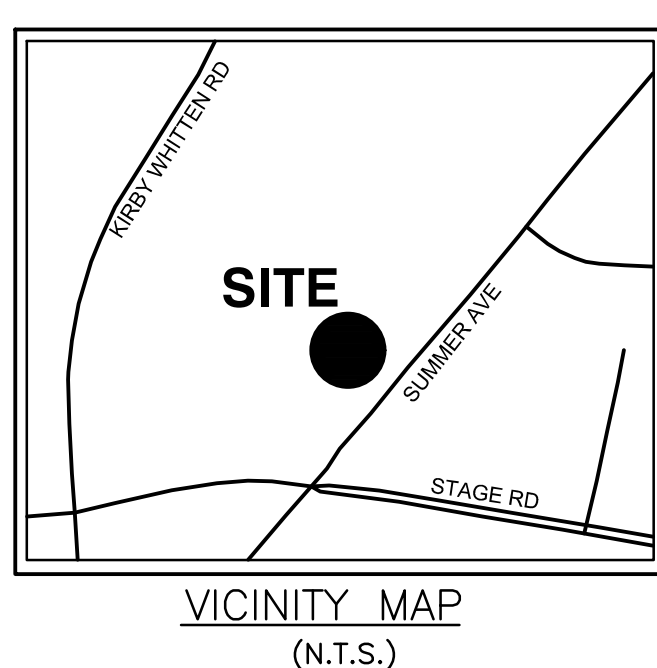
DESIGN BY: EFI GLOBAL DATE 01.06.25 SCALE AS NOTED

REVIEWED \_\_\_\_\_

DEPUTY CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_ CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

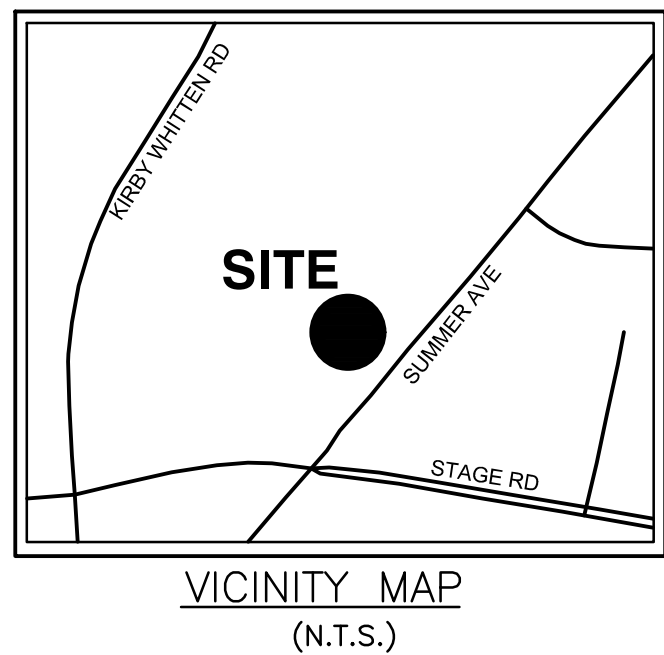
NOT FOR CONSTRUCTION

UNION DEPOT P.D. PHASE 3  
DEVELOPER: UNION DEPOT, LLC  
ENGINEER: EFI GLOBAL



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SURVEY \_\_\_\_\_ DATE \_\_\_\_\_ BOOK \_\_\_\_\_  
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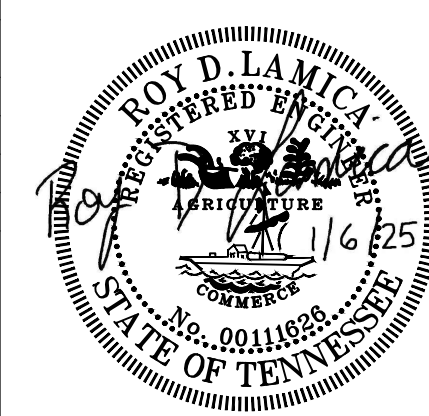
1. COORDINATES SHOWN ARE BASED ON TN STATE PLAN (NAD83).

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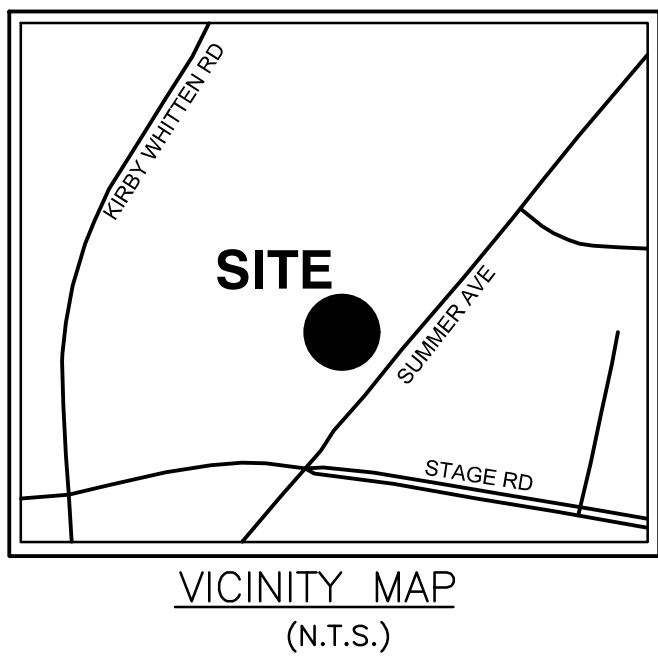
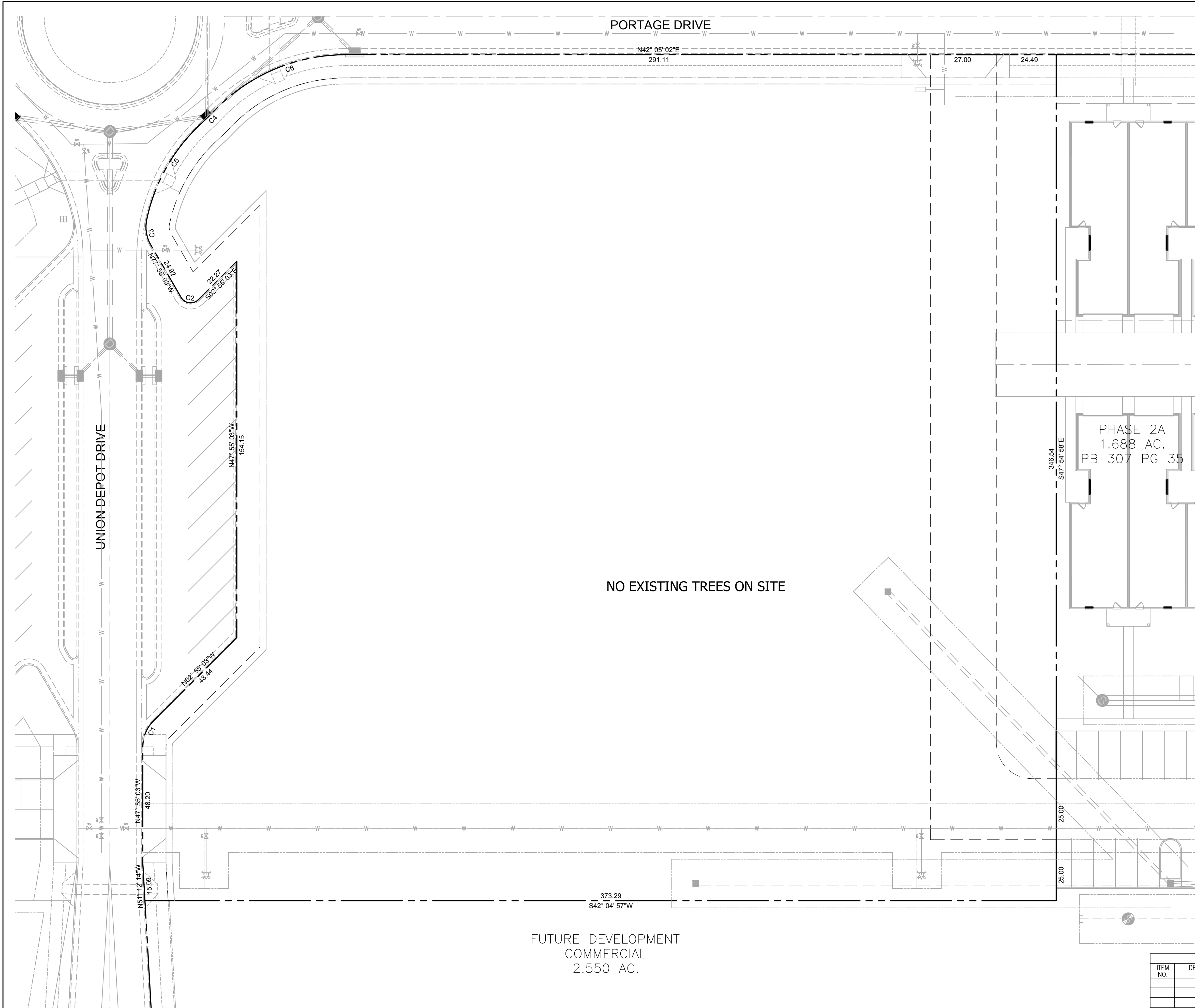
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 Telephone: 901.377.9984  
[www.efiglobal.com](http://www.efiglobal.com)

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SURVEY \_\_\_\_\_ DATE \_\_\_\_\_ BOOK \_\_\_\_\_  
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DEVELOPER: UNION DEPOT, LLC  
ENGINEER: EFI GLOBAL

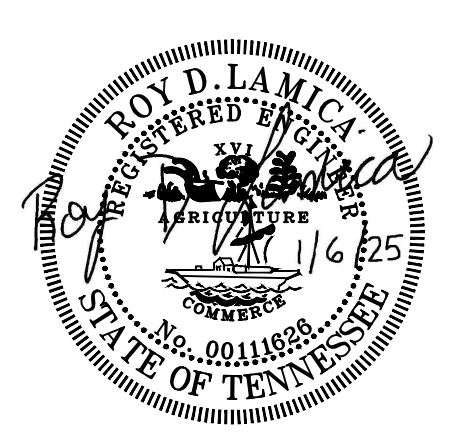


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REVISION

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20' 0 20' 40'

SCALE 1" = 20'

SHEET 1 of 1

CITY OF BARTLETT DIVISION OF ENGINEERING

TREE PROTECTION PLAN

LOCATION: SUMMER AVENUE

BARTLETT, TENNESSEE

SURVEY \_\_\_\_\_ DATE \_\_\_\_\_ BOOK \_\_\_\_\_

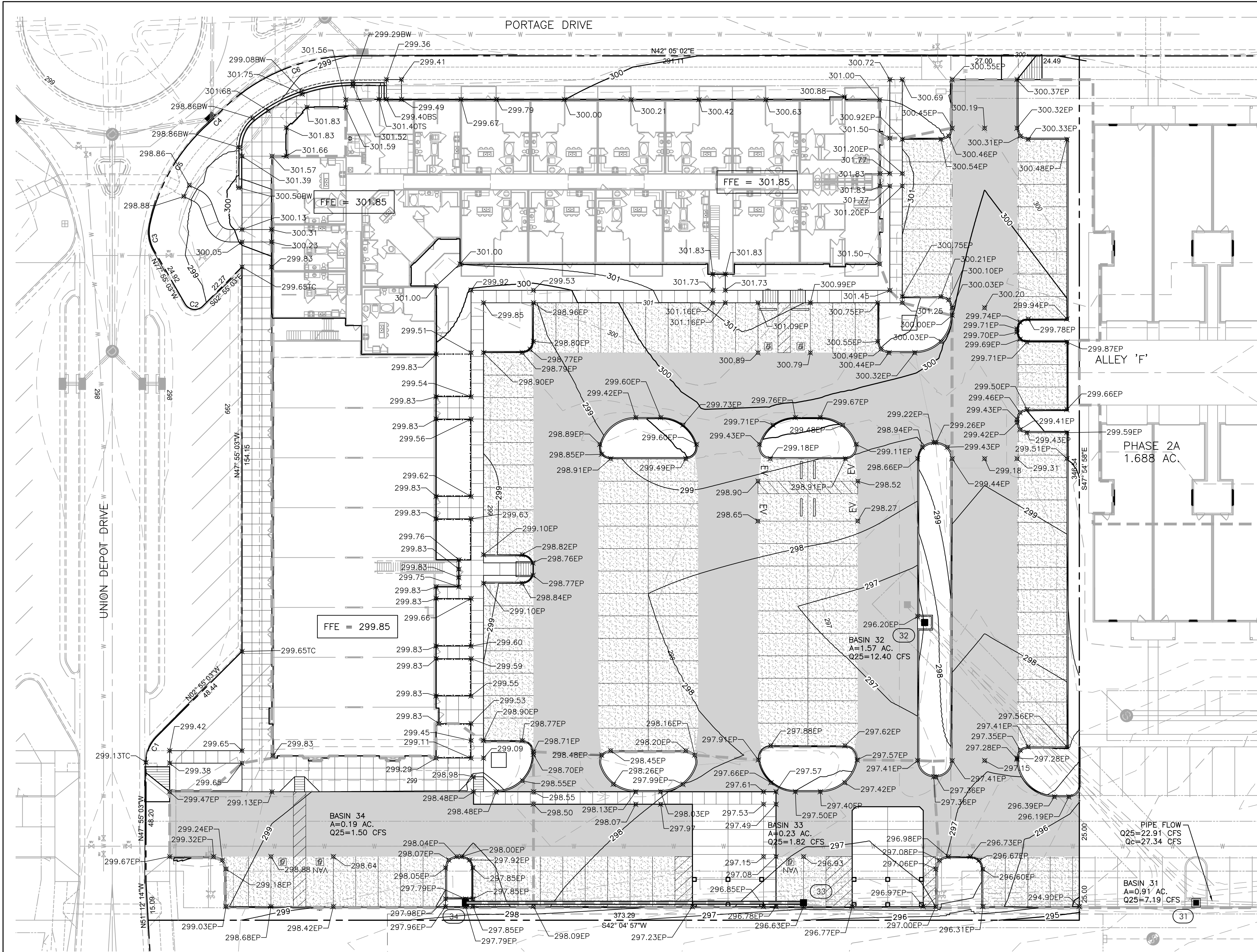
DESIGN BY: EFI GLOBAL DATE 01.06.25 SCALE AS NOTED

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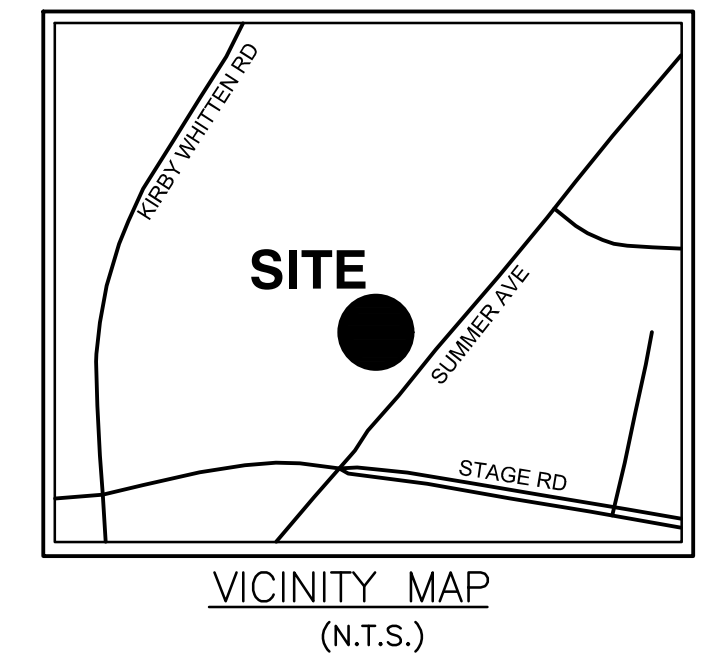
NOT FOR CONSTRUCTION

UNION DEPOT P.D. PHASE 3  
DEVELOPER: UNION DEPOT, LLC  
ENGINEER: EFI GLOBAL



LEGEND

- PROPOSED DRAINAGE PIPE
- EXISTING CONTOUR
- PROPOSED CONTOUR



- NOTES:
- PROPERTY LINES SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. GRADING, CLEARING, AND THE ERECTION OR REMOVAL OF FENCES ALONG PROPERTY LINES SHALL BE FULLY COORDINATED WITH ADJACENT PROPERTY OWNERS.
  - VERIFY SITE CONDITIONS PRIOR TO CONSTRUCTION. NOTIFY THE PROJECT ENGINEER OF ANY VARIATIONS PRIOR TO COMMENCEMENT OF WORK.
  - ALL GRADING WORK SHALL BE PERFORMED IN SUCH A MANNER THAT ADJACENT PROPERTIES ARE NOT DAMAGED OR ADVERSELY AFFECTED.
  - NEWLY CUT OR FILLED EMBANKMENTS SHALL BE SODDED SOLID OR SEEDED, MULCHED, AND STAKED TO ADEQUATELY PREVENT SOIL EROSION.
  - THE LOCATION OF ALL EXISTING UTILITIES SHALL BE VERIFIED PRIOR TO CONSTRUCTION. ALL WORK SHALL BE PERFORMED IN A MANNER TO INSURE THAT EXISTING UTILITIES ARE NOT INTERFERED WITH OR DISRUPTED. FOR UNDERGROUND UTILITY LOCATIONS, CALL 811.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTILITY COMPANIES WHICH MAINTAIN A UTILITY LINE WITHIN THE BOUNDARIES OF THE PROJECT PRIOR TO THE INITIATION OF ANY CONSTRUCTION ON THE PROJECT OR IN THE STREETS BORDERING THE PROJECT. THE CONTRACTOR SHALL ALSO ASSUME THE RESPONSIBILITY FOR ANY DAMAGE TO UTILITY LINES, WHETHER SHOWN ON THE CONSTRUCTION PLANS OR NOT, DURING THE WORK ON THE PROJECT.
  - FILL UNDER THE BUILDING SHALL BE COMPACTED TO 98% STANDARD PROCTOR DENSITY. FILL UNDER PAVED AREAS SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY. ALL FILL SHALL BE PLACED IN 6" LIFTS COMPACTED.
  - BEFORE WORK BEGINS, CALL THE CITY OF BARTLETT ENGINEERING OFFICE AT 385-6499.
  - ALL CONSTRUCTION MATERIALS SHALL BE PER CITY OF BARTLETT STANDARDS AND SPECIFICATIONS.
  - CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
  - ALL SPOT ELEVATIONS ALONG CURBS ARE TO BOTTOM OF CURB/GUTTER FLOWLINE UNLESS OTHERWISE NOTED.
  - ADA PARKING SPACES AND ADJACENT ACCESS AISLES SHALL HAVE A MAXIMUM SLOPE OF 2.0% IN ALL DIRECTIONS.
  - ALL SIDEWALKS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5.0% AND A MAXIMUM CROSS SLOPE OF 2.0%, UNLESS OTHERWISE NOTED.
  - ADA RAMPS SHALL HAVE A MAXIMUM SLOPE OF 8.33%.

CERTIFICATE OF ACCURACY OF ENGINEERING AND DESIGN

I, \_\_\_\_\_, a professional Civil Engineer, do hereby certify that the plans shown and described on this Construction Plan regarding engineering and designs governing the construction of this subdivision are true and correct, and conform to the requirements set forth in the Subdivision Regulations and Technical Specifications of the City of Bartlett.

Date \_\_\_\_\_ Professional Engineer  
State of Tennessee  
Certificate No. \_\_\_\_\_

CERTIFICATE OF QUALITY OF CONSTRUCTION

I, \_\_\_\_\_, do hereby certify that I will construct or have constructed the improvements shown on the Construction Plan and guarantee that they meet, or will meet all requirements set forth in the Subdivision Regulations and Technical Specifications of the City of Bartlett subject to the approval of the City Engineer, the State of Tennessee Department of Public Health, the Shelby County Health Department, the Planning Commission, and any other government agency as may be required by the statute or regulations.

Date \_\_\_\_\_ Owner or Developer

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| PROPOSED STORM DRAINAGE STRUCTURES |           |           |                |          |                |                  |                | AS-BUILT STORM DRAINAGE STRUCTURES |          |         |          |                |
|------------------------------------|-----------|-----------|----------------|----------|----------------|------------------|----------------|------------------------------------|----------|---------|----------|----------------|
| NUMBER                             | NORTHING  | EASTING   | STRUCTURE TYPE | RIM ELEV | FLOW LINE ELEV | DRAINAGE AREA AC | Q25 TO STRUCT. | NUMBER                             | NORTHING | EASTING | RIM ELEV | FLOW LINE ELEV |
| 31                                 | 340889.22 | 823746.51 | EXIST. INLET   | 293.87   | 288.50         | 0.91             | 7.19           | 31                                 |          |         |          |                |
| 32                                 | 340883.76 | 823590.19 | NO. 10 SPECIAL | 297.08   | 292.26         | 1.57             | 12.40          | 32                                 |          |         |          |                |
| 33                                 | 340772.40 | 823641.03 | NO. 10 SPECIAL | 296.65   | 292.39         | 0.23             | 1.82           | 33                                 |          |         |          |                |
| 34                                 | 340671.84 | 823550.22 | NO. 10 SPECIAL | 297.79   | 293.79         | 0.19             | 1.50           | 34                                 |          |         |          |                |

| PROPOSED STORM DRAIN PIPES |           |    |           |          |          |          |            |               |                 |                 |               | AS-BUILT STORM DRAIN PIPES |           |    |           |          |          |            |                 |                 |
|----------------------------|-----------|----|-----------|----------|----------|----------|------------|---------------|-----------------|-----------------|---------------|----------------------------|-----------|----|-----------|----------|----------|------------|-----------------|-----------------|
| FROM                       | INV. ELEV | TO | INV. ELEV | DIA., in | MATERIAL | SLOPE, % | LENGTH, ft | GROSS DA, AC. | DESIGN Q25, cfs | CAPACITY Q, cfs | VELOCITY, fps | FROM                       | INV. ELEV | TO | INV. ELEV | DIA., in | SLOPE, % | LENGTH, ft | DESIGN Q10, cfs | CAPACITY Q, cfs |
| 32                         | 292.26    | 31 | 288.50    | 18       | EX. RCP  | 2.40%    | 156.42     | 1.57          | 12.40           | 16.27           | 9.21          | 32                         |           | 31 |           |          |          |            |                 |                 |
| 33                         | 292.39    | 31 | 288.75    | 15       | EX. RCP  | 2.31%    | 157.39     | 0.42          | 3.32            | 9.81            | 8.00          | 33                         |           | 31 |           |          |          |            |                 |                 |
| 34                         | 293.79    | 33 | 292.49    | 15       | RCP      | 0.96%    | 135.50     | 0.19          | 1.50            | 6.33            | 5.16          | 34                         |           | 33 |           |          |          |            |                 |                 |

FUTURE DEVELOPMENT  
COMMERCIAL  
2.550 AC.

DETENTION NOTE:  
STORM WATER DETENTION IS BEING PROVIDED BY OVERALL BASIN FOR THE ENTIRE DEVELOPMENT CONSTRUCTED IN A PREVIOUS PHASE.

ABBREVIATIONS

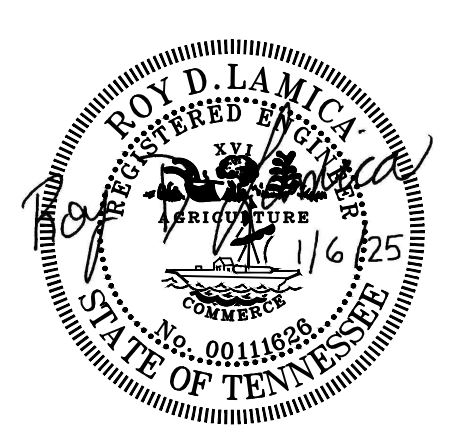
- FG FINISHED GRADE
- FFE FINISHED FLOOR ELEV
- TH THRESHOLD
- TW TOP OF WALL
- BW BOTTOM OF WALL
- TC TOP OF CURB
- EP EDGE OF PAVEMENT
- FL FLOWLINE
- RM RIM
- HP HIGH POINT
- LP LOW POINT
- TS TOP OF STAIRS
- BS BOTTOM OF STAIRS

REVISION

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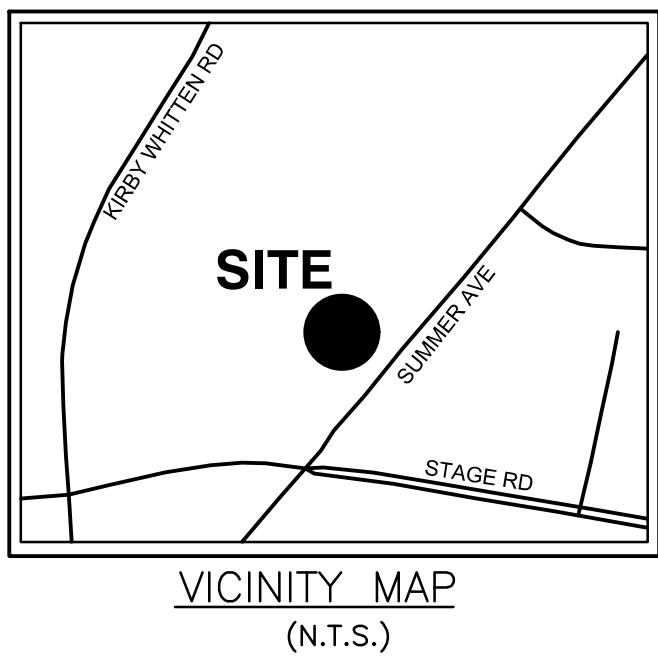
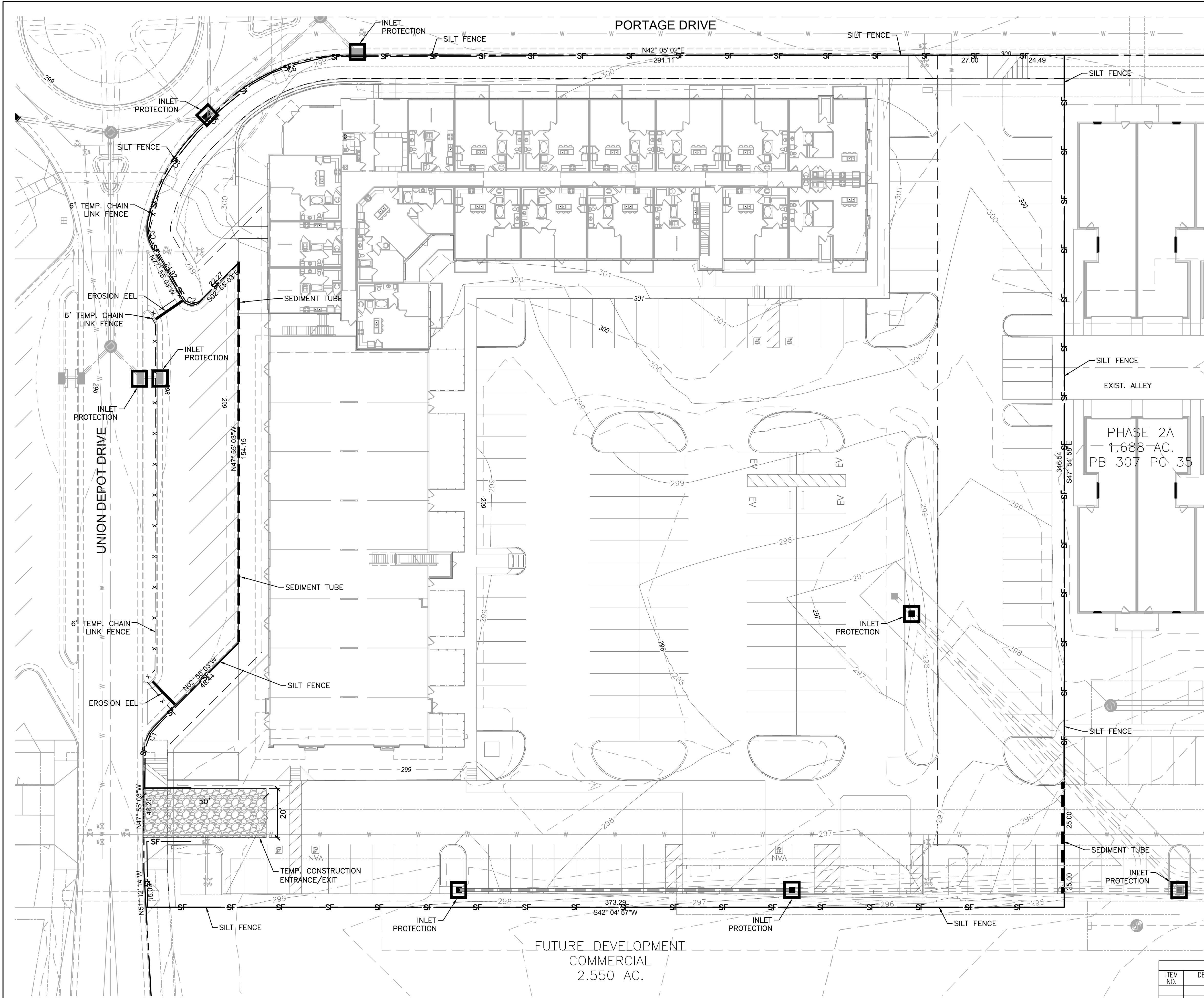
CITY OF BARTLETT DIVISION OF ENGINEERING

GRADING & DRAINAGE PLAN

LOCATION: SUMMER AVENUE  
BARTLETT, TENNESSEE

DEVELOPER: UNION DEPOT, LLC  
ENGINEER: EFI GLOBAL

DEPUTY CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_ CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_



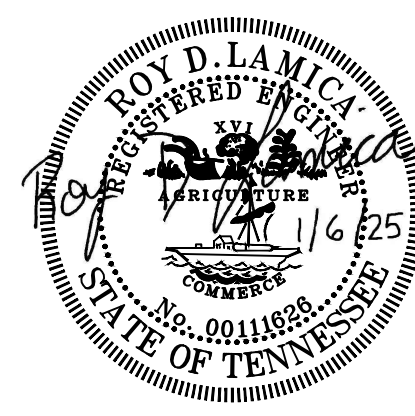
- NOTES:
1. ALL DISTURBED EARTHEN AREAS SHALL BE SODDED OR LANDSCAPED.
  2. EROSION CONTROL MEASURES SHOWN ARE MINIMUM AND DO NOT ACCOUNT FOR THE CONTRACTORS SEQUENCE OF CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR MODIFYING THE EROSION CONTROL MEASURES AS REQUIRED FOR CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL BE REQUIRED TO MAINTAIN EROSION AS REQUIRED BY TDEC.
  3. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION CONTROL INSPECTIONS AND REPORTING AS REQUIRED BY TDEC. TYPICAL INSPECTIONS ARE TWICE A WEEK.
  4. CONTRACTOR SHALL ONLY USE PROPOSED CONSTRUCTION ENTRANCE FOR INGRESS/EGRESS FROM THE SITE.

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SCALE 1" = 20'

CITY OF BARTLETT DIVISION OF ENGINEERING

**EROSION CONTROL PLAN-TEMPORARY**

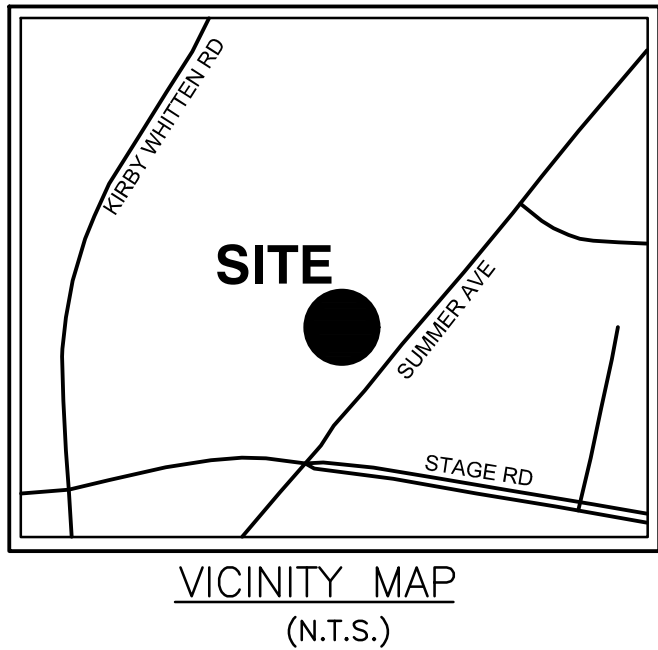
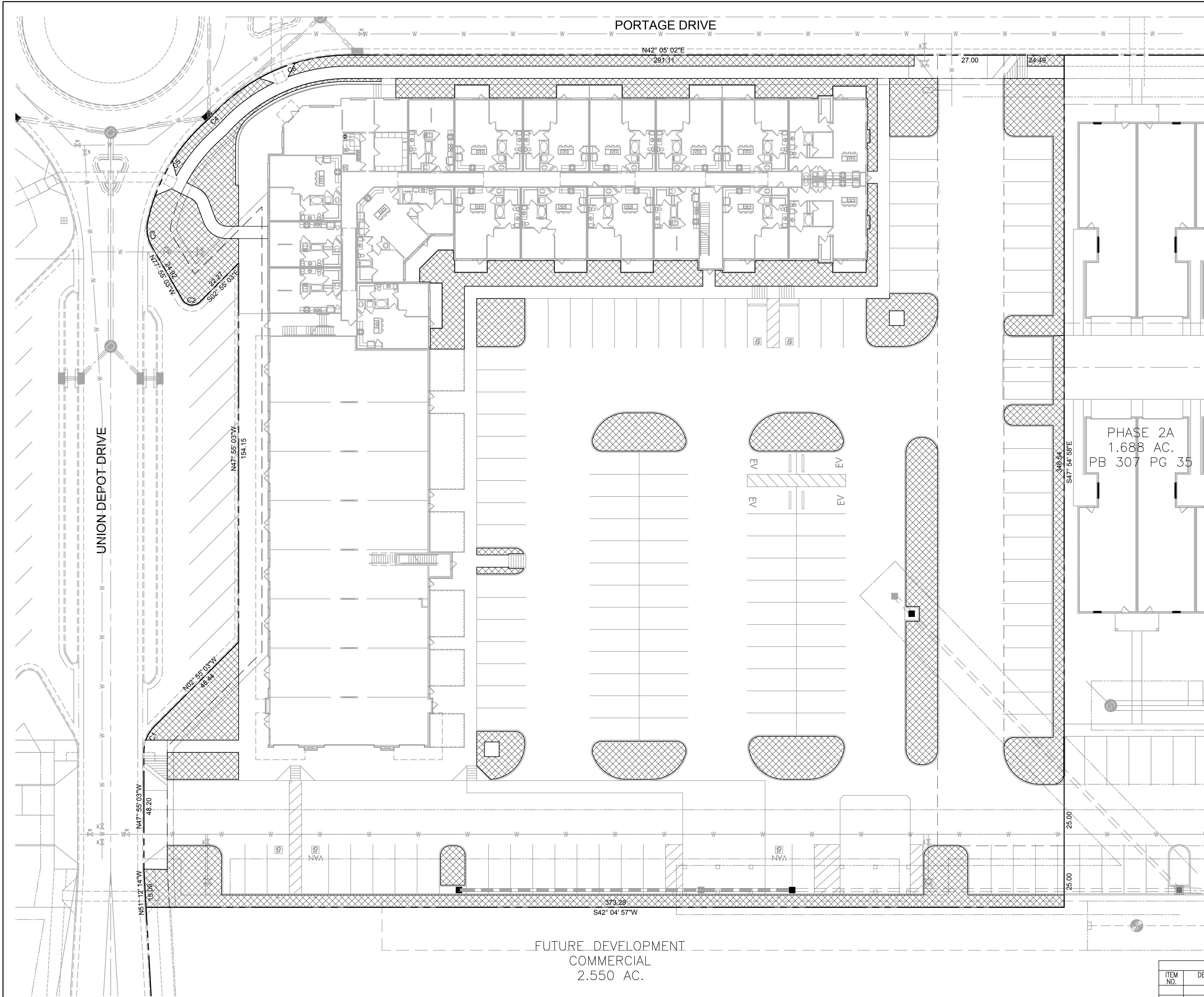
LOCATION: SUMMER AVENUE  
BARTLETT, TENNESSEE

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| SURVEY                | DATE          | BOOK           |
| DESIGN BY: EFI GLOBAL | DATE 01.06.25 | SCALE AS NOTED |
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NOT FOR CONSTRUCTION

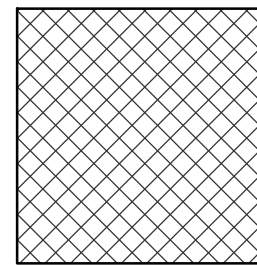
UNION DEPOT P.D. PHASE 3

DEVELOPER: UNION DEPOT, LLC  
ENGINEER: EFI GLOBAL



NOTES:

1. ALL DISTURBED EARTHEN AREAS SHALL BE SODDED OR LANDSCAPED. SOD LIMITS SHOWN ARE APPROXIMATE.



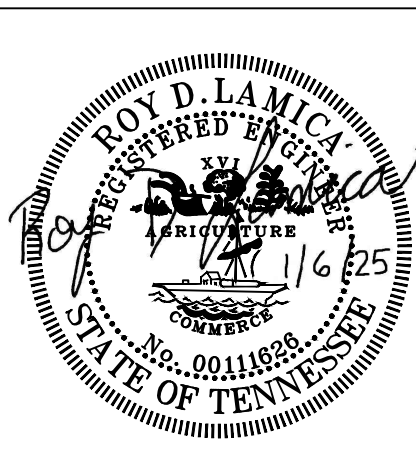
SOD OR LANDSCAPE

PHASE 2A  
1.688 AC.  
PB 307 PG 35

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20' 0 20' 40'

SCALE 1" = 20'

SHEET 1 of 1

CITY OF BARTLETT DIVISION OF ENGINEERING

EROSION CONTROL PLAN-PERMANENT

LOCATION: SUMMER AVENUE

BARTLETT, TENNESSEE

SURVEY \_\_\_\_\_ DATE \_\_\_\_\_ BOOK \_\_\_\_\_

DESIGN BY: EFI GLOBAL DATE 01.06.25 SCALE AS NOTED

REVIEWED \_\_\_\_\_

DEPUTY CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_ CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

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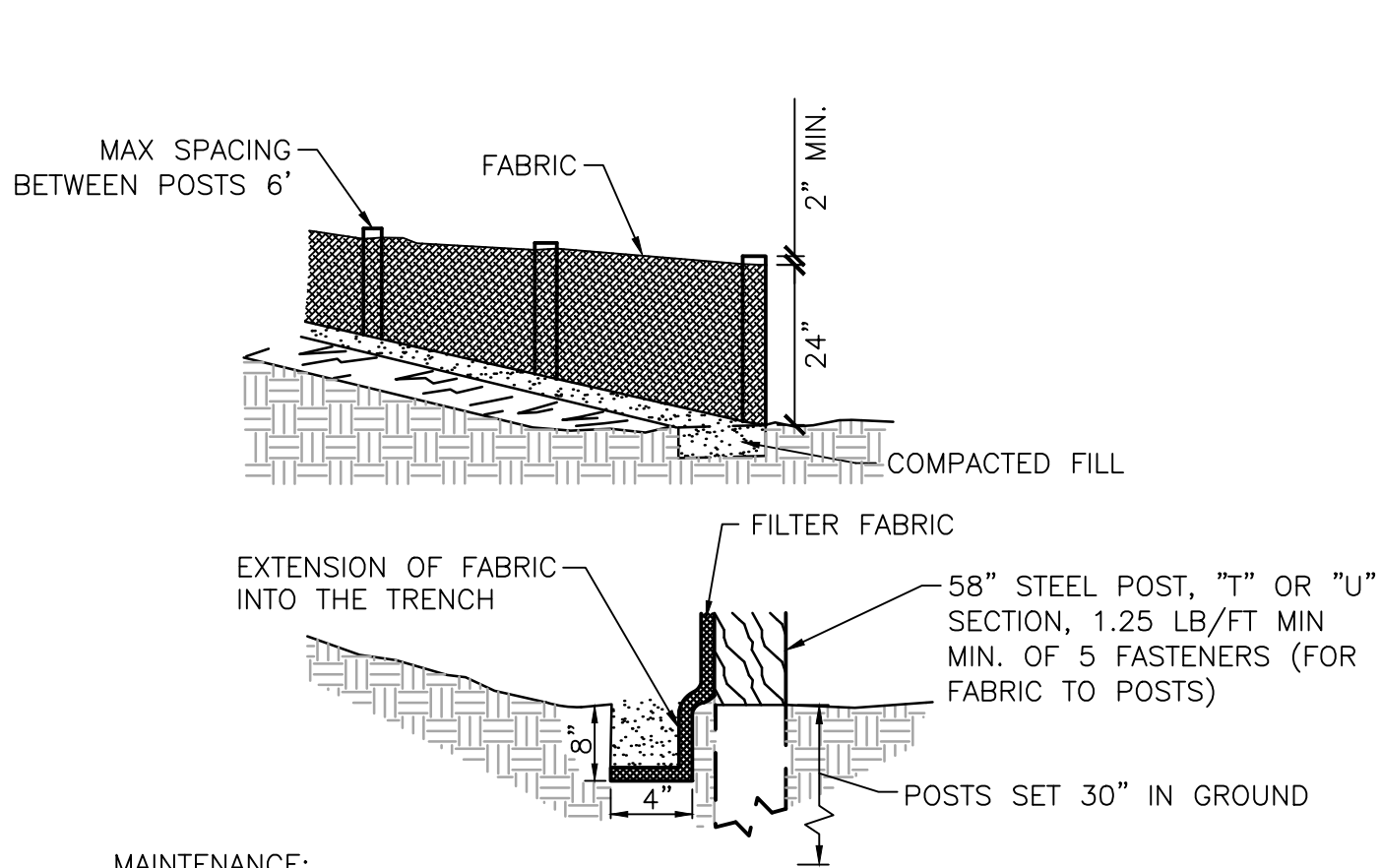
UNION DEPOT P.D. PHASE 3

DEVELOPER: UNION DEPOT, LLC

ENGINEER: EFI GLOBAL

EROSION CONTROL NOTES

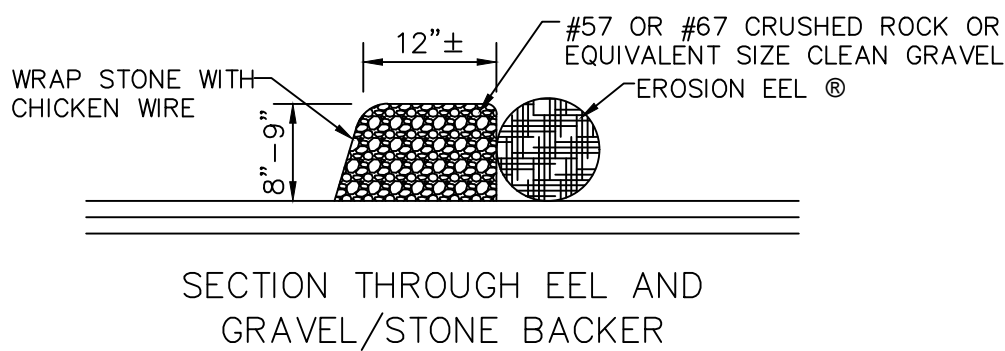
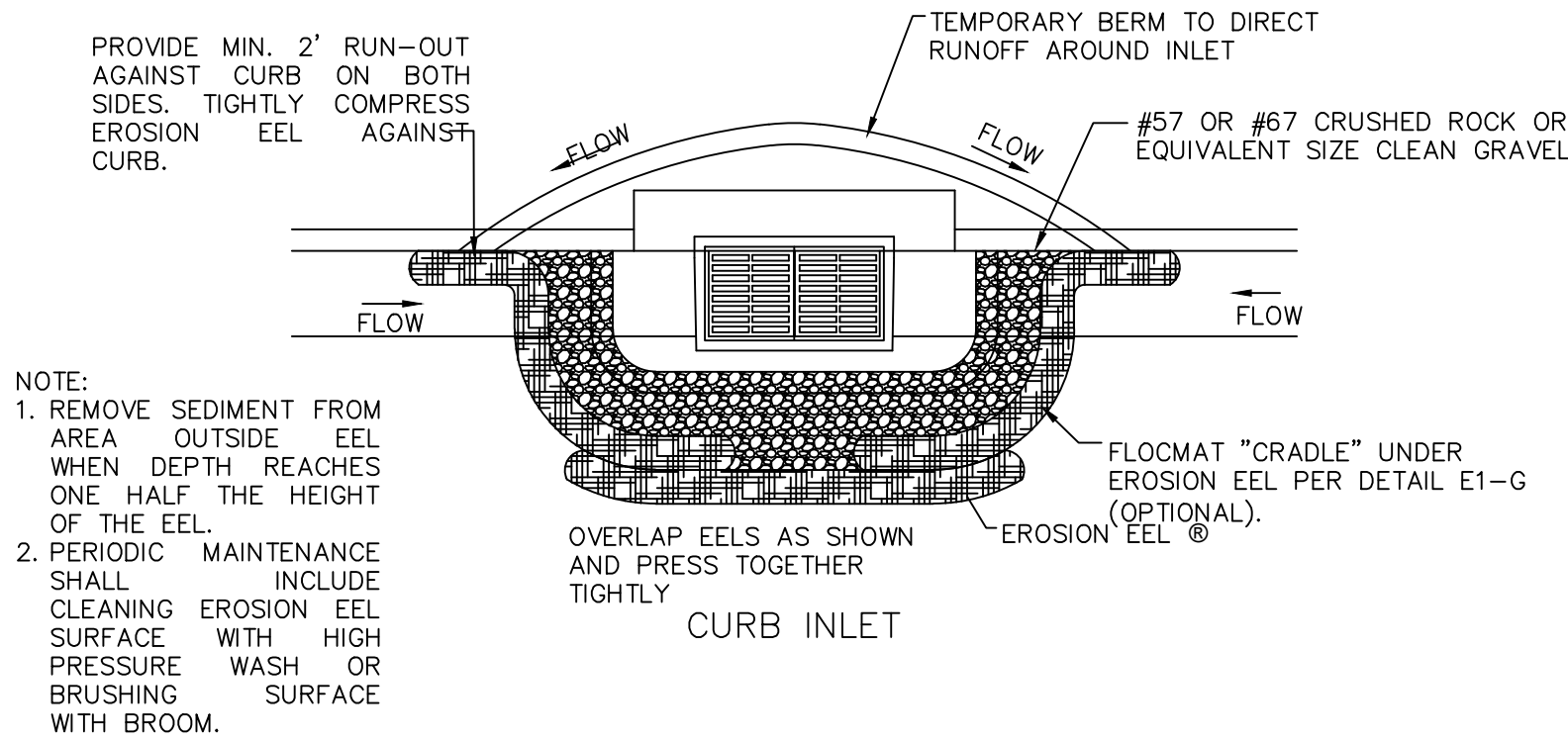
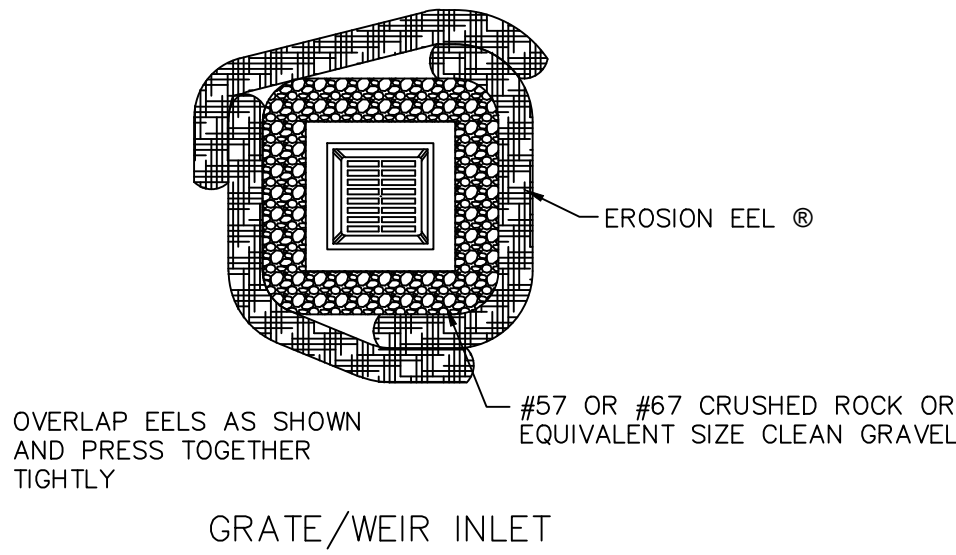
1. THE PURPOSE OF THIS EROSION CONTROL PLAN IS TO PREVENT SILTATION AND OTHER POLLUTANTS, DUE TO CONSTRUCTION, FROM ENTERING ADJACENT STREAMS AND PROPERTY.
2. CLEARING AND GRUBBING IS TO BE HELD TO THE MINIMUM WIDTH NECESSARY TO ACCOMMODATE SLOPES. UNNECESSARY CANOPY REMOVAL (TREES, SHRUBS, ETC.) IS PROHIBITED.
3. MAINTAIN ALL GROUND COVER WHENEVER POSSIBLE. ALL AREAS DISTURBED BY CONSTRUCTION THAT ARE NOT TO RECEIVE PAVING SHALL BE SODDED AS SOON AS POSSIBLE.
4. ALL DITCHES AND FRESH CUTS IN DRAINAGE WAYS SHALL BE STABILIZED WITH SOD WHERE INDICATED ON PLAN.
5. TO REDUCE SEDIMENT IN RUNOFF, EROSION CONTROL MEASURES SHALL BE INSTALLED PROMPTLY DURING ALL CONSTRUCTION PHASES.
6. SEDIMENT TRAPS SHALL BE LOCATED AS NEEDED BY THE ENGINEER.
7. SITE EROSION CONTROLS SHALL BE CHECKED BI-WEEKLY AND AT LEAST 72 HOURS APART AND IF NECESSARY REPAIRED WITHIN 24 HOURS AFTER EACH RAINFALL GREATER THAN 0.5", IN THE EVENT OF CONTINUOUS RAINFALL, EROSION CONTROLS SHALL BE CHECKED DAILY.
8. DURING SEDIMENT REMOVAL, THE CONTRACTOR SHALL TAKE CARE TO ENSURE THAT STRUCTURAL COMPONENTS OF EROSION CONTROL STRUCTURES ARE NOT DAMAGED AND THUS MADE INEFFECTIVE. IF DAMAGE DOES OCCUR, THE CONTRACTOR SHALL REPAIR THE STRUCTURES AT THE CONTRACTOR'S EXPENSE.
9. ALL AREAS TO REMAIN BARE GREATER THAN 14 DAYS MUST BE TEMPORARILY STABILIZED. ALL SLOPES GREATER THAN 3 TO 1 TO REMAIN BARE FOR MORE THAN 7 DAYS MUST BE TEMPORARILY STABILIZED.
10. SEDIMENT REMOVED FROM SEDIMENT CONTROL STRUCTURES IS TO BE PLACED AT A SITE APPROVED BY THE ENGINEER. IT SHALL BE TREATED IN A MANNER SO THAT THE AREA AROUND THE DISPOSAL SITE WILL NOT BE CONTAMINATED OR DAMAGED BY THE SEDIMENT IN RUN-OFF. ALL COST FOR SEDIMENT REMOVAL SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
11. UPON COMPLETE REMOVAL OF SEDIMENT TRAPS, SPECIAL DITCHES, ETC., THE AREA WHERE THEY WERE CONSTRUCTED IS TO BE TOPSOILED, SEEDED, AND MULCHED.
12. ALL STOCKPILES TO BE CONTAINED BY SILT FENCE IN ORDER TO PREVENT SEDIMENT RUNOFF FROM ENTERING NEARBY STREAMS.
13. SHOULDERS AND EXCAVATED AREAS SHALL BE PROMPTLY STABILIZED AGAINST EROSION. SILTATION MEASURES SHALL BE IMPLEMENTED PROMPTLY TO REDUCE THE SEDIMENT IN RUN-OFF FROM THE CONSTRUCTION SITE.
14. EQUIPMENT STAGING AND MAINTENANCE AREAS SHALL BE DEVELOPED A SUFFICIENT DISTANCE FROM STREAMS TO ENSURE THAT OIL, GASOLINE, AND OTHER PETROLEUM POLLUTANTS DO NOT ENTER THE WATERWAYS.
15. FAILURE TO MAINTAIN GOOD EROSION CONTROL MEASURES COULD RESULT IN A CIVIL PENALTY BEING ISSUED TO THE CONTRACTOR. THE PRIMARY PERMITTEE (OWNER/DEVELOPER) IS ULTIMATELY RESPONSIBLE FOR MEETING THE TERMS AND CONDITIONS OF THE CONSTRUCTION GENERAL PERMIT. ALL PERMITTEES, BOTH PRIMARY AND SECONDARY (TYPICALLY THE CONTRACTOR) CAN BE HELD RESPONSIBLE IF THE TERMS AND CONDITIONS OF THE CONSTRUCTION GENERAL PERMIT ARE NOT MET.
16. THE CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL DEVICES IN GENERAL CONFORMANCE TO THE EROSION CONTROL PLAN. THE EROSION CONTROL PLAN IS PROVIDED TO INDICATE MINIMUM EROSION CONTROL MEASURES REQUIRED OF THE CONTRACTOR AND DOES NOT TAKE INTO ACCOUNT THE CONTRACTOR'S SEQUENCE OF CONSTRUCTION. ADDITIONAL EROSION CONTROL MEASURES SHALL BE UNDERTAKEN BY THE CONTRACTOR AS REQUIRED TO MINIMIZE IMPACTS TO ADJACENT PROPERTIES AND THE DRAINAGE SYSTEM DOWNSTREAM OF THE SITE, AT NO ADDITIONAL COST.
17. FOR INLETS IN PAVEMENT, CONTRACTOR SHALL USE WADDLES SURROUNDING THE INLET AND FLEXSTORM "CATCH-IT" BY ADS. SEDIMENT SHALL BE REMOVED FROM BELOW-GRADE CATCH BASIN SEDIMENT TRAP ACCORDING TO MANUFACTURER'S RECOMMENDATIONS AT NO ADDITIONAL COST TO OWNER.
18. CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL REQUIRED PERMITS HAVE BEEN OBTAINED PRIOR TO BEGINNING CONSTRUCTION OR OTHER ACTIVITIES.
19. AN EPSC LEVEL 1 CERTIFIED INDIVIDUAL SHALL BE DESIGNATED TO BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROLS ON EACH PROJECT SITE.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING SOIL EROSION CONTROL MEASURES AS NOTED ON THE PLANS AND AS REQUESTED BY THE OWNER DURING CONSTRUCTION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR SATISFYING THE REQUIREMENTS OF THE STATE OF TENNESSEE DIVISION OF WATER RESOURCES AS SET FORTH IN THE TENNESSEE EROSION & SEDIMENT CONTROL HANDBOOK. ALL SOIL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE CONTRACT SO AS TO PREVENT ANY SEDIMENTATION FROM WASHING OFF THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHTS-OF-WAY. STRAW BALE DAMS AND/OR SEDIMENT FENCE SHALL BE INSTALLED AS DIRECTED. THE CONTRACTOR SHALL MAINTAIN A LOG OF ALL MAINTENANCE ACTIVITIES FOR THE EROSION CONTROL ELEMENTS AS REQUIRED BY THE STATE OF TENNESSEE DIVISION OF WATER RESOURCES.
21. THE FOLLOWING ITEMS MUST BE AVAILABLE ON SITE FOR THE DIVISION OF WATER RESOURCES INSPECTOR ON REQUEST: EROSION CONTROL PLAN, SWPPP, TWICE WEEKLY INSPECTION CERTIFICATION FORMS, AND THE NOTICE OF COVERAGE FOR THE PROJECT.
22. EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE AND FUNCTIONAL BEFORE EARTH MOVING OPERATIONS BEGIN, AND MUST BE CONSTRUCTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. TEMPORARY MEASURES MAY BE REMOVED AT THE BEGINNING OF THE WORK DAY, BUT MUST BE REPLACED AT THE END OF THE WORK DAY OR PRIOR TO RAINFALL EVENTS.
23. ALL CONTROL MEASURES SHALL BE CHECKED AND REPAIRED AS NECESSARY, BI-WEEKLY IN DRY PERIODS AND WITHIN 24 HOURS AFTER ANY RAINFALL OF 0.5 INCHES WITHIN A 24 HOUR PERIOD. DURING PROLONGED RAINFALL, DAILY CHECKING AND REPAIRING IS NECESSARY. THE PERMITTEE SHALL MAINTAIN RECORDS OF CHECKS AND REPAIRS.
24. ALL EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE TDEC "EROSION AND SEDIMENT CONTROL HANDBOOK, 4TH EDITION."
25. THE CONTRACTOR IS RESPONSIBLE FOR MEETING THE REQUIREMENTS OF THIS PLAN AND FOR INSTALLING NEW SILT FENCE AS REQUIRED.
26. ALL STATE/NPDES PERMITS ARE REQUIRED TO HAVE BEEN OBTAINED BEFORE START UP OF ANY CONSTRUCTION ACTIVITIES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION GENERAL PERMIT, ARAP AND ARMY CORPS OF ENGINEERS PERMIT.
27. MUDDY WATER TO BE PUMPED FROM EXCAVATION AND WORK AREAS MUST BE HELD IN SETTLING BASINS OR TREATED BY FILTRATION THROUGH AN APPROVED DEWATERING BAG SET-UP PRIOR TO ITS DISCHARGE OFF-SITE, INTO STORM DRAINS OR SURFACE WATERS. SILT FENCE FABRIC ALONE IS NOT ADEQUATE AS A FILTER. WATER MUST BE DISCHARGED THROUGH A PIPE OR LINED CHANNEL SO THAT THE DISCHARGE DOES NOT CAUSE EROSION AND SEDIMENTATION. THE DISCHARGE MUST NOT CAUSE AN OBJECTIONABLE COLOR CONTRAST WITHIN THE RECEIVING STREAM.



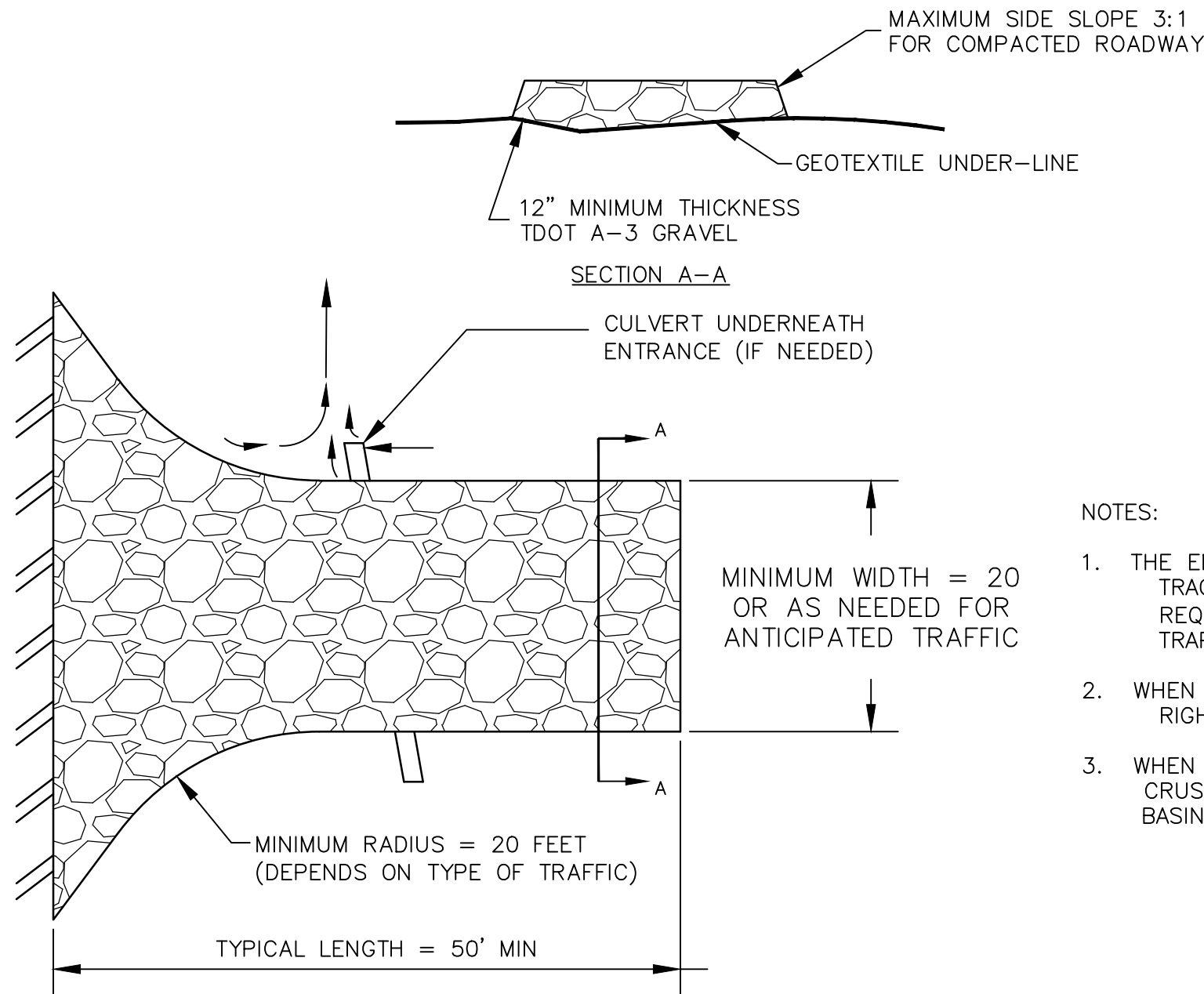
MAINTENANCE:

1. INSPECT SEDIMENT FENCES AT LEAST TWICE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY. SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY. REPLACE BURLAP AS NEEDED.
2. REMOVE SEDIMENT DEPOSITS WHEN THE STORAGE VOLUME HAS BEEN REDUCED BY 50% TO PROVIDE ADEQUATE STORAGE FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT. REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

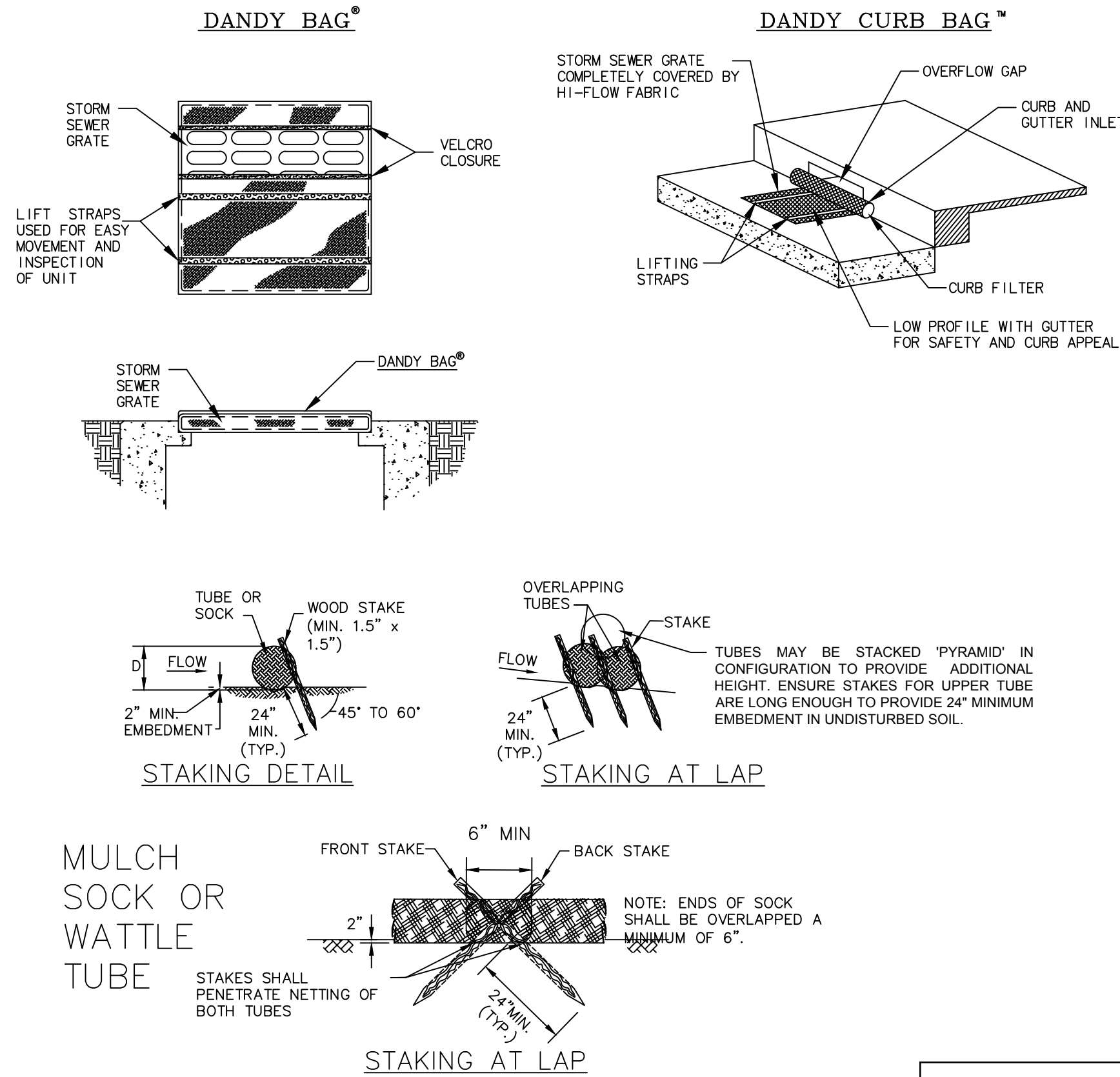
1 TYP. SILT FENCE



EROSION EEL®  
INLET PROTECTION

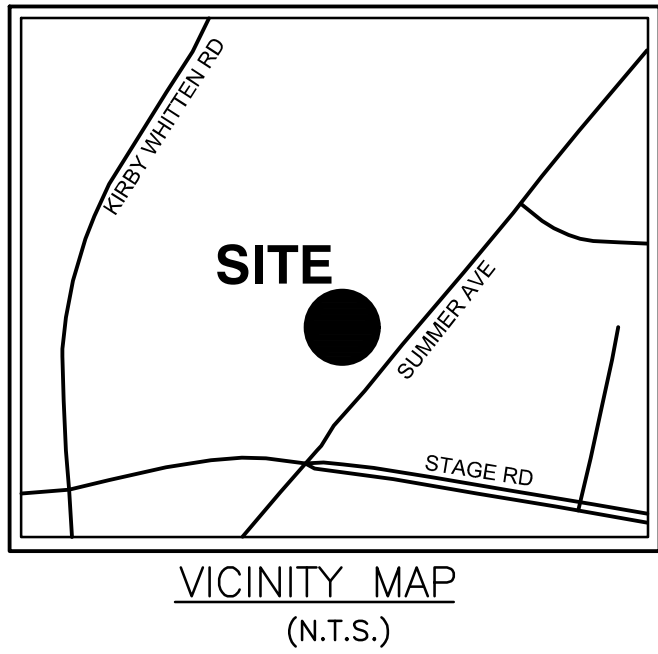


2 TYP. CONSTRUCTION ENTRANCE/EXIT



MULCH  
SOCK OR  
WATTLE  
TUBE

NOTE: WATTLE TUBES MAY BE SUBSTITUTED FOR SILT FENCE WHERE SILT FENCE IS SHOWN ON PLANS UNLESS SPECIFICALLY NOTED OTHERWISE.



NOTES:

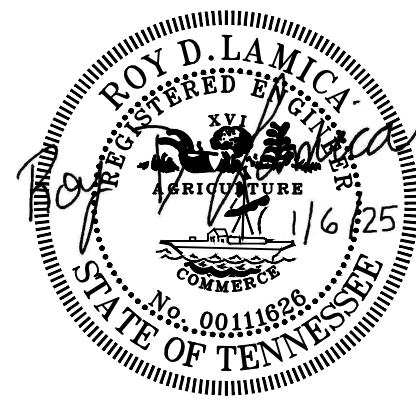
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.



THIS IS TO CERTIFY THAT THIS PROPERTY (THE SUBJECT PROPERTY SURVEYED) IS NOT WITHIN THE LIMITS OF A DESIGNATED "SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD". THE SUBJECT PROPERTY, BY GRAPHICAL REPRESENTATION ONLY, LIES WITHIN ZONE X DEFINED AS BEING, "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN" PER FEMA FIRM MAP NUMBER 47157003046 DATED FEBRUARY 6, 2013 BASED UPON OUR INTERPRETATION OF THE LOCATION OF THE FLOOD HAZARD BOUNDARY LIMITS IN RELATION TO THE PROPERTY LINES. NO SURVEYING OR ENGINEERING WAS PERFORMED FOR THIS SURVEY TO DETERMINE FEMA FLOOD LIMITS. 100 YEAR FLOOD ELEV. 267±

| REVISION |                       |               |
|----------|-----------------------|---------------|
| ITEM NO. | DESCRIPTION OF CHANGE | APPROVAL DATE |
|          |                       |               |
|          |                       |               |
|          |                       |               |

7975 Stage Hills Blvd, Suite 1  
Telephone: 901.377.9984  
www.efiglobal.com



UNION DEPOT P.D. PHASE 3

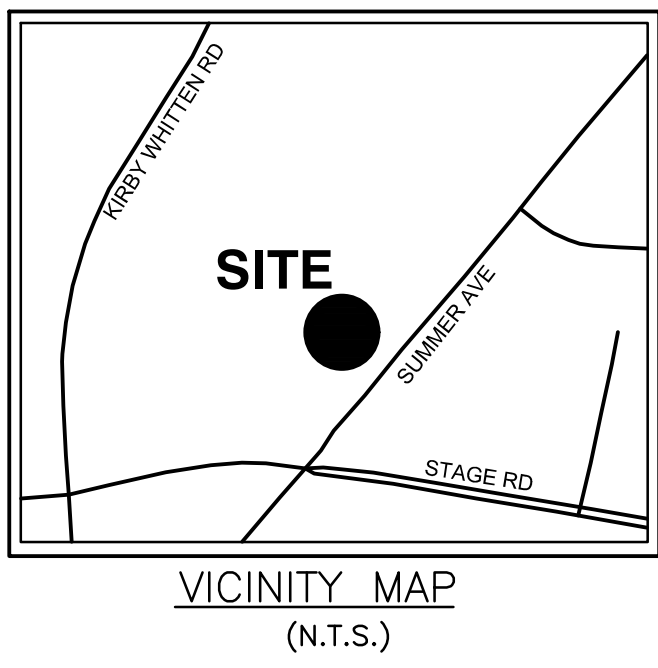
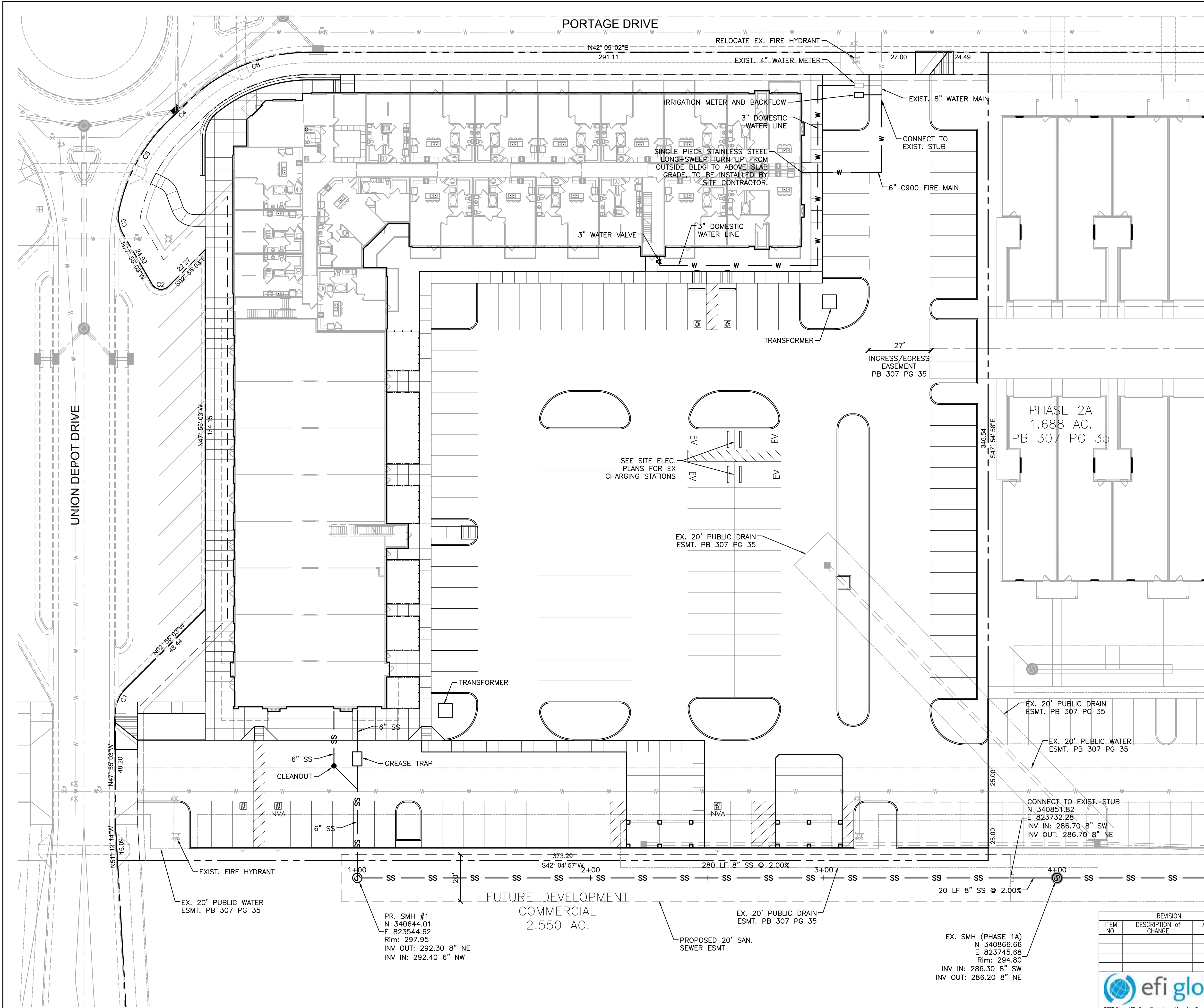
DEVELOPER: UNION DEPOT, LLC  
ENGINEER: EFI GLOBAL

SCALE NTS  
SHEET 1 of 1

CITY OF BARTLETT DIVISION OF ENGINEERING  
EROSION CONTROL NOTES & DETAILS  
LOCATION: SUMMER AVENUE  
BARTLETT, TENNESSEE

SURVEY \_\_\_\_\_ DATE \_\_\_\_\_ BOOK \_\_\_\_\_  
DESIGN BY: EFI GLOBAL DATE 01.06.25 SCALE AS NOTED  
REVIEWED \_\_\_\_\_  
DEPUTY CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_ CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

NOT FOR CONSTRUCTION



- CONSTRUCTION NOTES:
1. ALL SANITARY SEWER TO BE CONSTRUCTED AS PER CITY OF BARTLETT STANDARD CONSTRUCTION SPECIFICATIONS.
  2. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE AND NOT NECESSARILY ALL OF SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE UTILITY COMPANIES WHICH MAINTAIN A UTILITY LINE WITHIN THE BOUNDARIES OF THE PROJECT PRIOR TO THE INITIATION OF ANY CONSTRUCTION ON THE PROJECT OR IN THE STREETS BORDERING THE PROJECT. THE CONTRACTOR SHALL ALSO ASSUME FULL RESPONSIBILITY FOR DAMAGE TO ANY UTILITIES ENCOUNTERED WITHIN CONSTRUCTION PERIMETERS, WHETHER SHOWN ON THE CONSTRUCTION PLANS OR NOT, DURING THE WORK ON THE PROJECT. FOR SITE LOCATION OF EXISTING UTILITIES INVOLVING ML&W, AT&T, AND/OR TEXAS GAS COMPANY, CALL 1-800-351-1111. FOR SEWER LOCATIONS CALL 529-8025.
  3. CONTRACTOR SHALL ENSURE UNINTERRUPTED SEWER SERVICE ON EXISTING SEWER AND SERVICE CONNECTIONS BY PROVIDING AMPLE TEMPORARY WASTEWATER PUMPING AND/OR BYPASSING.
  4. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES.
  5. CONTRACTOR SHALL NOTIFY THE CITY OF BARTLETT ENGINEERING OFFICE AT 385-6499 A MINIMUM OF 24 HOURS PRIOR TO BEGINNING CONSTRUCTION.
  6. ALL AREAS IN CUT OR FILL WHERE VEGETATION HAS BEEN REMOVED SHALL BE SEEDED, MULCHED, FERTILIZED, AND/OR SODDED AS REQUIRED TO PREVENT EROSION.
  7. ALL SEWER MANHOLE LIDS IN OPEN AREAS ARE TO BE CONSTRUCTED 1.5' ABOVE GRADE A MINIMUM 1.0' ABOVE THE 100 YEAR FLOOD ELEVATION (ALT. SEALED COVER & VENT STACK). IN YARDS, MANHOLE LIDS ARE TO BE 1.5' ABOVE THE INITIAL GRADE, 0.5' ABOVE THE FINAL GRADE.
  8. SANITARY SEWER, INCLUDING SERVICE CONNECTIONS, HAVING LESS THAN 18" CLEARANCE (OUTSIDE OF PIPES) WITH DRAINAGE OR IN FILLED AREAS SHALL BE CLASS 50 DIP OR CONCRETE ENCASED, 10" BOTH SIDES OF CROSSING. ALL DUCTILE IRON PIPE SHALL BE POLYETHYLENE LINED OR SHALL BE TREATED WITH PROTECTO 401 OR AN APPROVED EQUIVALENT.
  9. CONTRACTOR SHALL VERIFY EXISTING DATA AND REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ENGINEER.
  10. NO TREES, SHRUBS, PERMANENT STRUCTURES OR OTHER UTILITIES (EXCEPT FOR CROSSINGS) WILL BE ALLOWED WITHIN SANITARY SEWER EASEMENT.
  11. THE CITY OF BARTLETT SHALL HAVE INGRESS/EGRESS RIGHTS TO USE PRIVATE DRIVES AND YARDS FOR THE PURPOSE OF MAINTAINING ALL PUBLIC SEWER LINES AND SHALL BEAR NO RESPONSIBILITY FOR THE MAINTENANCE OF SAID PRIVATE DRIVES AND YARDS.
  12. ALL SLOPES GREATER THAN 3:1 SHALL BE SODDED.
  13. 95% COMPACTION, STANDARD PROCTOR, IS REQUIRED ON ALL ROAD SUBGRADE, TRENCHES, AND BUILDING AREAS OF LOTS.
  14. ALL EXISTING DRIVEWAYS IN THE CONSTRUCTION AREA SHALL BE REPLACED/REPAIRED BY THE CONTRACTOR.

APPROVED FOR CONSTRUCTION

THE DOCUMENT BEARING THIS STAMP HAS BEEN REVIEWED BY THE  
CITY OF BARTLETT  
UNDER AUTHORITY DELEGATED BY THE  
TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION  
DIVISION OF WATER POLLUTION CONTROL  
AND IS HEREBY APPROVED FOR CONSTRUCTION

THIS APPROVAL SHALL NOT BE CONSTRUED AS CREATING  
A PRESUMPTION OF CORRECT OPERATION OR AS WARRANTING BY THE  
CITY OF BARTLETT THAT THE APPROVED FACILITIES WILL REACH THE  
DESIGN GOALS.

APPROVAL DATE: \_\_\_\_\_  
APPROVAL EXPIRES IN 12 MONTHS

BY: \_\_\_\_\_  
CITY ENGINEER

THIS IS TO CERTIFY THAT THIS PROPERTY (THE SUBJECT PROPERTY SURVEYED) IS NOT WITHIN THE LIMITS OF A DESIGNATED 'SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD'. THE SUBJECT PROPERTY, BY GRAPHICAL REPRESENTATION ONLY, LIES WITHIN ZONE X DEFINED AS BEING, 'AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN' PER FEMA FIRM MAP NUMBER 47157003046 DATED FEBRUARY 6, 2013 BASED UPON OUR INTERPRETATION OF THE LOCATION OF THE FLOOD HAZARD BOUNDARY LIMITS IN RELATION TO THE PROPERTY LINES. NO SURVEYING OR ENGINEERING WAS PERFORMED FOR THIS SURVEY TO DETERMINE FEMA FLOOD LIMITS. 100 YEAR FLOOD ELEV. 267±

| REVISION |                       |               |
|----------|-----------------------|---------------|
| ITEM NO. | DESCRIPTION of CHANGE | APPROVAL DATE |
|          |                       |               |
|          |                       |               |
|          |                       |               |

  
7975 Stage Hills Blvd, Suite 1 Memphis, Tennessee 38113  
Telephone: 901.377.9984  
www.efiglobal.com



20' 0 20' 40'  
SCALE 1" = 20'

SHEET 1 of 1

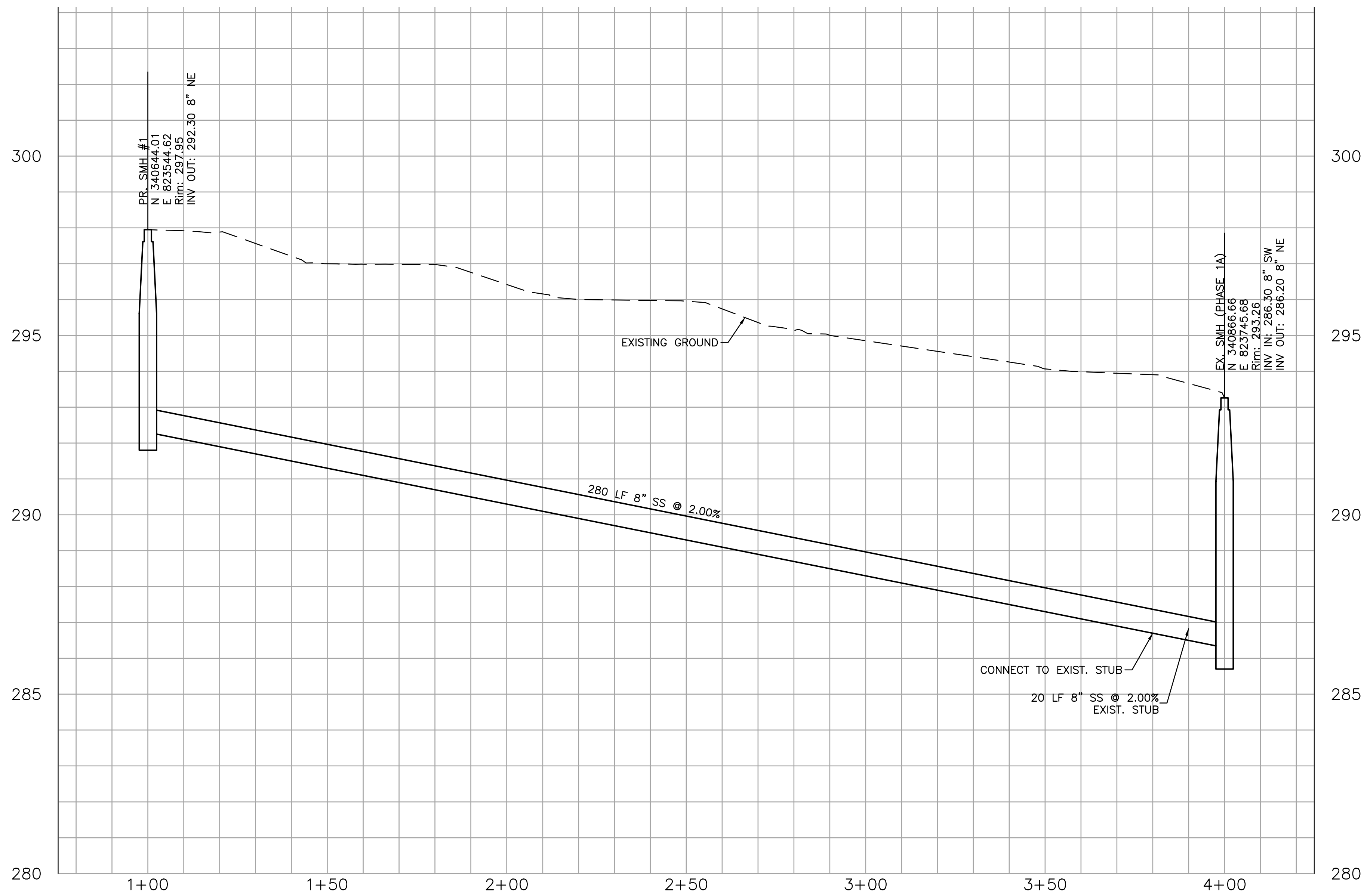
CITY OF BARTLETT DIVISION OF ENGINEERING

**SITE UTILITY PLAN**  
LOCATION: SUMMER AVENUE  
BARTLETT, TENNESSEE

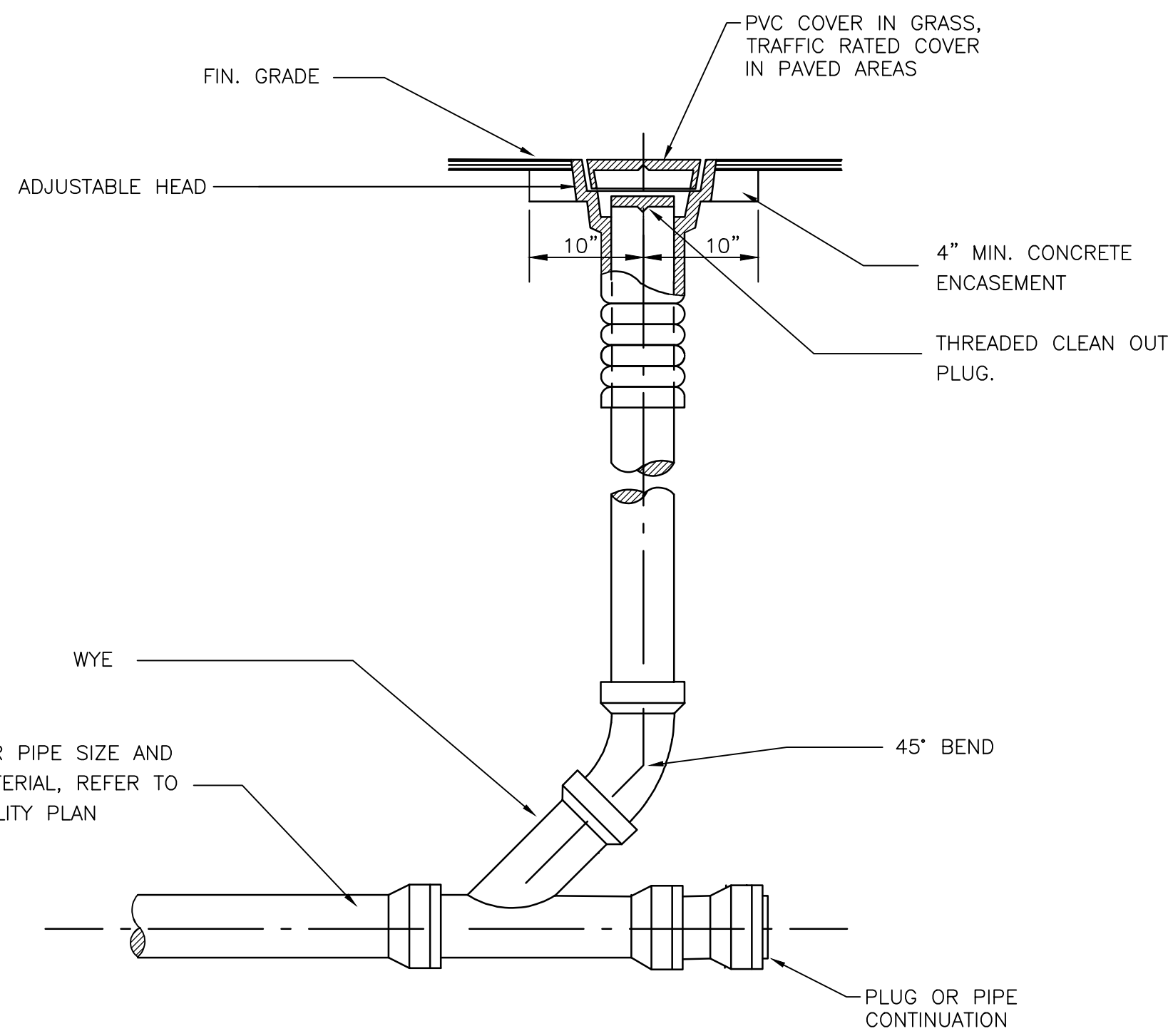
SURVEY \_\_\_\_\_ DATE \_\_\_\_\_ BOOK \_\_\_\_\_  
DESIGN BY: EFI GLOBAL DATE 01.06.25 SCALE AS NOTED  
REVIEWED \_\_\_\_\_  
DEPUTY CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_ CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

NOT FOR CONSTRUCTION

UNION DEPOT P.D. PHASE 3  
DEVELOPER: UNION DEPOT, LLC  
ENGINEER: EFI GLOBAL

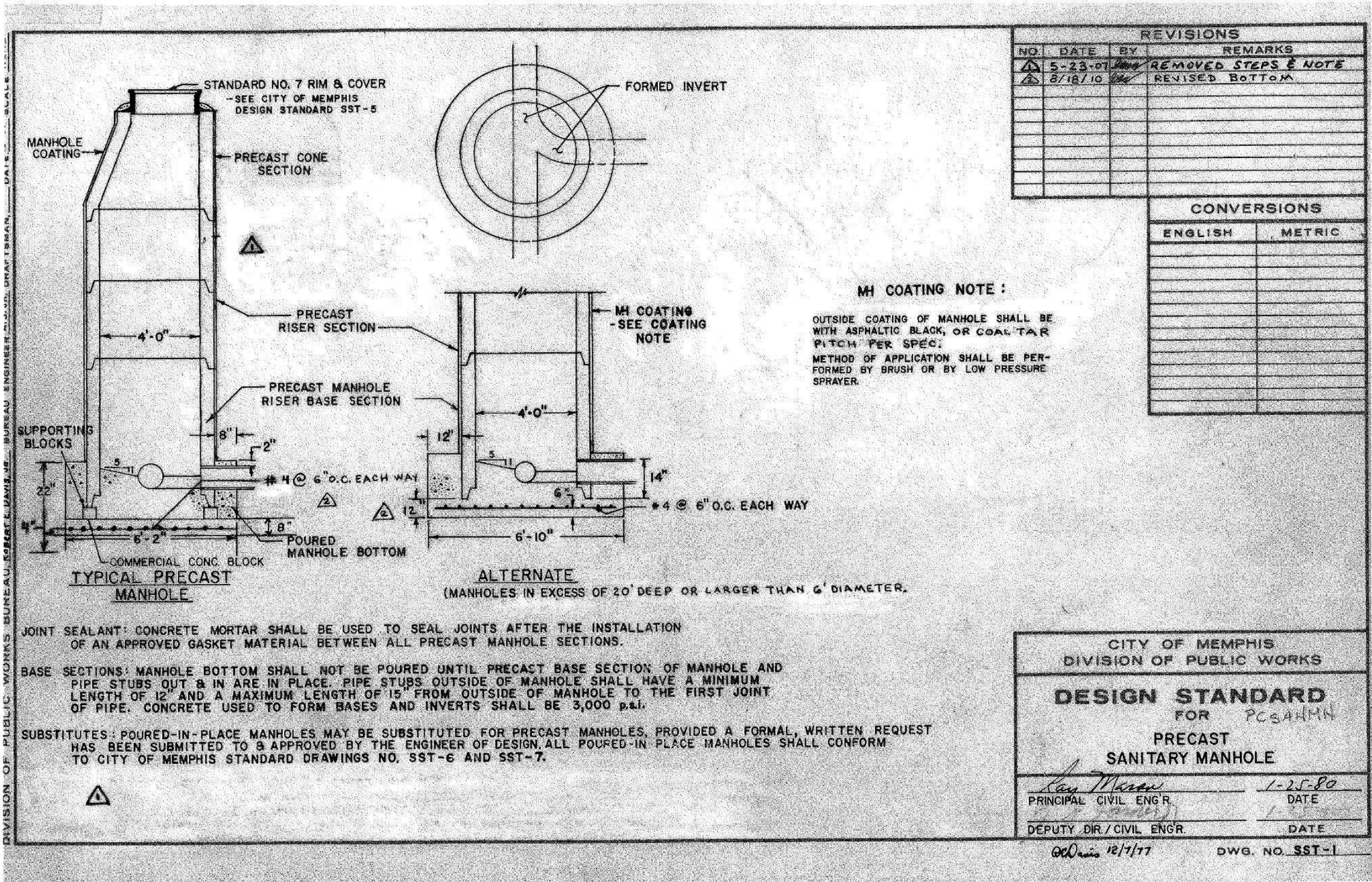
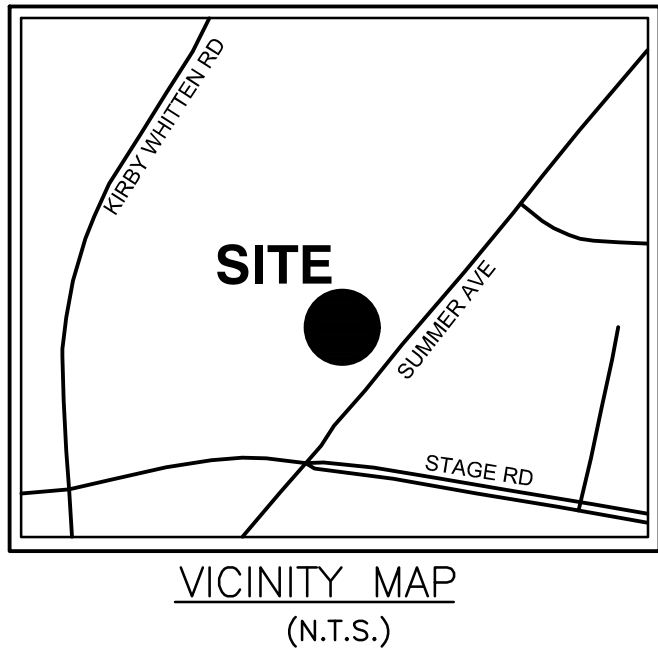


1 SEWER PROFILE  
C4.02  
SCALE: 1" = 20' HORIZONTAL  
1" = 2' VERTICAL



3 TYP. CLEAN OUT (PRIVATE)  
C4.02 NTS

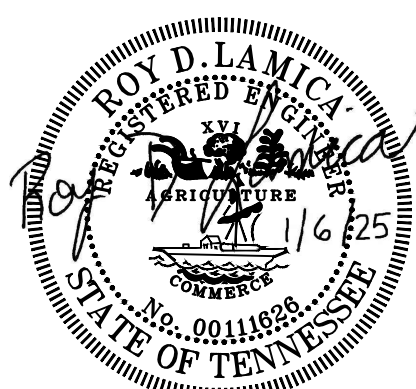
NOT FOR CONSTRUCTION



2 TYP. SANITARY SEWER MANHOLE  
C4.02 NTS



THIS IS TO CERTIFY THAT THIS PROPERTY (THE SUBJECT PROPERTY SURVEYED) IS NOT WITHIN THE LIMITS OF A DESIGNATED 'SPECIAL FLOOD HAZARD AREAS' SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD'. THE SUBJECT PROPERTY, BY GRAPHICAL REPRESENTATION ONLY, LIES WITHIN ZONE X DEFINED AS BEING, 'AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN' PER FEMA FIRM MAP NUMBER 47157003046 DATED FEBRUARY 6, 2013. BASED UPON OUR INTERPRETATION OF THE LOCATION OF THE FLOOD HAZARD BOUNDARY LIMITS IN RELATION TO THE PROPERTY LINES. NO SURVEYING OR ENGINEERING WAS PERFORMED FOR THIS SURVEY TO DETERMINE FEMA FLOOD LIMITS. 100 YEAR FLOOD ELEV. 267±



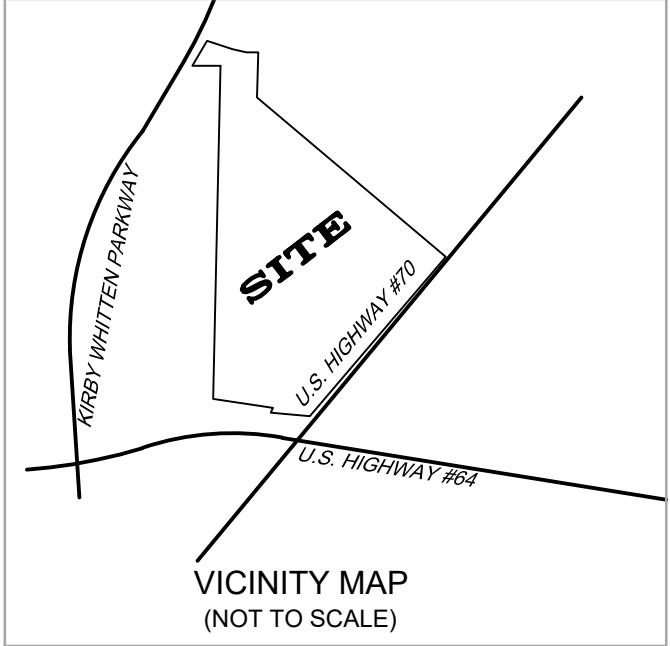
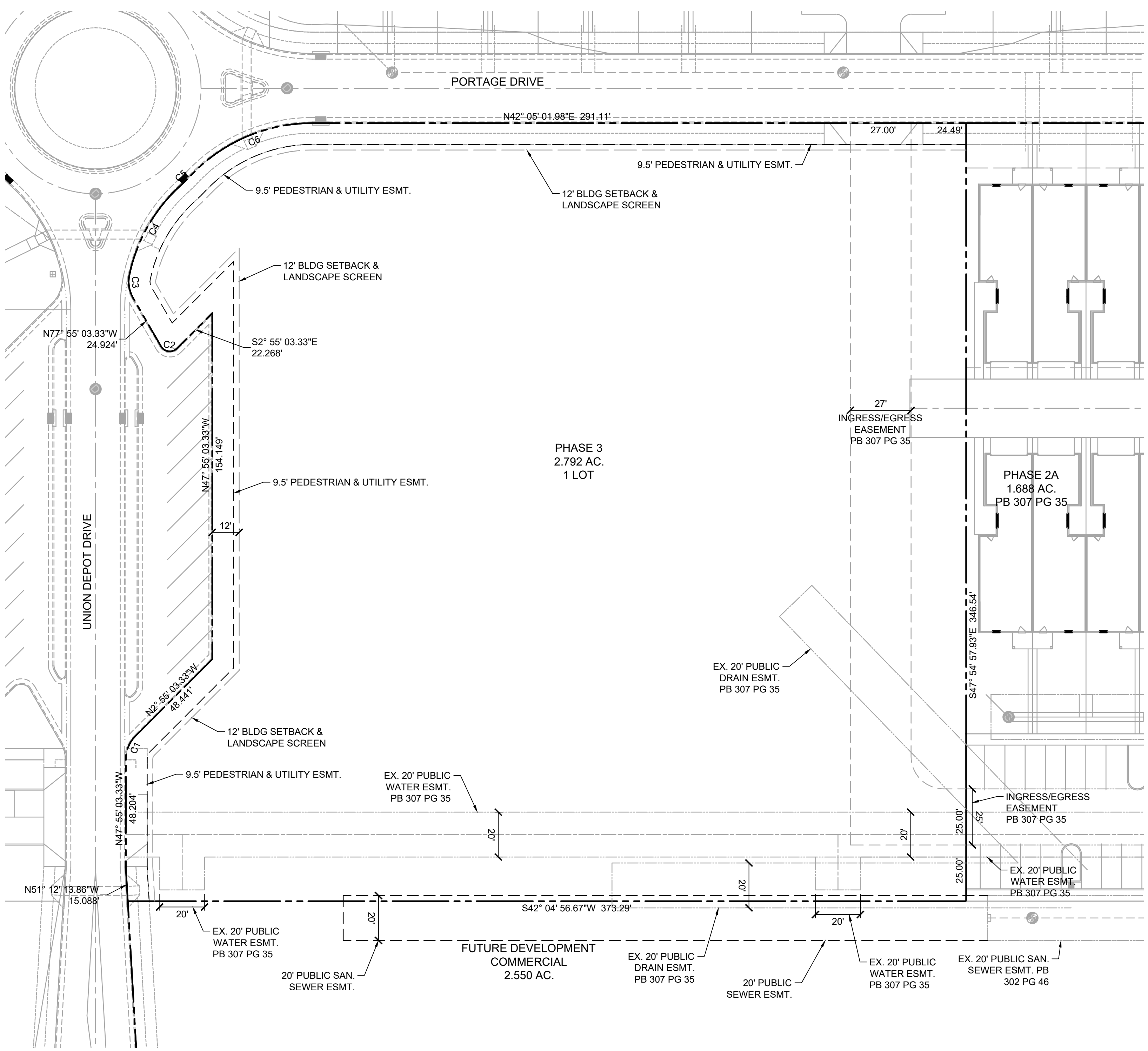
UNION DEPOT P.D. PHASE 3

DEVELOPER: UNION DEPOT, LLC  
ENGINEER: EFI GLOBAL

SCALE NTS  
SHEET 1 of 1

CITY OF BARTLETT DIVISION OF ENGINEERING  
SEWER PROFILE AND DETAILS  
LOCATION: SUMMER AVENUE  
BARTLETT, TENNESSEE

SURVEY \_\_\_\_\_ DATE \_\_\_\_\_ BOOK \_\_\_\_\_  
DESIGN BY: EFI GLOBAL DATE 01.06.25 SCALE AS NOTED  
REVIEWED \_\_\_\_\_  
DEPUTY CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_ CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_



| CURVE TABLE |        |            |               |              |
|-------------|--------|------------|---------------|--------------|
| CURVE       | RADIUS | ARC LENGTH | CHORD BEARING | CHORD LENGTH |
| C1          | 14.50' | 11.39'     | S25° 25' 03"E | 11.10'       |
| C2          | 4.50'  | 8.25'      | N49° 34' 57"E | 7.14'        |
| C3          | 14.50' | 10.58'     | S57° 00' 42"E | 10.35'       |
| C4          | 74.50' | 47.30'     | S17° 55' 01"E | 46.51'       |
| C5          | 57.50' | 5.22'      | N2° 19' 45"W  | 5.22'        |
| C6          | 74.50' | 61.13'     | S18° 34' 37"W | 59.43'       |

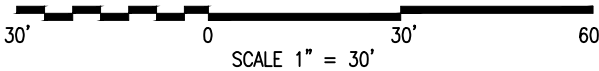
NOTE:  
THE CITY OF BARTLETT PUBLIC WORKS SHALL HAVE INGRESS/EGRESS RIGHTS TO LOTS AND COMMON OPEN SPACES FOR WATER & SEWER UTILITY MAINTENANCE. THE CITY SHALL NOT BE RESPONSIBLE FOR REPLACEMENT OF ANY PRIVATE INFRASTRUCTURE, SUCH AS CURB & GUTTER, SOD, AND FINAL PAVEMENT REGARDING NECESSARY REPAIRS.

THE 9.5' PEDESTRIAN / UTILITY EASEMENT SHOWN SHALL BE AVAILABLE TO THE PUBLIC AND SHALL BE MAINTAINED BY THE PROPERTY OWNERS ASSOCIATION, INCLUDING SIDEWALKS AND HANDICAP RAMPS.

COS AREAS SHALL BE TRANSFERRED TO THE PROPERTY OWNERS ASSOCIATION WHO WILL BE RESPONSIBLE FOR MAINTENANCE.

SITE BENCH MARK  
TOP FLANGE BOLT OF FIRE HYDRANT BETWEEN 'W' & 'M'.  
FIRE HYDRANT LOCATED ON THE NORTHWEST SIDE OF HIGHWAY 70 NEAR THE NORTHEASTERLY CORNER OF THE PROPERTY AND ADJACENT TO DRIVE WAY FOR ST GEORGE ORTHODOX CHURCH.  
ELEVATION = 296.50

NOTE:  
THIS PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA (SFHA) SUBJECT TO INUNDATION BY THE 1 PERCENT ANNUAL CHANCE FLOOD AS DETERMINED BY F.E.M.A. AND SHOWN ON FIRM MAP NUMBER 47157C0304 G, DATED FEBRUARY 16, 2013.  
100 YEAR FLOOD ELEV. 267± (FLETCHER CREEK)



### PRELIMINARY PLAT - PHASE 3 UNION DEPOT PD

|                                                                           |  |                             |                               |
|---------------------------------------------------------------------------|--|-----------------------------|-------------------------------|
| CASE NUMBER:                                                              |  | FORMER CASE NO:             |                               |
| BARTLETT, TN                                                              |  |                             |                               |
| NUMBER OF LOTS: 1 LOT                                                     |  | ACREAGE: 2.792 AC.          | PARCEL ID: PART OF B0157 0080 |
| DEVELOPER: BLUE SKY COMMUNITIES, INC.<br>177 CRESENT DR. COLLIERVILLE, TN |  | ENGINEER: EFI GLOBAL        |                               |
| 100-YEAR FLOOD ELEV: 269-273                                              |  | FEMA MAP PANEL: 47157C0304G | MAP DATE: 02/06/2013          |
| DECEMBER 30, 2024                                                         |  | SCALE: 1" = 50'             | SHEET 1 OF 2                  |

CERTIFICATE OF ADEQUACY OF STORM DRAINAGE

I, \_\_\_\_\_, DO HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL CIVIL ENGINEER, AND THAT I HAVE DESIGNED ALL STORM WATER DRAINAGE FOR \_\_\_\_\_ TO ASSURE THAT NEITHER THE SAID SUBDIVISION NOR ADJOINING PROPERTY WILL BE DAMAGED OR THE CHARACTER OF LAND USE AFFECTED BY THE VELOCITY AND VOLUME OF WATER ENTERING OR LEAVING SAME.

IN WITNESS WHEREOF, I, THE SAID \_\_\_\_\_, PROFESSIONAL CIVIL ENGINEER, HEREUNTO SET MY HAND AND AFFIX MY SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_\_.

\_\_\_\_\_  
PROFESSIONAL CIVIL ENGINEER  
TENNESSEE CERTIFICATE NUMBER 111626

CERTIFICATE OF SUREY

I, \_\_\_\_\_, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HAVE SURVEYED THE LANDS EMBRACED WITHIN THE PLAT OR MAP DESIGNED AS FINAL PLAT, \_\_\_\_\_, A SUBDIVISION ALL LYING WITHIN THE CORPORATE LIMITS OF THE CITY OF BARTLETT, TENNESSEE; SAID PLAT OR MAP IS A TRUE AND CORRECT PLAT OR MAP OF THE LANDS EMBRACED THEREIN, SHOWING THE SUBDIVISION THEREOF IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF BARTLETT, TENNESSEE; I FURTHER CERTIFY THAT THE SURVEY OF THE LANDS EMBRACED WITHIN SAID PLAT OR MAP HAS BEEN CORRECTLY MONUMENTED IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF BARTLETT, TENNESSEE.

IN WITNESS WHEREOF, I, THE SAID \_\_\_\_\_, LAND SURVEYOR, HEREUNTO SET MY HAND AND AFFIX MY SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_\_.

\_\_\_\_\_  
[SURVEYOR]  
TENNESSEE CERTIFICATE NUMBER

BOARD OF MAYOR AND ALDERMAN CERTIFICATE

I, \_\_\_\_\_, DO HEREBY CERTIFY THAT ALL REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED, OR THAT A PERFORMANCE BOND OR OTHER COLLATERAL IN SUFFICIENT AMOUNT TO ASSURE COMPLETION OF ALL REQUIRED IMPROVEMENTS HAS BEEN POSTED FOR THE SUBDIVISION SHOWN ON THIS PLAT, AND HEREBY APPROVED BY THE CITY OF BARTLETT, TENNESSEE.

\_\_\_\_\_  
MAYOR, CITY OF BARTLETT  
DATE

PLANNING COMMISSION CERTIFICATE

I, \_\_\_\_\_, DO HEREBY CERTIFY THAT THE CITY OF BARTLETT PLANNING COMMISSION HAS APPROVED THIS PLAT OF SUBDIVISION FOR RECORDING.

\_\_\_\_\_  
SECRETARY, BARTLETT PLANNING COMMISSION  
DATE

OWNERS CERTIFICATE

WE, THE UNDERSIGNED, \_\_\_\_\_, OWNERS OF THE PROPERTY SHOWN HEREON, HEREBY ADOPT THIS PLAT AS OUR PLAN OF DEVELOPMENT AND DEDICATE THE STREETS, RIGHTS-OF-WAY, AND GRANT THE EASEMENTS AS SHOWN AND/OR DESCRIBED TO THE PUBLIC USE FOREVER. WE CERTIFY THAT WE ARE THE OWNERS OF SAID PROPERTY IN FEE SIMPLE, DULY AUTHORIZED SO TO ACT; AND THAT SAID PROPERTY IS NOT ENCUMBERED BY ANY TAXES WHICH HAVE BECOME DUE AND PAYABLE.

\_\_\_\_\_  
SIGNATURE  
DATE

NOTARY CERTIFICATE

STATE OF \_\_\_\_\_  
COUNTY OF \_\_\_\_\_

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID STATE AND COUNTY, DULY COMMISSIONED AND QUALIFIED, PERSONALLY APPEARED \_\_\_\_\_, WITH WHOM I AM PERSONALLY ACQUAINTED AND WHO UPON HIS OATH ACKNOWLEDGED HIMSELF TO BE \_\_\_\_\_ OF \_\_\_\_\_, OWNER OF THE PROPERTY, THE WITHIN NAMED BARGAINER, AND THAT HE EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSE THEREIN CONTAINED.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY NOTARIAL SEAL AT MY OFFICE IN \_\_\_\_\_, WITNESS MY HAND AND NOTARIAL SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

NOTARY PUBLIC \_\_\_\_\_

MY COMMISSION EXPIRES \_\_\_\_\_

MORTGAGEE CERTIFICATE

WE, \_\_\_\_\_, THE UNDERSIGNED MORTGAGEE OF THE PROPERTY SHOWN HEREON, HEREBY CONSENT AND AGREE TO THE PLAN OF DEVELOPMENT AS SUBMITTED BY \_\_\_\_\_, OWNER(S) OF THE PROPERTY.

\_\_\_\_\_  
SIGNATURE  
DATE

\_\_\_\_\_  
SIGNATURE  
DATE

NOTARY CERTIFICATE

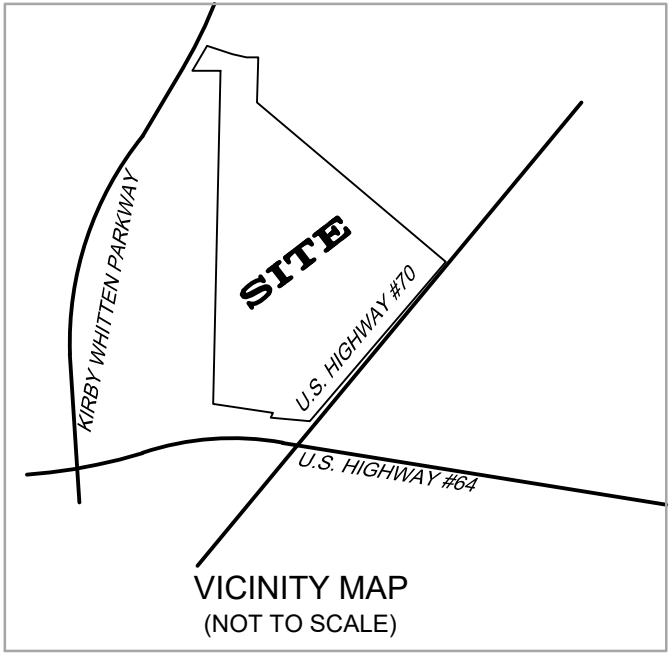
STATE OF \_\_\_\_\_  
COUNTY OF \_\_\_\_\_

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID STATE AND COUNTY, DULY COMMISSIONED AND QUALIFIED, PERSONALLY APPEARED \_\_\_\_\_, WITH WHOM I AM PERSONALLY ACQUAINTED AND WHO, UPON OATH, ACKNOWLEDGED HIMSELF/HERSELF TO BE \_\_\_\_\_ OF \_\_\_\_\_, THE MORTGAGEE OF THE PROJECT NAMED HEREON, AND HE/SHE AS SUCH REPRESENTATIVE EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSE THEREIN CONTAINED BY SIGNING HIS/HER NAME AS REPRESENTATIVE OF THE MORTGAGEE.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY NOTARIAL SEAL AT MY OFFICE IN \_\_\_\_\_, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

NOTARY PUBLIC \_\_\_\_\_

MY COMMISSION EXPIRES \_\_\_\_\_



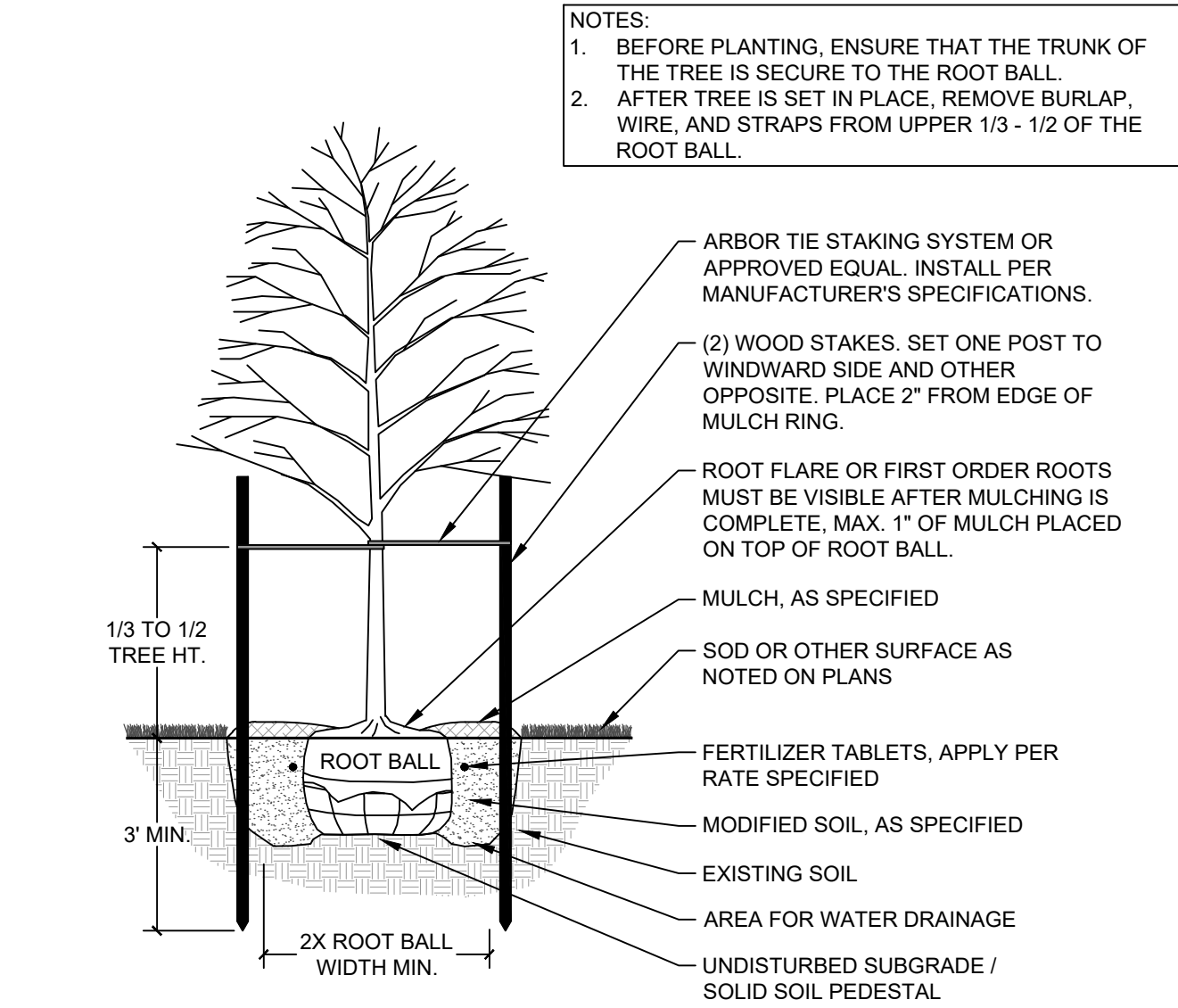
7975 STAGE HILLS BOULEVARD, SUITE 1  
MEMPHIS, TENNESSEE 38133  
901.377.9984 office  
901.365.1813 fax  
www.efiglobal.com

PRELIMINARY PLAT - PHASE 3

UNION DEPOT PD

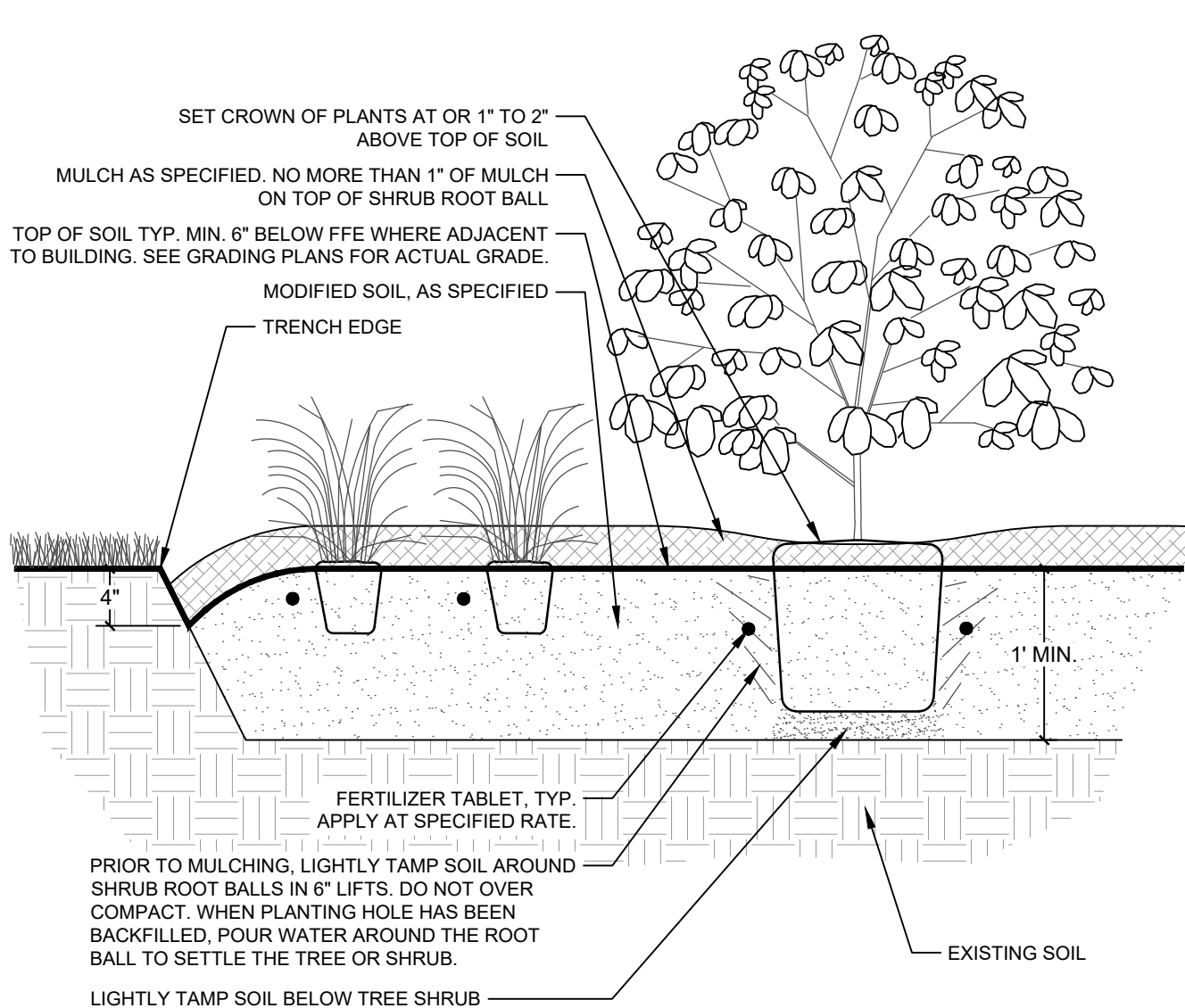
|                                                                           |                             |                                |  |
|---------------------------------------------------------------------------|-----------------------------|--------------------------------|--|
| CASE NUMBER:                                                              |                             | FORMER CASE NO:                |  |
| BARTLETT, TN                                                              |                             |                                |  |
| NUMBER OF LOTS: 1 LOT                                                     | ACREAGE: 2.792 AC.          | PARCEL ID: PART OF B0157 00802 |  |
| DEVELOPER: BLUE SKY COMMUNITIES, INC.<br>177 CRESENT DR. COLLIERVILLE, TN |                             | ENGINEER: EFI GLOBAL           |  |
| 100-YEAR FLOOD ELEV: 269-273                                              | FEMA MAP PANEL: 47157C0304G | MAP DATE: 02/06/2013           |  |
| DECEMBER 30, 2024                                                         | SCALE: NTS                  | SHEET 2 OF 2                   |  |





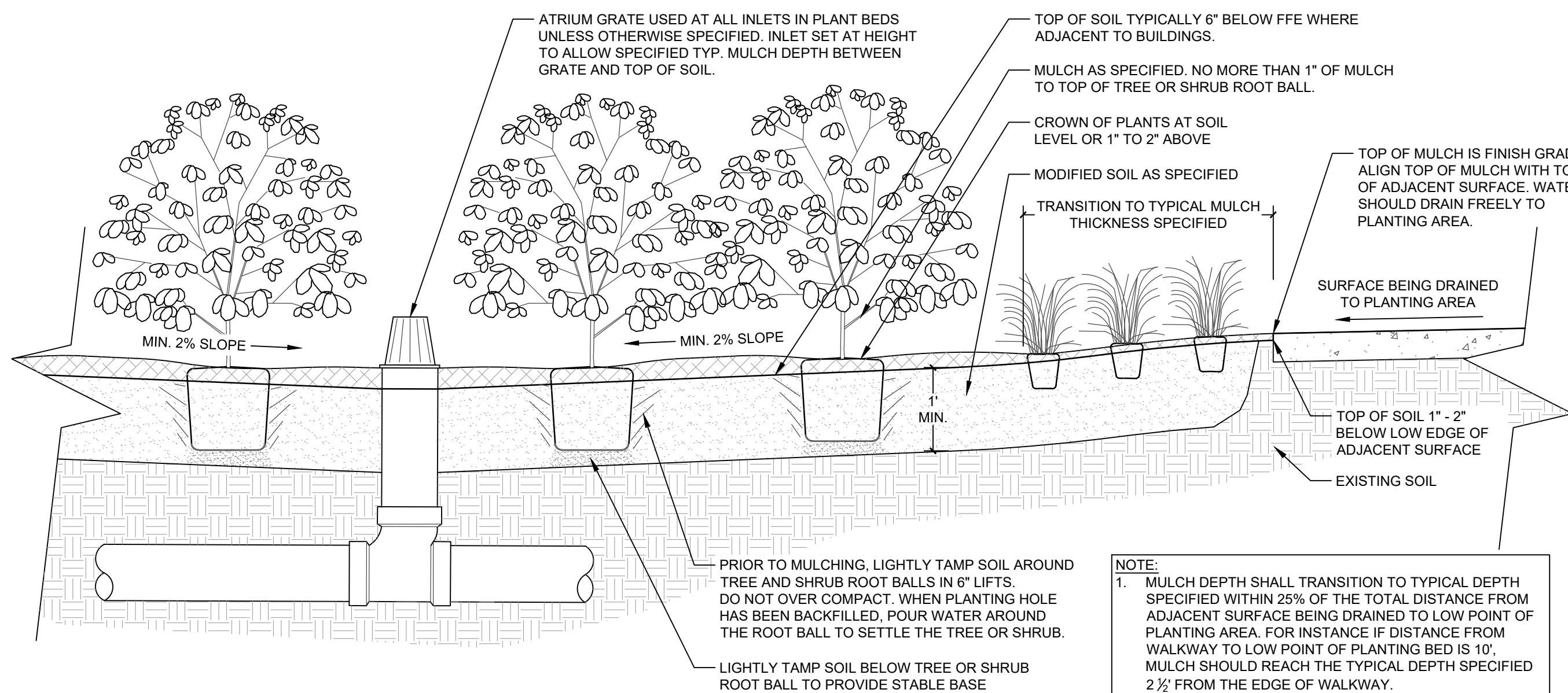
## 1 TREE PLANTING AND STAKING

NOT TO SCALE



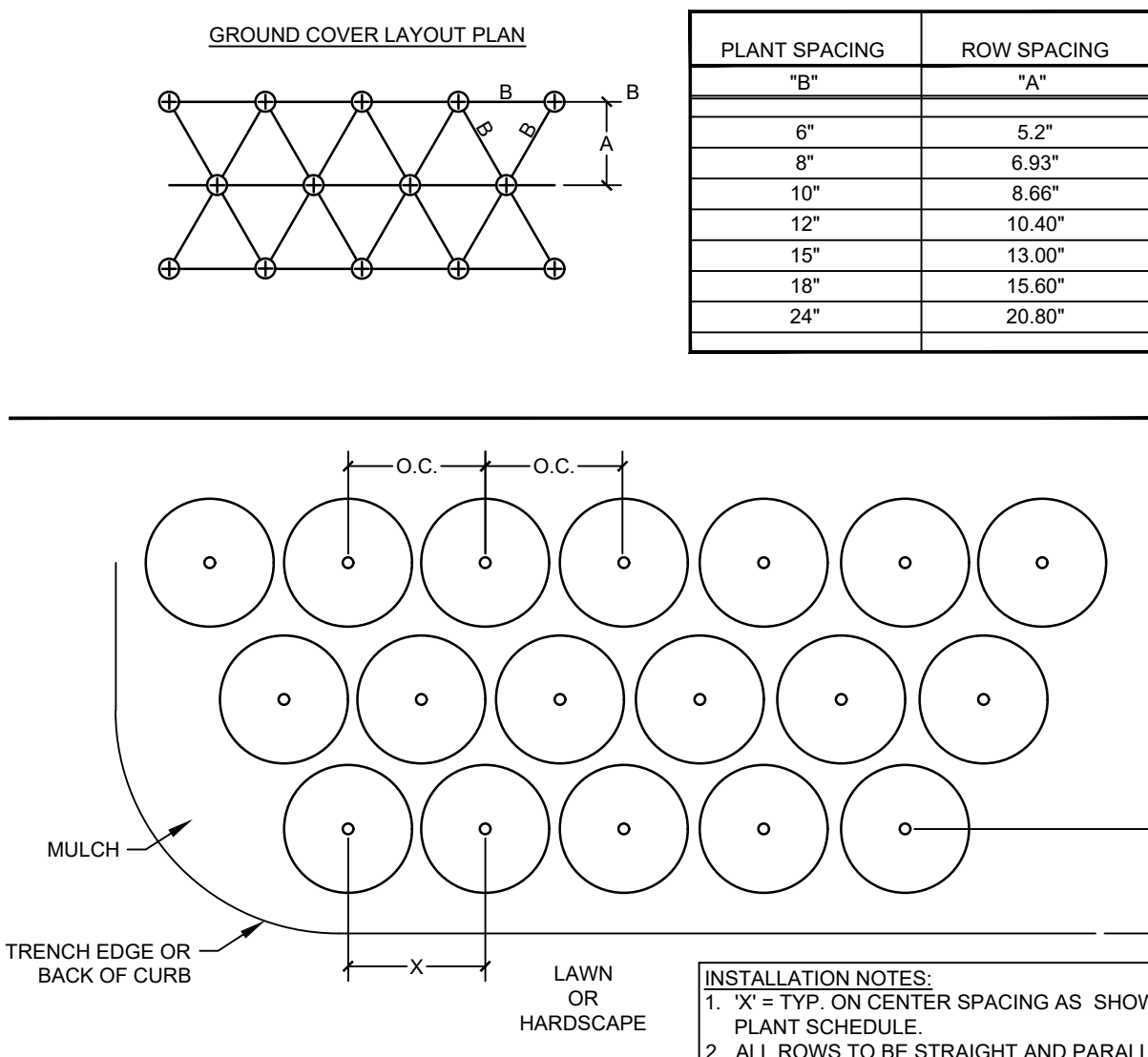
## 2 SHRUB AND GROUND COVER PLANTING

NOT TO SCALE



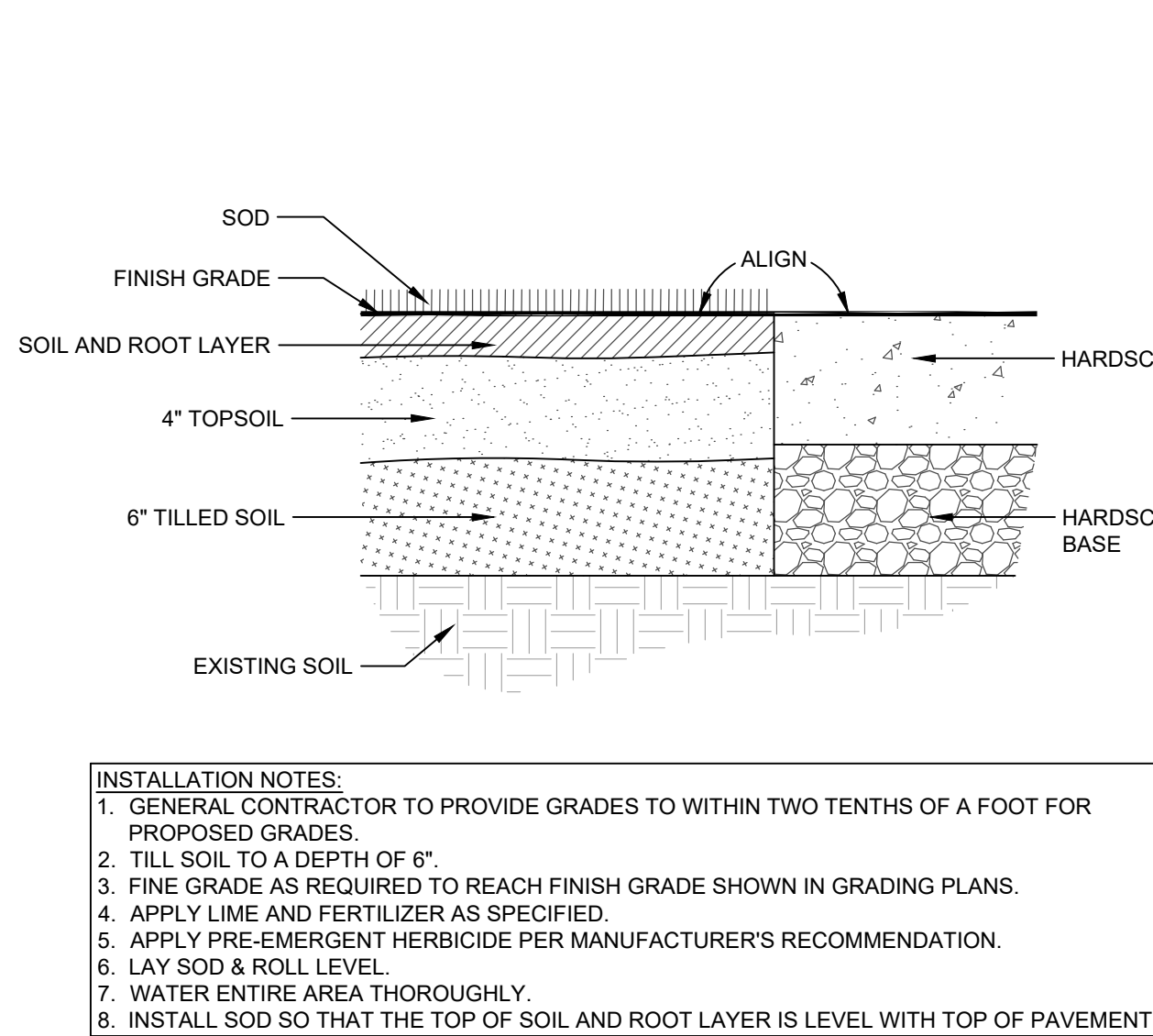
## 4 PLANTING BED WITH DRAINAGE STRUCTURE

NOT TO SCALE



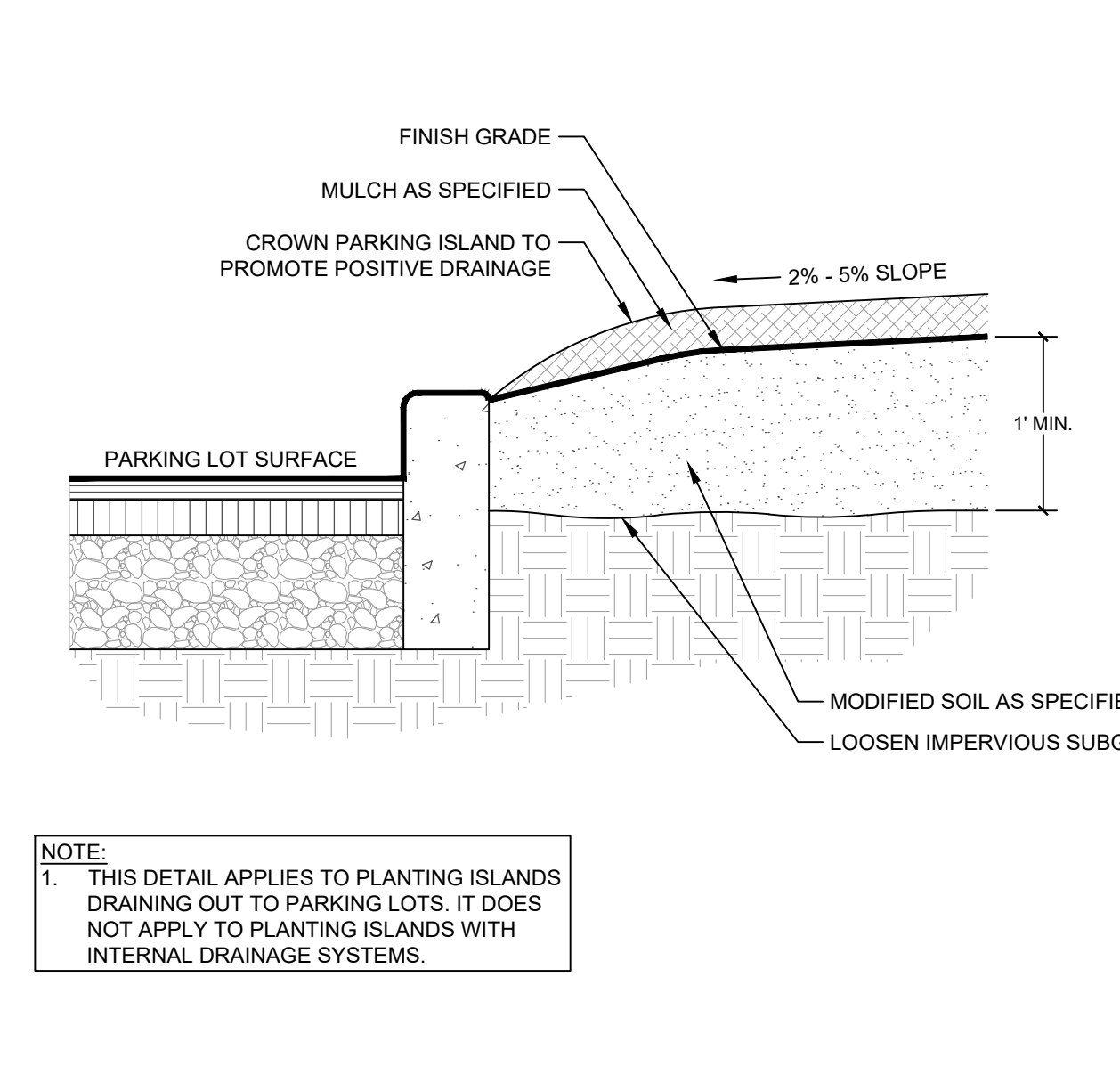
## 6 TYP PLANT MASS & GROUND COVER SPACING

NOT TO SCALE



## 3 SOD INSTALLATION

NOT TO SCALE



## 5 PARKING LOT ISLAND DETAIL

NOT TO SCALE

## PLANT SCHEDULE

| QTY          | BOTANICAL NAME                      | COMMON NAME                 | SIZE      | CONT. | UNIT | COMMENTS                                         |
|--------------|-------------------------------------|-----------------------------|-----------|-------|------|--------------------------------------------------|
| <b>TREES</b> |                                     |                             |           |       |      |                                                  |
| 2            | Carpinus caroliniana                | American Hornbeam           | 2.5" Cal. | B&B   | EA   | Well branched, full head                         |
| 11           | Liriodendron tulipifera 'JFS-Oz' TM | Emerald City Tulip Poplar   | 2.5" Cal. | B&B   | EA   | Uniform branching, dominant leader               |
| 7            | Magnolia virginiana 'Jim Wilson'    | Moonglow® Sweetbay Magnolia | 6"-8" HT  | B&B   | EA   | 3 canes min. @ 1" cal. each, No crossing leaders |
| 4            | Quercus nuttallii 'GNSTC'           | Espianade® Nuttall Oak      | 2.5" Cal. | B&B   | EA   | Uniform branching, dominant leader               |
| 6            | Quercus shumardii                   | Shumard Oak                 | 2.5" Cal. | B&B   | EA   | Uniform branching, dominant leader               |

| QTY                       | BOTANICAL NAME                          | COMMON NAME                  | SIZE    | CONTAINER | UNIT | COMMENTS                  |
|---------------------------|-----------------------------------------|------------------------------|---------|-----------|------|---------------------------|
| <b>SHRUBS AND GRASSES</b> |                                         |                              |         |           |      |                           |
| 88                        | Abelia x Rose Creek                     | Rose Creek Abelia            | 24" Ht. | Pot       | EA   | Full plant, free of weeds |
| 52                        | Caryopteris x clandonensis 'CT-9-12' TM | Beyond Midnight Bluebeard    | 18" Ht. | Pot       | EA   | Full plant, free of weeds |
| 24                        | Clethra alnifolia 'Hummingbird'         | Hummingbird Summersweet      | 24" Ht. | Pot       | EA   | Full plant, free of weeds |
| 14                        | Hydrangea quercifolia 'Flemingea'       | Snow Queen Oakleaf Hydrangea | 36" Ht. | Pot       | EA   | Full plant, free of weeds |
| 27                        | Ilex cornuta 'Burfordii Nana'           | Dwarf Burford Holly          | 24" Ht. | Pot       | EA   | Full plant, free of weeds |
| 91                        | Ilex glabra 'Chamzini'                  | Nordic™ Inkberry Holly       | 24" Ht. | Pot       | EA   | Full plant, free of weeds |
| 14                        | Ilex glabra 'SMNIGAB17'                 | Gem Box® Inkberry Holly      | 12" Ht. | Pot       | EA   | Full plant, free of weeds |
| 55                        | Itea virginica 'Little Henry' TM        | Virginia Sweetspire          | 18" Ht. | Pot       | EA   | Full plant, free of weeds |
| 56                        | Juniperus x 'Grey Owl'                  | Grey Owl Juniper             | 24" Ht. | Pot       | EA   | Full plant, free of weeds |
| 222                       | Muhlenbergia capillaris                 | Pink Muhly Grass             | 1 gal.  | Pot       | EA   | Full plant, free of weeds |
| 148                       | Panicum virgatum 'Shenandoah'           | Shenandoah Switch Grass      | 1 gal.  | Pot       | EA   | Full plant, free of weeds |

| QTY               | BOTANICAL NAME                      | COMMON NAME                         | SIZE   | UNIT | COMMENTS | SPACING                   |
|-------------------|-------------------------------------|-------------------------------------|--------|------|----------|---------------------------|
| <b>PERENNIALS</b> |                                     |                                     |        |      |          |                           |
| 109               | Dryopteris erythrosora 'Brilliance' | Brilliance Autumn Fern              | 1 gal. | Pot  | EA       | Full plant, free of weeds |
| 147               | Rudbeckia x 'American Gold Rush'    | American Gold Rush Black-Eyed Susan | 1 gal. | Pot  | EA       | Full plant, free of weeds |

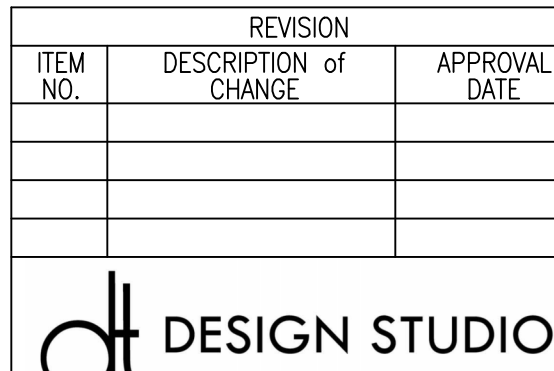
| QTY                  | BOTANICAL NAME             | COMMON NAME          | SIZE   | UNIT      | COMMENTS                                     | SPACING  |
|----------------------|----------------------------|----------------------|--------|-----------|----------------------------------------------|----------|
| <b>GROUND COVERS</b> |                            |                      |        |           |                                              |          |
| 1,968                | Liriope muscari 'Big Blue' | Big Blue Lilyturf    | 1 gal. | Pot       | Fill Area                                    | 15" o.c. |
| <b>SOD/SEED</b>      |                            |                      |        |           |                                              |          |
| 3,961 sf             | Cynodon dactylon 'Tif 419' | Tif 419 Bermudagrass | ---    | Fill Area | Fill area, square footage for reference only |          |

## GENERAL PLANTING NOTES

- CONTRACTOR TO CAREFULLY EXAMINE THE CONTRACT DOCUMENTS AND EXISTING CONDITIONS BEFORE SUBMITTING BID PROPOSAL OR COMMENCING WORK.
- CONTRACTOR'S BASE BID TO INCLUDE ALL MATERIALS, BED PREP, LABOR, PERMITS, EQUIPMENT, TOOLS, INSURANCE, ETC. TO PERFORM THE WORK AS DESCRIBED IN THE CONTRACT DOCUMENTS.
- PLANT QUANTITIES SHOWN ARE FOR CONTRACTOR CONVENIENCE. CONTRACTOR SHALL VERIFY BEFORE SUBMITTING BID PROPOSAL THAT QUANTITIES SHOWN WILL ADEQUATELY FULFILL THE DESIGN INTENT AND SHALL VERIFY PRIOR TO PLACEMENT THAT QUANTITIES ARE ADEQUATE. CONTRACTOR SHALL NOTIFY OWNER OR OWNER'S REPRESENTATIVE OF ANY REPAIRS OR REPLACEMENTS REQUIRED.
- DAMAGE TO EXISTING UTILITIES OR SITE IMPROVEMENTS CAUSED BY THE CONTRACTOR ARE THE FULL RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE REPAIRED OR REPLACED AT CONTRACTOR'S COST, SUBJECT TO OWNER'S APPROVAL. CONTRACTOR TO LOCATE UNDERGROUND UTILITIES WITH FLAGS/MARKINGS PRIOR TO EXCAVATING.
- REQUIREMENTS FOR DEFINITIONS, GRADING TOLERANCES, BALLING AND BURLAPPING, CONTAINER CROWN PLANTS, ETC. SHALL BE IN ACCORDANCE WITH THE "USA STANDARD FOR NURSERY STOCK," ANSI Z60.1, LATEST EDITION, AND ANSI Z133.1, LATEST EDITION, ADOPTED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. PLANTS SHALL BE MEASURED BEFORE PRUNING WITH BRANCHES IN NORMAL POSITION, AND ANY NECESSARY PRUNING SHALL BE DONE AT TIME OF PLANTING, WHERE PLANT SIZES ARE GIVEN IN A RANGE, THE PLANTS PROVIDED SHALL AVERAGE THE MEDIAN OF THE RANGE OR BETTER.
- UNLESS SPECIFICALLY NOTED OTHERWISE, ALL PLANTS SHALL BE OF SPECIMEN QUALITY, EXCEPTIONALLY HEAVY, SYMMETRICAL, THICKLY BRANCHED, SO TRAINED OR TREATED IN THEIR DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY OF FIRST QUALITY IN FORM, BRANCH, STRUCTURE, BUDS, FRUIT, COMPACTNESS, AND SYMMETRY. ANY TREE HAVING A WEAK, THIN TRUNK, NOT CAPABLE OF SUPPORTING ITSELF WHEN PLANTED IN THE OPEN, WILL NOT BE ACCEPTED. INFERIOR PLANT MATERIAL TO BE REJECTED.
- ALL PLANTS SHALL COMPLY WITH FEDERAL AND STATE LAWS AND REGULATIONS REQUIRING INSPECTION FOR PLANT DISEASES, PEST, AND WEEDS. CERTIFICATES OF INSPECTION SHALL ACCOMPANY THE INVOICE FOR EACH SHIPMENT OF PLANTS AS REQUIRED BY LAW.
- ALL PLANTS SHALL BE TRUE TO NAME AS ORDERED OR SHOWN ON THE PLANTING PLANS AND SHALL BE LABELED INDIVIDUALLY OR IN GROUPS BY SPECIES AND CULTIVAR. SUBSTITUTIONS WILL ONLY BE PERMITTED UPON SUBMISSION OF PROOF THAT A PARTICULAR VARIETY OF PLANT IS NOT OBTAINABLE, AND UPON AUTHORIZATION BY THE OWNER OR OWNER'S REPRESENTATIVE. SUBSTITUTIONS SHALL BE OF THE NEAREST EQUIVALENT OBTAINABLE AND, OF SIMILAR CHARACTERISTICS, WITH AN EQUITABLE ADJUSTMENT OF CONTRACT SUM.
- ALL PLANTS SHALL BE GUARANTEED TO LIVE FOR 12 MONTHS. THE GUARANTEE PERIOD SHALL BEGIN AT THE TIME OF WRITTEN APPROVAL OF ACCEPTANCE BY THE OWNER OF (A) THE LANDSCAPE AND (B) THE RESPONSIBILITY OF MAINTAINING THE LANDSCAPE. IF PLANTS ARE FOUND TO BE DEAD, DYING, OR OF POOR APPEARANCE AT ANY TIME DURING THIS PERIOD, THEY SHALL BE REPLACED AT NO ADDITIONAL COST.
- ALL PLANTS THAT HAVE BEEN FOUND TO BE DEAD, DYING, OR OF POOR APPEARANCE SHALL BE IMMEDIATELY REMOVED AND THE OWNER NOTIFIED. REPLACEMENT OF TREES AND LARGE SHRUBS SHALL BE MADE AT THE BEGINNING OF THE NEXT PLANTING SEASON. REPLACEMENT OF SMALL SHRUBS AND GROUND COVERS SHALL BE MADE WITHIN 30 DAYS FOLLOWING THE INSPECTION OF THAT DETERMINED THE REQUIRED REPLACEMENT. THE OWNER SHALL BE NOTIFIED PRIOR TO ALL REPLACEMENT WORK.
- ANY PLANT THAT DIES, HAS AN UNHEALTHY CONDITION, OR POOR APPEARANCE PRIOR TO OWNER ACCEPTANCE SHALL BE REPLACED. THIS REPLACEMENT SHALL NOT BE CONSIDERED AS A GUARANTEE REPLACEMENT. ALL REPLACEMENT SHALL BE MADE WITH PLANTS OF THE SAME KIND, AND IN THE SAME MANNER AS SPECIFIED FOR THE ORIGINAL PLANTING, AT NO ADDITIONAL COST TO THE OWNER.
- ALL TREES ARE TO BE STAKED, UNLESS SPECIFICALLY DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE. BRACING SHALL UTILIZE A STANDARD FLAT, WOVEN POLYPROPYLENE; 900-LB. BREAK STRENGTH SUCH AS "ARBOR TIE," OR APPROVED EQUAL. STAKE OR GUY NEW OR TRANSLANTED TREE WITH THREE STAKES, 2" X 8" HARDWOOD. ALL STAKING MATERIAL SHALL BE REMOVED BY THE CONTRACTOR AT THE END OF THE WARRANTY PERIOD.
- CONTRACTOR TO PROVIDE INTERIM MAINTENANCE (WATERING, PRUNING, FERTILIZING, GUYING, MOWING, TRIMMING, ADEQUATE DRAINAGE OF PONDING AREAS, EDGING, WEEDING, MULCHING, APPLICATION OF INSECTICIDES/HERBICIDES, AND GENERAL LANDSCAPE CLEANUP) UNTIL WRITTEN NOTICE OF ACCEPTANCE BY OWNER. CONTRACTOR SHALL PERFORM WORK IN COMPLIANCE WITH ALL APPLICABLE LAWS, CODES, AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK AND PROVIDE FOR PERMITS REQUIRED BY LOCAL AUTHORITIES.
- SIDEWALKS, ROADS, AND OTHER PAVEMENT ADJACENT TO PLANTING OPERATION SHALL BE KEPT CLEAN AND FREE OF OBSTRUCTIONS.
- INsofar AS IS PRACTICABLE, PLANT MATERIAL SHALL BE PLANTED THE DAY OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE, THE PLANTING CONTRACTOR SHALL PROTECT THE STOCK NOT PLANTED. PLANTS SHALL BE PROTECTED AT ALL TIMES FROM SUN OR DRYING WINDS. PLANTS THAT CANNOT BE PLANTED IMMEDIATELY ON DELIVERY SHALL BE KEPT IN THE SHADE, WITH THE ROOT MASS WELL PROTECTED AND KEPT WELL-WATERED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN THREE DAYS AFTER DELIVERY TO THE SITE.
- UPON INSPECTION OF ALL TREES, THE FOLLOWING CHARACTERISTICS SHALL BE FOUND.
  - CROWN FORM: THE FORM OR SHAPE OF THE CROWN IS TYPICAL FOR A YOUNG SPECIMEN OF THE SPECIES/CULTIVAR. THE CROWN IS NOT SIGNIFICANTLY DAMAGED BY WIND, PRUNING PRACTICES, PESTS OR OTHER FACTORS.
  - LEAVES: THE SIZE, COLOR AND APPEARANCE OF LEAVES ARE TYPICAL FOR THE TIME OF YEAR AND STAGE OF GROWTH OF THE SPECIES/CULTIVAR. LEAVES ARE NOT STUNTED, MISSHAPEN, TATTERED, DISCOLORED (CHLOROTIC OR NECROTIC) OR OTHERWISE ATYPICAL.
  - BRANCHES: SHOOT GROWTH (LENGTH AND DIAMETER) THROUGHOUT THE CROWN IS TYPICAL FOR THE AGE/SIZE OF THE SPECIES/CULTIVAR. TREES DO NOT HAVE DEAD, DISEASED, BROKEN, DISTORTED OR OTHER SERIOUS BRANCH INJURIES.
  - TRUNK: THE TREE TRUNK SHOULD BE STRAIGHT, VERTICAL AND FREE OF WOUNDS (EXCEPT PROPERLY MADE PRUNING CUTS), SUNBURNT AREAS, CONKS (FUNGAL FRUITING BODIES), WOOD CRACKS, BLEEDING AREAS, SIGNS OF BORING INSECTS, GALLS, CANKERS/LESIONS AND GIRDLING TIES.
  - ROOTS: THE ROOT SYSTEM IS FREE OF INJURY FROM BIOTIC (INSECTS, PATHOGENS, ETC.) AND ABIOTIC AGENTS (HERBICIDE TOXICITY, SALT INJURY, EXCESS IRRIGATION, ETC.). ROOT DISTRIBUTION IS UNIFORM THROUGHOUT THE SOIL. SOIL AND GROUND MEDIA AND GROWTH IS TYPICAL FOR THE SPECIES/CULTIVAR. THE TRUNK, ROOT COLLAR (ROOT CROWN), AND LARGE ROOTS SHALL BE FREE OF CIRCLING AND/OR KINKED ROOTS. SOIL REMOVAL NEAR THE ROOT COLLAR MAY BE NECESSARY TO INSPECT FOR CIRCLING AND/OR KINKED ROOTS. THE TREE SHALL BE WELL-ROOTED IN THE SOIL MIX. WHEN THE CONTAINER IS REMOVED, THE ROOT BALL SHALL REMAIN INTACT. WHEN THE TRUNK IS CAREFULLY LIFTED, BOTH THE TRUNK AND ROOT SYSTEM SHALL MOVE AS ONE. THE UPPER-MOST ROOTS OR ROOT COLLAR SHALL BE WITHIN 1" (ONE INCH) ABOVE OR BELOW THE SOIL SURFACE.
- CENTRAL LEADER: TREES SHALL HAVE A SINGLE, RELATIVELY STRAIGHT CENTRAL LEADER AND TAPERED TRUNK, FREE OF CODOMINANT STEMS AND VIGOROUS, UPRIGHT BRANCHES THAT COMPETE WITH THE CENTRAL LEADER.
- MAIN BRANCHES (SCAFFOLDS): BRANCHES SHOULD BE DISTRIBUTED RADIALY AROUND AND VERTICALLY ALONG THE TRUNK, FORMING A GENERALLY SYMMETRICAL CROWN TYPICAL FOR THE SPECIES.

## SEEDING AND SODDING NOTES

- FOR ALL TURF LAWN AREAS, TOPSOIL SHALL BE USED TO REACH FINISH GRADE. CULTIVATE EXISTING SOIL TO A DEPTH OF 6" BELOW TOPSOIL LAYER. HAND RAKE TO PROVIDE EVEN CONTOURS. GENERAL CONTRACTOR TO PROVIDE GRADES WITHIN TWO-TENTHS (20+) OF A FOOT OF PROPOSED FINISH GRADES.
- NOTIFY THE OWNER AT LEAST 48 HOURS IN ADVANCE OF THE TIME CONTRACTOR INTENDS TO BEGIN SODDING AND SHALL NOT PROCEED WITH SUCH WORK UNTIL PERMISSION TO DO SO HAS BEEN GRANTED BY THE OWNER. BEFORE STARTING THE GRASSING OPERATION ON ANY AREA, FINAL DRESSING SHALL HAVE BEEN COMPLETED.
- INsofar AS IS PRACTICABLE, SOD SHALL BE LAID THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, THE PLANTING CONTRACTOR SHALL PROTECT THE SOD NOT LAID BY PLACING IT IN A SHADED AREA. SOD THAT CANNOT BE LAID IMMEDIATELY ON DELIVERY SHALL BE KEPT WELL-WATERED AND SHALL NOT REMAIN UNPLANTED FOR LONGER THAN 48 HOURS AFTER DELIVERY TO THE SITE. ANY SOD LEFT UNINSTALLED FOR A LONGER PERIOD IS SUBJECT TO REJECTION BY THE OWNER.
- PRIOR TO PLACING SOD, FERTILIZER AND LIMES SHALL BE APPLIED UNIFORMLY TO PREPARED SURFACE. AFTER PLACING THE SOD, IT SHALL BE THOROUGHLY WETTED AND ROLLED WITH APPROVED ROLLER/HAND TAMP. THREE WEEKS AFTER INSTALLATION, AMMONIUM NITRATE SHALL BE APPLIED TO NEWLY SODDED AREA AND THEN WATERED.
- ALL AREAS TO BE SEEDDED WITH GRASS SEED TO RECEIVE A MINIMUM OF 4" OF TOPSOIL. FINISH GRADE TOLERANCE OF 1". CONTRACTOR TO VERIFY THAT FINISH GRADE IS FREE OF STONES OR CLUMPS LARGER THAN 1-1/2" DIAMETER AND FREE OF TRASH. NOTIFY GENERAL CONTRACTOR IF THESE CONDITIONS ARE NOT PRESENT.
- SEED MIX SHALL BE COMMON BERMOUDA AND SHALL BE SOWN BETWEEN MAY 1 AND JULY 31. SOW AT A RATE OF 30 LBS. P.L.S. (PURE LIVE SEED) PER ACRE. ALL SEED MIXTURES SHALL BE APPLIED BY HYDRO-SEEDING UNLESS OTHERWISE SPECIFIED. ALL DISTURBED AREAS NOT OTHERWISE LANDSCAPED, PAVED OR SODDED SHALL BE SEEDDED.
- IF SEEDDED AREAS DO NOT SHOW A UNIFORM OR HEALTHY STAND OF GRASS, WITH A 90 PERCENT OR GREATER COVERAGE AFTER 28 CALENDAR DAYS, RESEED AND/OR RE-FERTILIZE THOSE AREAS AS DIRECTED BY THE OWNER WITHOUT ANY ADDITIONAL COST TO THE OWNER.
- IN ADDITION TO ANY REQUIREMENTS DESCRIBED ABOVE, AT TIME OF FINAL ACCEPTANCE, SEEDDED AND SODDED AREAS SHALL SHOW A UNIFORM OR HEALTHY STAND OF GRASS, WITH A MINIMUM OF 90 PERCENT COVERAGE. AREAS NOT MEETING THIS REQUIREMENT SHALL BE RE-SEEDDED OR RE-SODDED AND RE-FERTILIZED AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE WITHOUT ANY ADDITIONAL COST TO THE OWNER.



SHEET 1 of 1

CITY OF BARTLETT DIVISION OF ENGINEERING

LANDSCAPE NOTE AND DETAILS

LOCATION: SUMMER AVENUE  
BARTLETT, TENNESSEE

|                             |               |                |
|-----------------------------|---------------|----------------|
| SURVEY                      | DATE          | BOOK           |
| DESIGN BY: DT DESIGN STUDIO | DATE 01.02.25 | SCALE AS NOTED |
| DEPUTY CITY ENGINEER        | DATE          | CITY ENGINEER  |
|                             | DATE          |                |

NOT FOR CONSTRUCTION

DEVELOPER: UNION DEPOT, LLC  
LANDSCAPE ARCHITECT: DT DESIGN STUDIO



## PC Final Plan Application

Date: 01/06/2025

### Project Information

Property Address: 6900 Highway 70  
Project Name:

Present Zoning: Planned Development  
# of Lots: 1

Description: Mixed Use (Retail/Multi-Family)

### Applicant / Owner

Applicant Name: Roy Lamica  
Company Name: EFI Global  
Address: 7975 Stage Hills Blvd, Suite 1  
City, State, Zip: Bartlett, TN 38133  
Phone: 9013551347  
Email: roy.lamica@efiglobal.com

Owner Name: Blue Sky Communities, Inc.  
Company Name:  
Address: 177 Crescent Drive  
City, State, Zip: Collierville, TN 38017  
Phone: 9018540525  
Email:

### Architect / Engineer

Architect Contact: Reid Cullers  
Company Name: Shapiro & Company  
Architects  
Address: 435 Madison Avenue, Suite  
200  
City, State, Zip: Memphis, TN 38103  
Phone: 9016859001  
Email: rcullers@shapiroandco.com

Architect Contact: Roy Lamica  
Company Name: EFI Global  
Address: 7975 Stage Hills Blvd, Suite 1  
City, State, Zip: Bartlett, TN 38133  
Phone: 9013551347  
Email: roy.lamica@efiglobal.com

I do hereby certify that the information contained herein is true and correct.

Roy Lamica  
\_\_\_\_\_  
Name

01/06/2025  
\_\_\_\_\_  
Date

## Final Subdivision Plan/Plat Checklist

The applicant shall either indicate that the following items have been completed by a check (✓) or that they are not applicable (n/a).

☒ Drawn in ink on 20" x 24" mylar, at a  
scale of 1" = 100'.  
☒ Bearing and length of every street line,  
lot line, boundary line, block line and  
building line whether curved or straight.  
☒ Subdivision name and location  
☒ Location sketch map  
☒ Date  
☒ "Grid" or "true" north point  
☒ Name of adjoining landowners,  
developments  
☒ Written boundary survey  
☒ Location and description of a clearly  
identified and verifiable point of  
beginning for the survey  
☒ Buildings setback lines  
☒ Reservations for all easements  
☒ Areas dedicated for public use  
☒ Areas of non-residential use  
☒ Areas of flood hazard  
☒ Lots numbered in numerical order

☒ Landscaped buffer strips  
☒ Street names  
☒ Restrictive covenants

The following, with dimensions to nearest one hundredth (1/100th) of a foot and angles or true or grid bearings to the nearest twenty seconds of arc (20"):

☒ Lot lines  
☒ Street & road lines  
☒ Alley lines

The following completed certificates where applicable:

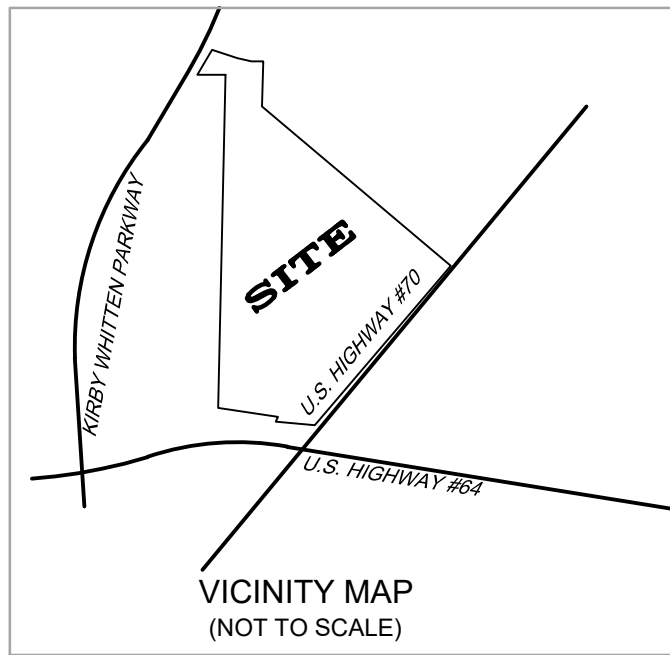
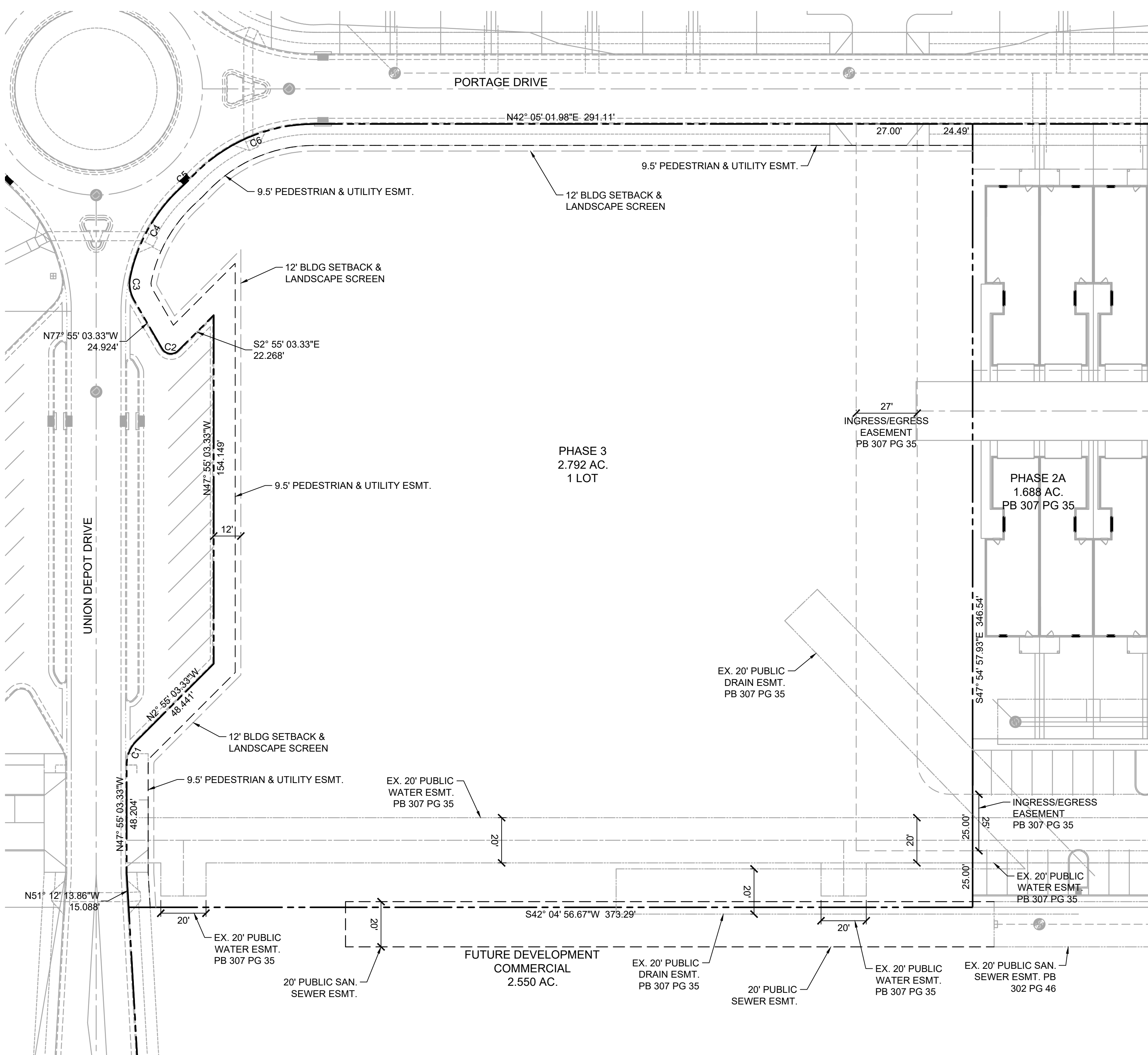
☒ Owner  
☒ Surveyor or Engineer  
☒ Storm drainage  
☒ Board of Mayor and Aldermen  
☒ Planning Commission  
☒ Mortgagee

**In addition to the Final Plan drawing, the following shall be provided:**

☒ One PDF file of the pictorial portion of the Final Plan, for display at the Planning Commission meeting.

Include a fee of \$500.00 plus \$20.00 per lot with this application (check payable to the City of Bartlett).  
**The fee is not refundable.**

**INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED**



| CURVE TABLE |        |            |               |              |
|-------------|--------|------------|---------------|--------------|
| CURVE       | RADIUS | ARC LENGTH | CHORD BEARING | CHORD LENGTH |
| C1          | 14.50' | 11.39'     | S25° 25' 03"E | 11.10'       |
| C2          | 4.50'  | 8.25'      | N49° 34' 57"E | 7.14'        |
| C3          | 14.50' | 10.58'     | S57° 00' 42"E | 10.35'       |
| C4          | 74.50' | 47.30'     | S17° 55' 01"E | 46.51'       |
| C5          | 57.50' | 5.22'      | N2° 19' 45"W  | 5.22'        |
| C6          | 74.50' | 61.13'     | S18° 34' 37"W | 59.43'       |

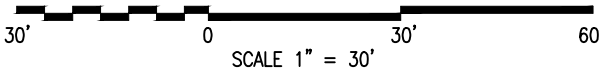
NOTE:  
THE CITY OF BARTLETT PUBLIC WORKS SHALL HAVE INGRESS/EGRESS RIGHTS TO LOTS AND COMMON OPEN SPACES FOR WATER & SEWER UTILITY MAINTENANCE. THE CITY SHALL NOT BE RESPONSIBLE FOR REPLACEMENT OF ANY PRIVATE INFRASTRUCTURE, SUCH AS CURB & GUTTER, SOD, AND FINAL PAVEMENT REGARDING NECESSARY REPAIRS.

THE 9.5' PEDESTRIAN / UTILITY EASEMENT SHOWN SHALL BE AVAILABLE TO THE PUBLIC AND SHALL BE MAINTAINED BY THE PROPERTY OWNERS ASSOCIATION, INCLUDING SIDEWALKS AND HANDICAP RAMPS.

COS AREAS SHALL BE TRANSFERRED TO THE PROPERTY OWNERS ASSOCIATION WHO WILL BE RESPONSIBLE FOR MAINTENANCE.

SITE BENCH MARK  
TOP FLANGE BOLT OF FIRE HYDRANT BETWEEN 'W' & 'M'.  
FIRE HYDRANT LOCATED ON THE NORTHWEST SIDE OF HIGHWAY 70 NEAR THE NORTHEASTERLY CORNER OF THE PROPERTY AND ADJACENT TO DRIVE WAY FOR ST GEORGE ORTHODOX CHURCH.  
ELEVATION = 296.50

NOTE:  
THIS PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA (SFHA) SUBJECT TO INUNDATION BY THE 1 PERCENT ANNUAL CHANCE FLOOD AS DETERMINED BY F.E.M.A. AND SHOWN ON FIRM MAP NUMBER 47157C0304 G, DATED FEBRUARY 16, 2013.  
100 YEAR FLOOD ELEV. 267± (FLETCHER CREEK)



### PRELIMINARY PLAT - PHASE 3 UNION DEPOT PD

|                                                                           |                             |                      |                                |
|---------------------------------------------------------------------------|-----------------------------|----------------------|--------------------------------|
| CASE NUMBER:                                                              |                             | FORMER CASE NO:      |                                |
| BARTLETT, TN                                                              |                             |                      |                                |
| NUMBER OF LOTS: 1 LOT                                                     |                             | ACREAGE: 2.792 AC.   | PARCEL ID: PART OF B0157 00802 |
| DEVELOPER: BLUE SKY COMMUNITIES, INC.<br>177 CRESENT DR. COLLIERVILLE, TN |                             | ENGINEER: EFI GLOBAL |                                |
| 100-YEAR FLOOD ELEV: 269-273                                              | FEMA MAP PANEL: 47157C0304G |                      | MAP DATE: 02/06/2013           |
| DECEMBER 30, 2024                                                         | SCALE: 1" = 50'             |                      | SHEET 1 OF 2                   |

CERTIFICATE OF ADEQUACY OF STORM DRAINAGE

I, \_\_\_\_\_, DO HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL CIVIL ENGINEER, AND THAT I HAVE DESIGNED ALL STORM WATER DRAINAGE FOR \_\_\_\_\_ TO ASSURE THAT NEITHER THE SAID SUBDIVISION NOR ADJOINING PROPERTY WILL BE DAMAGED OR THE CHARACTER OF LAND USE AFFECTED BY THE VELOCITY AND VOLUME OF WATER ENTERING OR LEAVING SAME.

IN WITNESS WHEREOF, I, THE SAID \_\_\_\_\_, PROFESSIONAL CIVIL ENGINEER, HEREUNTO SET MY HAND AND AFFIX MY SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_\_.

\_\_\_\_\_  
PROFESSIONAL CIVIL ENGINEER  
TENNESSEE CERTIFICATE NUMBER 111626

CERTIFICATE OF SUREY

I, \_\_\_\_\_, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HAVE SURVEYED THE LANDS EMBRACED WITHIN THE PLAT OR MAP DESIGNED AS FINAL PLAT, \_\_\_\_\_, A SUBDIVISION ALL LYING WITHIN THE CORPORATE LIMITS OF THE CITY OF BARTLETT, TENNESSEE; SAID PLAT OR MAP IS A TRUE AND CORRECT PLAT OR MAP OF THE LANDS EMBRACED THEREIN, SHOWING THE SUBDIVISION THEREOF IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF BARTLETT, TENNESSEE; I FURTHER CERTIFY THAT THE SURVEY OF THE LANDS EMBRACED WITHIN SAID PLAT OR MAP HAS BEEN CORRECTLY MONUMENTED IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF BARTLETT, TENNESSEE.

IN WITNESS WHEREOF, I, THE SAID \_\_\_\_\_, LAND SURVEYOR, HEREUNTO SET MY HAND AND AFFIX MY SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_\_.

\_\_\_\_\_  
[SURVEYOR]  
TENNESSEE CERTIFICATE NUMBER

BOARD OF MAYOR AND ALDERMAN CERTIFICATE

I, \_\_\_\_\_, DO HEREBY CERTIFY THAT ALL REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED, OR THAT A PERFORMANCE BOND OR OTHER COLLATERAL IN SUFFICIENT AMOUNT TO ASSURE COMPLETION OF ALL REQUIRED IMPROVEMENTS HAS BEEN POSTED FOR THE SUBDIVISION SHOWN ON THIS PLAT, AND HEREBY APPROVED BY THE CITY OF BARTLETT, TENNESSEE.

\_\_\_\_\_  
MAYOR, CITY OF BARTLETT  
DATE

PLANNING COMMISSION CERTIFICATE

I, \_\_\_\_\_, DO HEREBY CERTIFY THAT THE CITY OF BARTLETT PLANNING COMMISSION HAS APPROVED THIS PLAT OF SUBDIVISION FOR RECORDING.

\_\_\_\_\_  
SECRETARY, BARTLETT PLANNING COMMISSION  
DATE

OWNERS CERTIFICATE

WE, THE UNDERSIGNED, \_\_\_\_\_, OWNERS OF THE PROPERTY SHOWN HEREON, HEREBY ADOPT THIS PLAT AS OUR PLAN OF DEVELOPMENT AND DEDICATE THE STREETS, RIGHTS-OF-WAY, AND GRANT THE EASEMENTS AS SHOWN AND/OR DESCRIBED TO THE PUBLIC USE FOREVER. WE CERTIFY THAT WE ARE THE OWNERS OF SAID PROPERTY IN FEE SIMPLE, DULY AUTHORIZED SO TO ACT; AND THAT SAID PROPERTY IS NOT ENCUMBERED BY ANY TAXES WHICH HAVE BECOME DUE AND PAYABLE.

\_\_\_\_\_  
SIGNATURE  
DATE

NOTARY CERTIFICATE

STATE OF \_\_\_\_\_  
COUNTY OF \_\_\_\_\_

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID STATE AND COUNTY, DULY COMMISSIONED AND QUALIFIED, PERSONALLY APPEARED \_\_\_\_\_, WITH WHOM I AM PERSONALLY ACQUAINTED AND WHO UPON HIS OATH ACKNOWLEDGED HIMSELF TO BE \_\_\_\_\_ OF \_\_\_\_\_, OWNER OF THE PROPERTY, THE WITHIN NAMED BARGAINER, AND THAT HE EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSE THEREIN CONTAINED.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY NOTARIAL SEAL AT MY OFFICE IN \_\_\_\_\_, WITNESS MY HAND AND NOTARIAL SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

NOTARY PUBLIC \_\_\_\_\_

MY COMMISSION EXPIRES \_\_\_\_\_

MORTGAGEE CERTIFICATE

WE, \_\_\_\_\_, THE UNDERSIGNED MORTGAGEE OF THE PROPERTY SHOWN HEREON, HEREBY CONSENT AND AGREE TO THE PLAN OF DEVELOPMENT AS SUBMITTED BY \_\_\_\_\_, OWNER(S) OF THE PROPERTY.

\_\_\_\_\_  
SIGNATURE  
DATE

\_\_\_\_\_  
SIGNATURE  
DATE

NOTARY CERTIFICATE

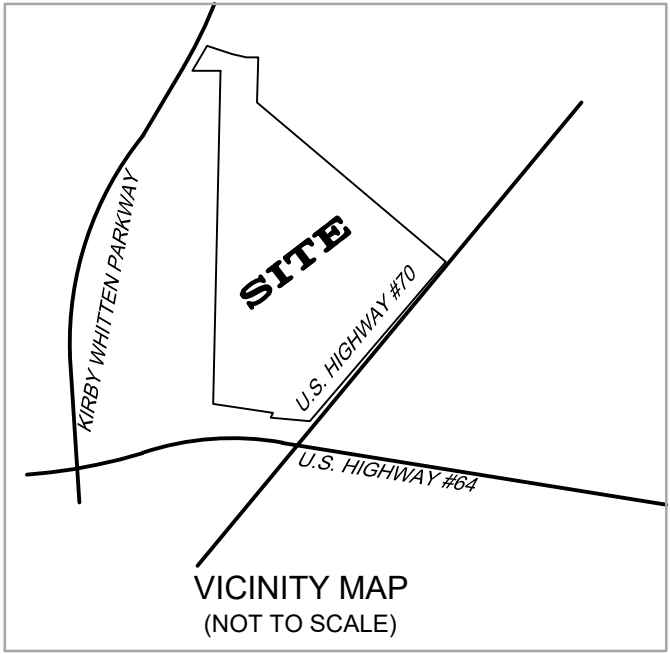
STATE OF \_\_\_\_\_  
COUNTY OF \_\_\_\_\_

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID STATE AND COUNTY, DULY COMMISSIONED AND QUALIFIED, PERSONALLY APPEARED \_\_\_\_\_, WITH WHOM I AM PERSONALLY ACQUAINTED AND WHO, UPON OATH, ACKNOWLEDGED HIMSELF/HERSELF TO BE \_\_\_\_\_ OF \_\_\_\_\_, THE MORTGAGEE OF THE PROJECT NAMED HEREON, AND HE/SHE AS SUCH REPRESENTATIVE EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSE THEREIN CONTAINED BY SIGNING HIS/HER NAME AS REPRESENTATIVE OF THE MORTGAGEE.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY NOTARIAL SEAL AT MY OFFICE IN \_\_\_\_\_, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

NOTARY PUBLIC \_\_\_\_\_

MY COMMISSION EXPIRES \_\_\_\_\_



7975 STAGE HILLS BOULEVARD, SUITE 1  
MEMPHIS, TENNESSEE 38133  
901.377.9984 office  
901.365.1813 fax  
www.efiglobal.com

PRELIMINARY PLAT - PHASE 3

UNION DEPOT PD

|                                                                           |                             |                                |  |
|---------------------------------------------------------------------------|-----------------------------|--------------------------------|--|
| CASE NUMBER:                                                              |                             | FORMER CASE NO:                |  |
| BARTLETT, TN                                                              |                             |                                |  |
| NUMBER OF LOTS: 1 LOT                                                     | ACREAGE: 2.792 AC.          | PARCEL ID: PART OF B0157 00802 |  |
| DEVELOPER: BLUE SKY COMMUNITIES, INC.<br>177 CRESENT DR. COLLIERVILLE, TN |                             | ENGINEER: EFI GLOBAL           |  |
| 100-YEAR FLOOD ELEV: 269-273                                              | FEMA MAP PANEL: 47157C0304G | MAP DATE: 02/06/2013           |  |
| DECEMBER 30, 2024                                                         | SCALE: NTS                  | SHEET 2 OF 2                   |  |



## PC Site Plan Application

Date: 01/06/2025

### Project Information

Property Address: 6896 Highway 70  
Project Name:

Present Zoning: Planned Development  
# of Lots: 1

Description: Mixed Use (Retail/Multi-Family)

### Applicant / Owner

Applicant Name: Roy Lamica  
Company Name: EFI Global  
Address: 7975 Stage Hills Blvd, Suite 1  
City, State, Zip: Bartlett, TN 38133  
Phone: 9013551347  
Email: roy.lamica@efiglobal.com

Owner Name: Blue Sky Communities, Inc.  
Company Name:  
Address: 177 Crescent Drive  
City, State, Zip: Collierville, TN 38017  
Phone: 9018540525  
Email:

### Architect / Engineer

Architect Contact: Reid Cullers  
Company Name: Shapiro & Company  
Architects  
Address: 435 Madison Avenue, Suite  
200  
City, State, Zip: Memphis, TN 38103  
Phone: 9016859001  
Email: rcullers@shapiroandco.com

Architect Contact: Roy Lamica  
Company Name: EFI Global  
Address: 7975 Stage Hills Blvd, Suite 1  
City, State, Zip: Bartlett, TN 38133  
Phone: 9013551347  
Email: roy.lamica@efiglobal.com

I do hereby certify that the information contained herein is true and correct.

Roy Lamica  
\_\_\_\_\_  
Name

01/06/2025  
\_\_\_\_\_  
Date

## Planning Commission Site Plan Checklist

The site plan package shall include the information below, with dimensions as necessary to show compliance with the Zoning Ordinance and to locate required features:

- ☒ a. The proposed development's name and location, the name(s) and address(es) of the owner(s), and the name of the designer of the site plan.
- ☒ b. A site location (vicinity) map.
- ☒ c. Date, north point and *graphic* scale. Draw to scale on sheets **no larger than 24" x 36"**. Scale shall be no smaller than 1" = 100' and large enough to show required detail clearly and distinctly. Use an engineer's scale. An architect's scale may be used for building elevations.
- ☒ d. The locations of existing and platted property lines and any existing streets, buildings, easements, etc.
- ☒ e. The locations and dimensions of proposed streets, buildings, easements, lot lines and other site plan features.
- ☒ f. The proposed types of uses and their locations, height of buildings, arrangement, lot coverage, yards and open spaces.
- ☒ g. A grading and drainage plan that has provisions for detention. Also, provide flood hazard details when applicable.
- ☒ h. Floor area of proposed buildings or building additions (each floor, in square feet).
- ☒ i. Proposed off-street parking with parking spaces shown and dimensioned.
- ☒ j. Landscaping and screening plan, evidence of compliance with required landscaping.
- ☒ k. Table on the landscape plan showing compliance with the Tree Ordinance.
- ☒ l. Other information as may be required by the Planning Commission.
- ☐ m. A tree survey by a certified arborist is required if there are trees larger than 6" in diameter on the site.
- ☒ n. A tree protection plan that is signed by a surveyor and arborist showing trees to be removed and saved is required.
- ☒ o. Erosion control plan.
- ☒ p. Location of sewer and water services and water meter sizes.
- ☒ q. The applicant must provide one PDF file of the pictorial portion of the site plan (and also one of any separate landscaping plan), for display at the Planning Commission meeting.

**Plans shall be sealed, signed and dated by an engineer that is registered in the State of Tennessee**

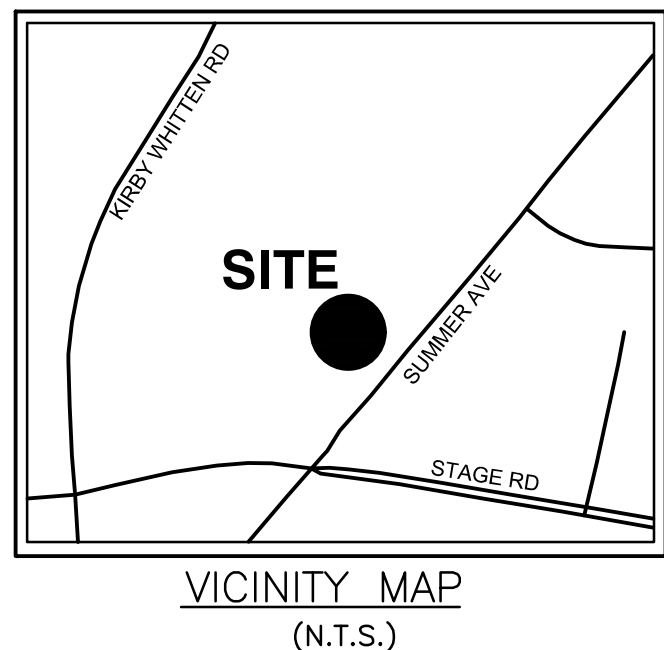
**Without Contract:** Include a fee of \$400.00 with this application (check payable to the City of Bartlett).

**With Contract:** Include a fee of \$500.00 with this application (check payable to the City of Bartlett).

**The fee is non-refundable. Approval may be granted to the entire development for construction purposes, or approval may be granted by stages. Any unauthorized deviation from the approved Site Plan shall constitute a violation of the Building Permit. If the site is subject to the Subdivision process, all requirements of the Subdivision Ordinance must be met.**

**INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED**





1. UTILITY DISCLAIMER: LOCATION OF EXISTING ABOVE GROUND AND UNDERGROUND UTILITIES AND STRUCTURES INDICATED ARE APPROXIMATE ONLY, AND THOSE INDICATED ARE NOT NECESSARILY ALL WHICH MAY EXIST ON THE PROJECT SITE. CONTRACTOR SHALL DETERMINE ACTUAL LOCATIONS OF ALL UTILITIES AND STRUCTURES ON THE PROJECT SITE, WHETHER THEY ARE INDICATED OR NOT. CONTRACTOR SHALL ASSUME THE RESPONSIBILITY FOR ANY DAMAGE TO THE UTILITY LINES, WHETHER SHOWN ON THE CONSTRUCTION PLANS OR NOT, DURING WORK ON THE PROJECT.
2. FOR UNDERGROUND UTILITY LOCATIONS CALL TENNESSEE ONE CALL.
3. FIELD VERIFY EXISTING GRADES AND COMPARE WITH PLAN ON THIS SHEET. REPORT ALL DISCREPANCIES TO THE ARCHITECT/ENGINEER PRIOR TO STARTING CONSTRUCTION OPERATIONS.
4. ALL EDGES OF CONCRETE AND ASPHALT TO BE REMOVED SHALL BE SAWCUT ON NEAT LINES.
5. CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY ON ANY ADJUSTMENTS TO UTILITY BOXES OR VALVES.
6. ANY DAMAGE TO EXISTING SITE FEATURES, DURING CONSTRUCTION ACTIVITIES, NOT SHOWN TO BE REMOVED SHALL BE REPLACED AT THE DIRECTION OF THE ENGINEER AT THE EXPENSE OF THE CONTRACTOR.

| Curve Table |        |            |               |              |
|-------------|--------|------------|---------------|--------------|
| CURVE       | RADIUS | ARC LENGTH | CHORD BEARING | CHORD LENGTH |
| C5          | 74.50' | 47.30'     | S17° 55' 01"E | 46.51'       |
| C6          | 74.50' | 61.13'     | S18° 34' 37"W | 59.43'       |
| C1          | 14.50' | 11.39'     | S25° 25' 03"E | 11.10'       |
| C2          | 4.50'  | 8.25'      | N49° 34' 57"E | 7.14'        |
| C3          | 14.50' | 10.58'     | S57° 00' 42"E | 10.35'       |
| C4          | 57.50' | 5.22'      | S02° 19' 45"E | 5.22'        |



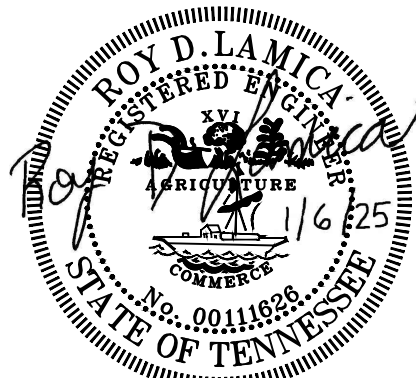
THIS IS TO CERTIFY THAT THIS PROPERTY (THE SUBJECT PROPERTY SURVEYED) IS NOT WITHIN THE LIMITS OF A DESIGNATED 'SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD'. THE SUBJECT PROPERTY, BY GRAPHICAL REPRESENTATION ONLY, LIES WITHIN ZONE X DEFINED AS BEING, 'AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN' PER FEMA FIRM MAP NUMBER 471570C0304Q DATED FEBRUARY 6, 2013. BASED UPON OUR INTERPRETATION OF THE LOCATION OF THE FLOOD HAZARD BOUNDARY LIMITS IN RELATION TO THE PROPERTY LINES. NO SURVEYING OR ENGINEERING WAS PERFORMED FOR THIS SURVEY TO DETERMINE FEMA FLOOD LIMITS. 100 YEAR FLOOD ELEV. 2674'

| REVISION |                       |               |
|----------|-----------------------|---------------|
| ITEM NO. | DESCRIPTION of CHANGE | APPROVAL DATE |
|          |                       |               |
|          |                       |               |
|          |                       |               |



7975 Stage Hills Blvd, Suite 1  
 Telephone: 901.377.9984  
[www.efiglobal.com](http://www.efiglobal.com)

Memphis, Tennessee 38133



20' 0 20' 40'

SCALE 1" = 20'

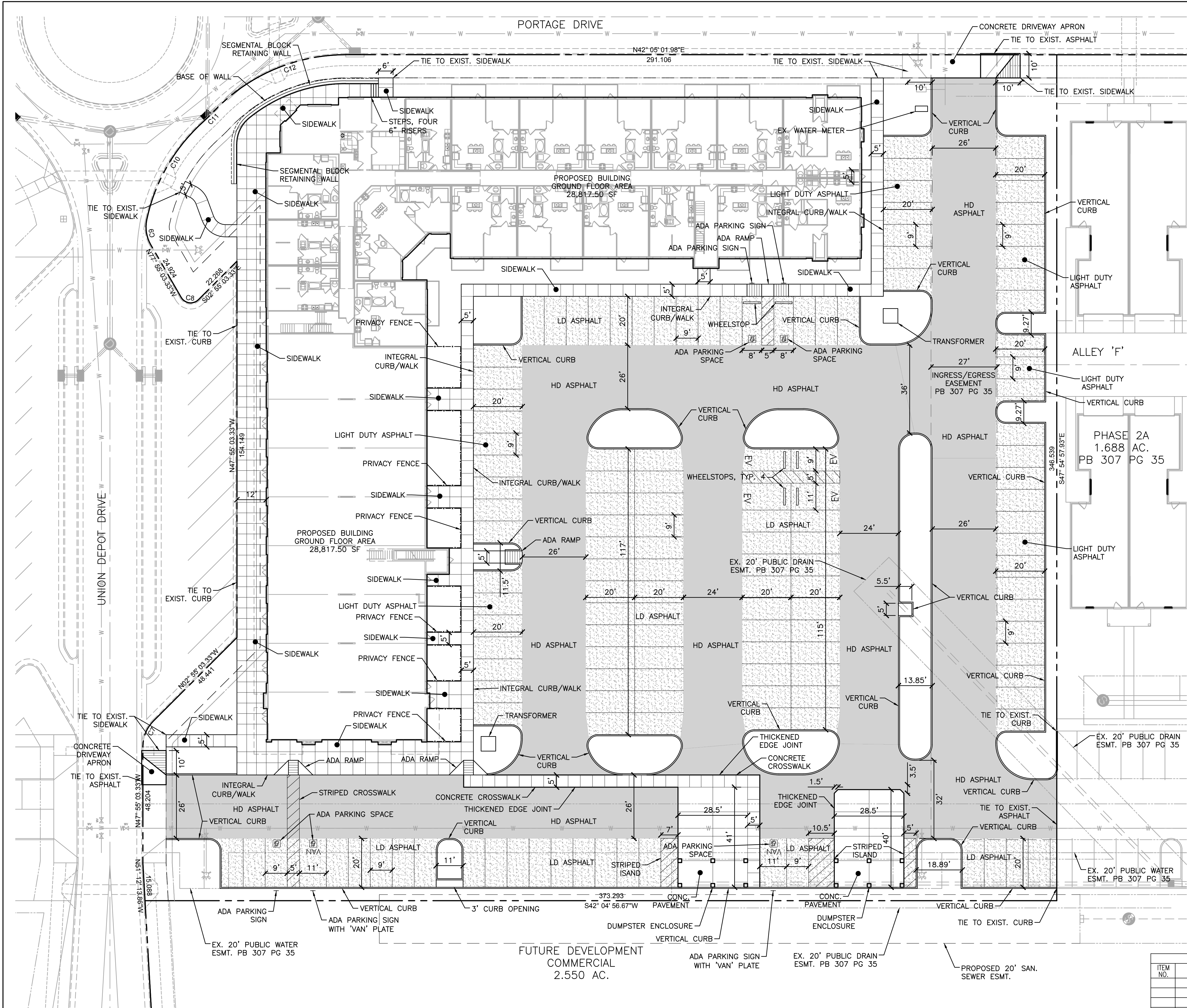
SHEET 1 of 1

CITY OF BARTLETT DIVISION OF ENGINEERING  
EXISTING CONDITIONS & DEMO PLAN  
LOCATION: SUMMER AVENUE  
BARTLETT, TENNESSEE

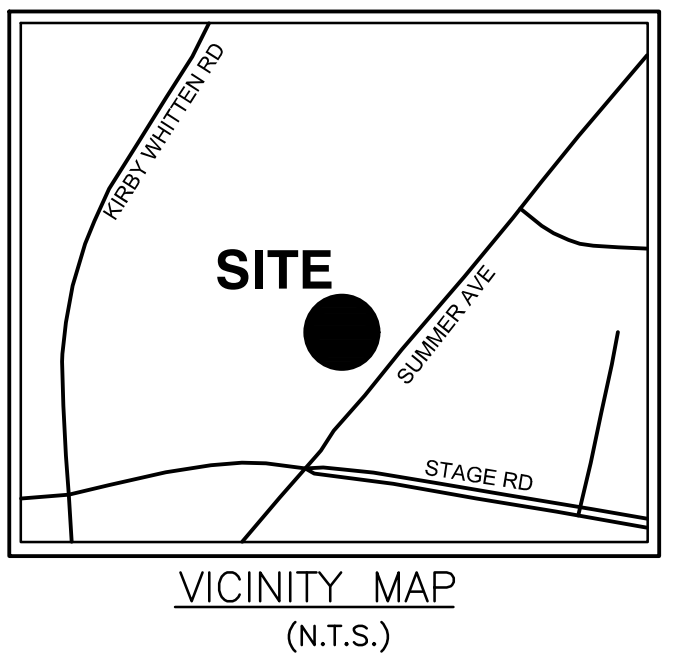
SURVEY \_\_\_\_\_ DATE \_\_\_\_\_ BOOK \_\_\_\_\_  
DESIGN BY: EFI GLOBAL DATE 01.06.25 SCALE AS NOTED  
REVIEWED \_\_\_\_\_  
DEPUTY CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_ CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

NOT FOR CONSTRUCTION

UNION DEPOT P.D. PHASE 3  
DEVELOPER: UNION DEPOT, LLC  
ENGINEER: EFI GLOBAL



| PRELIMINARY OR FINAL (as applicable)                                        |                                           |                                |
|-----------------------------------------------------------------------------|-------------------------------------------|--------------------------------|
| SITE DATA                                                                   |                                           |                                |
| PROJECT NAME:                                                               | Union Depot Phase 3                       |                                |
| Preliminary/Final Site Plan:                                                | Union Depot PD                            |                                |
| SUBDIVISION (include phase/section):                                        | LOT NUMBER:                               |                                |
| ADDRESS:                                                                    | Summer Avenue                             |                                |
| CITY, COUNTY, STATE:                                                        | Bartlett, Shelby County, TN               |                                |
| MAP, GROUP, PARCEL NUMBER:                                                  | 80157 00961                               |                                |
| EXISTING ZONING AND APPLICABLE OVERLAYS:                                    | Planned Development                       |                                |
| ACREAGE OF SITE:                                                            | 2.792 Acres                               | Provided                       |
| MINIMUM REQUIRED SETBACK LINES:                                             | Minimum Required                          | Provided                       |
| Yard fronting on any street:                                                | 12 feet, from ROW                         |                                |
| Side yard:                                                                  | 5 feet                                    |                                |
| Rear yard:                                                                  | 5 feet                                    |                                |
| OWNERSHIP:                                                                  | Blue Sky Communities, Inc.                |                                |
| Address:                                                                    | 177 Crest Drive, Collierville, TN         |                                |
| Phone No.:                                                                  |                                           |                                |
| Fax No.:                                                                    |                                           |                                |
| E-mail address:                                                             |                                           |                                |
| Contact Name:                                                               |                                           |                                |
| APPLICANT/DESIGN PROFESSIONAL:                                              | EFI Global                                |                                |
| Address:                                                                    | 7975 Stage Hills Blvd, Ste 1, Memphis, TN |                                |
| Phone No.:                                                                  | 901-355-1347                              |                                |
| Fax No.:                                                                    |                                           |                                |
| E-mail address:                                                             | Roy.Lamica@efiglobal.com                  |                                |
| Contact Name:                                                               | Roy Lamica, P.E.                          |                                |
| PROPOSED USES (as defined by Zoning Ord or Outline Plan)                    | Mixed Use                                 |                                |
| BUILDING HEIGHT(S) (all buildings):                                         | 50 Feet                                   |                                |
| NONRESIDENTIAL BUILDING SQUARE FOOTAGE (any existing on site and proposed): | 89,608 sq. ft.                            |                                |
| RESIDENTIAL DWELLINGS                                                       | Maximum Density                           | Density and Dwellings Provided |
|                                                                             | Maximum Limit                             | Provided                       |
| FLOOR AREA RATIO (FAR):                                                     | Minimum Required                          | Provided                       |
| OPEN SPACE RATIO (GREENSPACE):                                              | Minimum Required/Maximum Limit            | Provided                       |
| PARKING                                                                     | 135                                       | 137                            |



- NOTES:
- PROPERTY LINES SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. GRADING, CLEARING, AND THE ERECTION OR REMOVAL OF FENCES ALONG PROPERTY LINES SHALL BE FULLY COORDINATED WITH ADJACENT PROPERTY OWNERS.
  - VERIFY SITE CONDITIONS PRIOR TO CONSTRUCTION. NOTIFY THE PROJECT ENGINEER OF ANY VARIATIONS PRIOR TO COMMENCEMENT OF WORK.
  - ALL GRADING WORK SHALL BE PERFORMED IN SUCH A MANNER THAT ADJACENT PROPERTIES ARE NOT DAMAGED OR ADVERSELY AFFECTED.
  - NEWLY CUT OR FILLED EMBANKMENTS SHALL BE SODDED SOLID OR SEEDED, MULCHED, AND STAKED TO ADEQUATELY PREVENT SOIL EROSION.
  - THE LOCATION OF ALL EXISTING UTILITIES SHALL BE VERIFIED PRIOR TO CONSTRUCTION. ALL WORK SHALL BE PERFORMED IN A MANNER TO INSURE THAT EXISTING UTILITIES ARE NOT INTERFERED WITH OR DISRUPTED. FOR UNDERGROUND UTILITY LOCATIONS, CALL 811.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTILITY COMPANIES WHICH MAINTAIN A UTILITY LINE WITHIN THE BOUNDARIES OF THE PROJECT PRIOR TO THE INITIATION OF ANY CONSTRUCTION ON THE PROJECT OR IN THE STREETS BORDERING THE PROJECT. THE CONTRACTOR SHALL ALSO ASSUME THE RESPONSIBILITY FOR ANY DAMAGE TO UTILITY LINES, WHETHER SHOWN ON THE CONSTRUCTION PLANS OR NOT, DURING THE WORK ON THE PROJECT.
  - FILL UNDER THE BUILDING, ROADS AND PAVED AREAS SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY. FILL IN OPEN SPACE/GRASS AREAS SHALL BE COMPACTED TO 90% STANDARD PROCTOR DENSITY. ALL FILL SHALL BE PLACED IN 6" LIFTS COMPACTED.
  - BEFORE WORK BEGINS, CALL THE CITY OF BARTLETT ENGINEERING OFFICE AT 385-6499.
  - ALL CONSTRUCTION MATERIALS SHALL BE PER CITY OF BARTLETT STANDARDS AND SPECIFICATIONS.
  - CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
  - ALL SIGNS AND PAVEMENT MARKINGS SHALL BE PER MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
  - ALL ROAD CONSTRUCTION OR REPAIR WITHIN THE RIGHT-OF-WAY SHALL BE REPAIRED PER THE CITY OF BARTLETT REQUIREMENTS.
  - DIMENSIONS AND RADIUS CALLOUTS ARE REFERENCED TO THE FACE OF CURB.
  - INSTALL 1/2" EXPANSION JOINT WITH SILICONE SEALANT BETWEEN BUILDING AND CONCRETE SIDEWALK OR PAVEMENT. INSTALL 1/2" EXPANSION JOINT WITH SILICONE SEALANT BETWEEN CONCRETE CURB AND ASPHALT PAVEMENT OR CONCRETE SIDEWALK.

THIS IS TO CERTIFY THAT THIS PROPERTY (THE SUBJECT PROPERTY SURVEYED) IS NOT WITHIN THE LIMITS OF A DESIGNATED 'SPECIAL FLOOD HAZARD AREAS' SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD. THE SUBJECT PROPERTY, BY GRAPHICAL REPRESENTATION ONLY, LIES WITHIN ZONE X DEFINED AS BEING, 'AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN' PER FEMA FIRM MAP NUMBER 47157C03046 DATED FEBRUARY 6, 2013. BASED UPON OUR INTERPRETATION OF THE LOCATION OF THE FLOOD HAZARD BOUNDARY LIMITS IN RELATION TO THE PROPERTY LINES. NO SURVEYING OR ENGINEERING WAS PERFORMED FOR THIS SURVEY TO DETERMINE FEMA FLOOD LIMITS. 100 YEAR FLOOD ELEV. 267±



SCALE 1" = 20'

SHEET 1 of 1

CITY OF BARTLETT DIVISION OF ENGINEERING

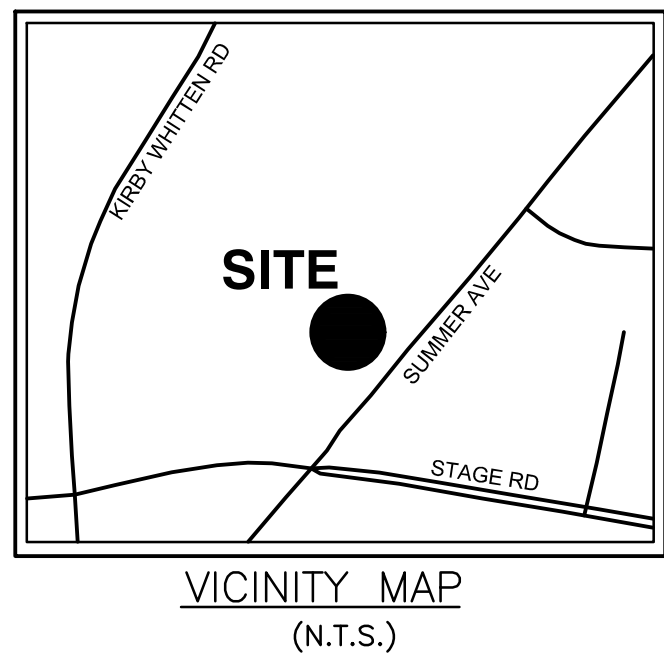
SITE PLAN

LOCATION: SUMMER AVENUE  
BARTLETT, TENNESSEE

SURVEY \_\_\_\_\_ DATE \_\_\_\_\_ BOOK \_\_\_\_\_  
DESIGN BY: EFI GLOBAL DATE 01.06.25 SCALE AS NOTED  
REVIEWED \_\_\_\_\_  
DEPUTY CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_ CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

UNION DEPOT P.D. PHASE 3

DEVELOPER: UNION DEPOT, LLC  
ENGINEER: EFI GLOBAL



1. COORDINATES SHOWN ARE BASED ON TN STATE PLAN (NAD83).

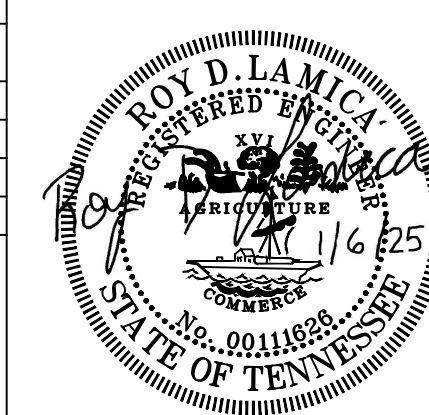
| REVISION |                       |               |
|----------|-----------------------|---------------|
| ITEM NO. | DESCRIPTION of CHANGE | APPROVAL DATE |
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7975 Stage Hills Blvd, Suite 1  
 Memphis, Tennessee 38133

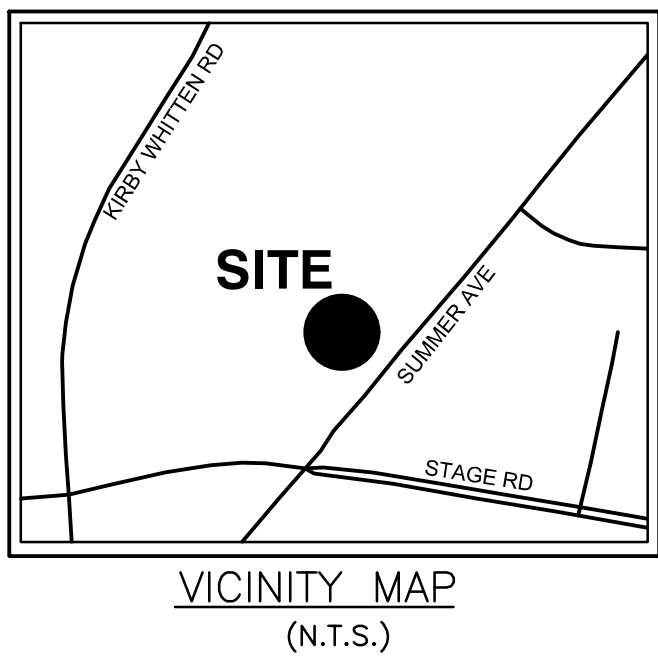
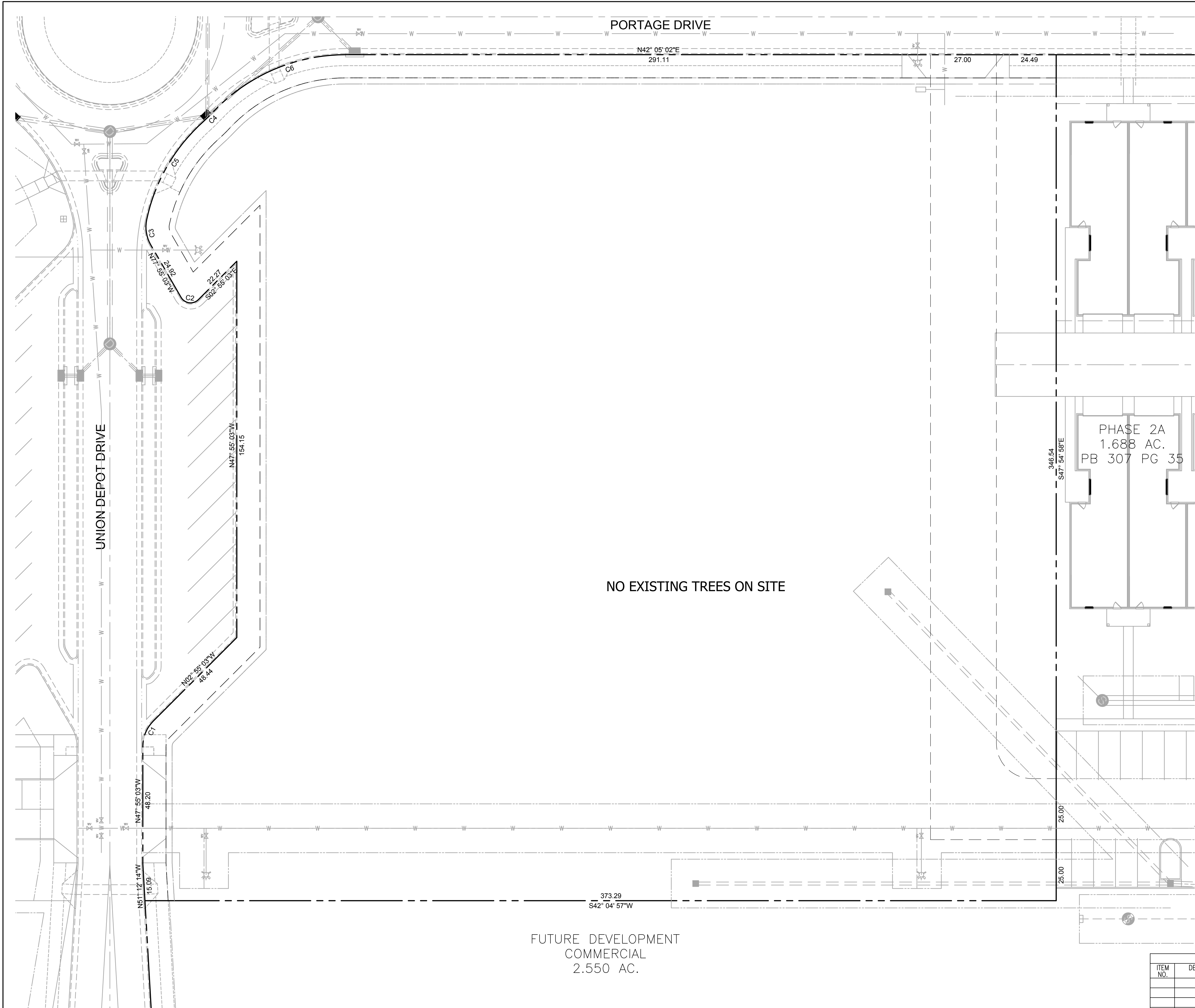
Telephone: 901.377.9984

[www.efiglobal.com](http://www.efiglobal.com)



SURVEY \_\_\_\_\_ DATE \_\_\_\_\_ BOOK \_\_\_\_\_  
 DESIGN BY: EFI GLOBAL DATE 01.06.25 SCALE AS NOTED  
 \_\_\_\_\_ REVIEWED \_\_\_\_\_  
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 DEPUTY CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_ CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

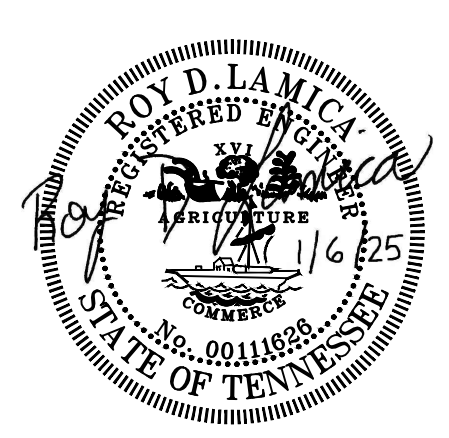
DEVELOPER: UNION DEPOT, LLC  
ENGINEER: EFI GLOBAL



THIS IS TO CERTIFY THAT THIS PROPERTY (THE SUBJECT PROPERTY SURVEYED) IS NOT WITHIN THE LIMITS OF A DESIGNATED 'SPECIAL FLOOD HAZARD AREAS' SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD'. THE SUBJECT PROPERTY, BY GRAPHICAL REPRESENTATION ONLY, LIES WITHIN ZONE X DEFINED AS BEING, "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN" PER FEMA FIRM MAP NUMBER 47157003046 DATED FEBRUARY 6, 2013. BASED UPON OUR INTERPRETATION OF THE LOCATION OF THE FLOOD HAZARD BOUNDARY LIMITS IN RELATION TO THE PROPERTY LINES. NO SURVEYING OR ENGINEERING WAS PERFORMED FOR THIS SURVEY TO DETERMINE FEMA FLOOD LIMITS. 100 YEAR FLOOD ELEV. 267±

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20' 0 20' 40'

SCALE 1" = 20'

SHEET 1 of 1

CITY OF BARTLETT DIVISION OF ENGINEERING

**TREE PROTECTION PLAN**

LOCATION: SUMMER AVENUE  
BARTLETT, TENNESSEE

SURVEY \_\_\_\_\_ DATE \_\_\_\_\_ BOOK \_\_\_\_\_  
DESIGN BY: EFI GLOBAL DATE 01.06.25 SCALE AS NOTED

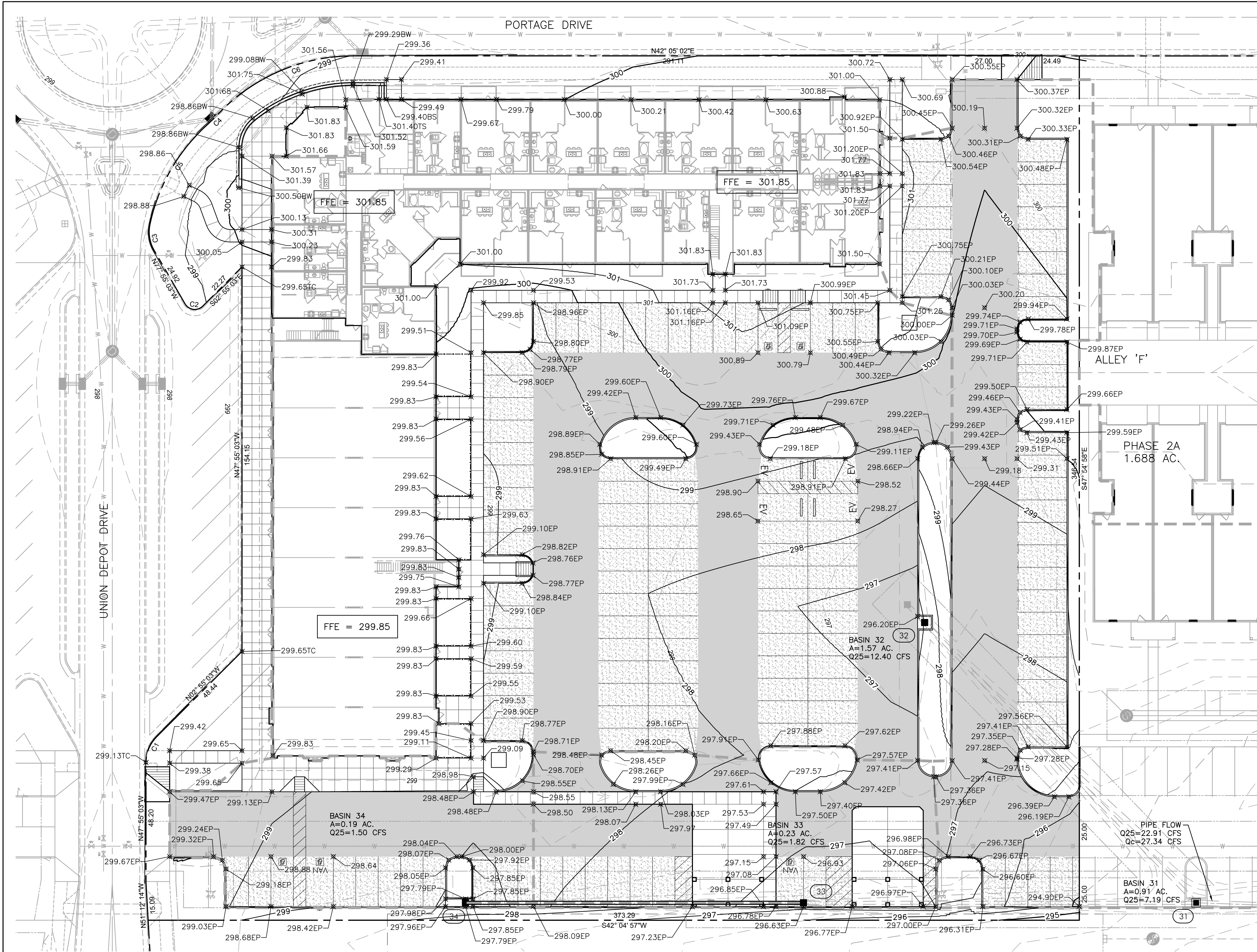
REVIEWED \_\_\_\_\_

DEPUTY CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_ CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

NOT FOR CONSTRUCTION

UNION DEPOT P.D. PHASE 3

DEVELOPER: UNION DEPOT, LLC  
ENGINEER: EFI GLOBAL

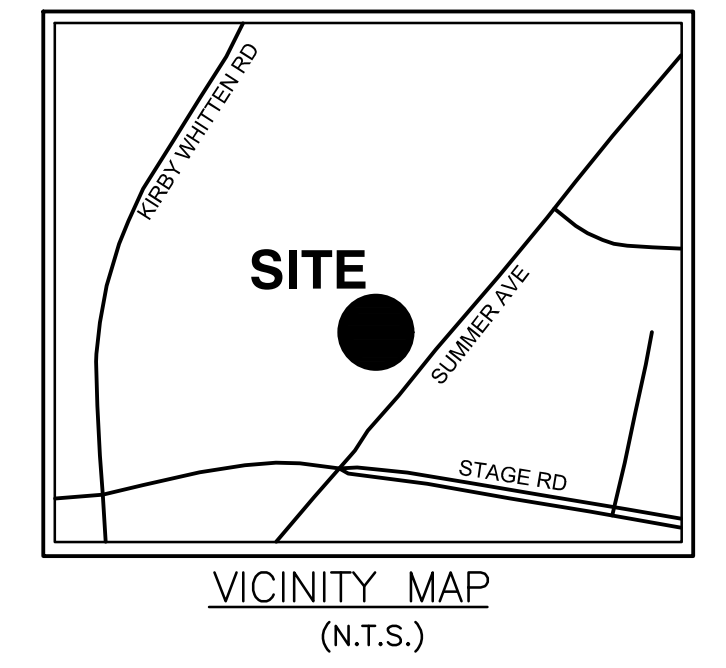


LEGEND

PROPOSED DRAINAGE PIPE

EXISTING CONTOUR

PROPOSED CONTOUR



- NOTES:
1. PROPERTY LINES SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. GRADING, CLEARING, AND THE ERECTION OR REMOVAL OF FENCES ALONG PROPERTY LINES SHALL BE FULLY COORDINATED WITH ADJACENT PROPERTY OWNERS.
  2. VERIFY SITE CONDITIONS PRIOR TO CONSTRUCTION. NOTIFY THE PROJECT ENGINEER OF ANY VARIATIONS PRIOR TO COMMENCEMENT OF WORK.
  3. ALL GRADING WORK SHALL BE PERFORMED IN SUCH A MANNER THAT ADJACENT PROPERTIES ARE NOT DAMAGED OR ADVERSELY AFFECTED.
  4. NEWLY CUT OR FILLED EMBANKMENTS SHALL BE SODDED SOLID OR SEEDED, MULCHED, AND STAKED TO ADEQUATELY PREVENT SOIL EROSION.
  5. THE LOCATION OF ALL EXISTING UTILITIES SHALL BE VERIFIED PRIOR TO CONSTRUCTION. ALL WORK SHALL BE PERFORMED IN A MANNER TO INSURE THAT EXISTING UTILITIES ARE NOT INTERFERED WITH OR DISRUPTED. FOR UNDERGROUND UTILITY LOCATIONS, CALL 811.
  6. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTILITY COMPANIES WHICH MAINTAIN A UTILITY LINE WITHIN THE BOUNDARIES OF THE PROJECT PRIOR TO THE INITIATION OF ANY CONSTRUCTION ON THE PROJECT OR IN THE STREETS BORDERING THE PROJECT. THE CONTRACTOR SHALL ALSO ASSUME THE RESPONSIBILITY FOR ANY DAMAGE TO UTILITY LINES, WHETHER SHOWN ON THE CONSTRUCTION PLANS OR NOT, DURING THE WORK ON THE PROJECT.
  7. FILL UNDER THE BUILDING SHALL BE COMPACTED TO 98% STANDARD PROCTOR DENSITY. FILL UNDER PAVED AREAS SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY. ALL FILL SHALL BE PLACED IN 6" LIFTS COMPACTED.
  8. BEFORE WORK BEGINS, CALL THE CITY OF BARTLETT ENGINEERING OFFICE AT 385-6499.
  9. ALL CONSTRUCTION MATERIALS SHALL BE PER CITY OF BARTLETT STANDARDS AND SPECIFICATIONS.
  10. CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
  11. ALL SPOT ELEVATIONS ALONG CURBS ARE TO BOTTOM OF CURB/GUTTER FLOWLINE UNLESS OTHERWISE NOTED.
  12. ADA PARKING SPACES AND ADJACENT ACCESS AISLES SHALL HAVE A MAXIMUM SLOPE OF 2.0% IN ALL DIRECTIONS.
  13. ALL SIDEWALKS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5.0% AND A MAXIMUM CROSS SLOPE OF 2.0%, UNLESS OTHERWISE NOTED.
  14. ADA RAMPS SHALL HAVE A MAXIMUM SLOPE OF 8.33%.

CERTIFICATE OF ACCURACY OF ENGINEERING AND DESIGN

I, \_\_\_\_\_, a professional Civil Engineer, do hereby certify that the plans shown and described on this Construction Plan regarding engineering and designs governing the construction of this subdivision are true and correct, and conform to the requirements set forth in the Subdivision Regulations and Technical Specifications of the City of Bartlett.

Date \_\_\_\_\_ Professional Engineer  
State of Tennessee  
Certificate No. \_\_\_\_\_

CERTIFICATE OF QUALITY OF CONSTRUCTION

I, \_\_\_\_\_, do hereby certify that I will construct or have constructed the improvements shown on the Construction Plan and guarantee that they meet, or will meet all requirements set forth in the Subdivision Regulations and Technical Specifications of the City of Bartlett subject to the approval of the City Engineer, the State of Tennessee Department of Public Health, the Shelby County Health Department, the Planning Commission, and any other government agency as may be required by the statute or regulations.

Date \_\_\_\_\_ Owner or Developer

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| PROPOSED STORM DRAINAGE STRUCTURES |           |           |                |          |                |                  |                | AS-BUILT STORM DRAINAGE STRUCTURES |          |         |          |                |
|------------------------------------|-----------|-----------|----------------|----------|----------------|------------------|----------------|------------------------------------|----------|---------|----------|----------------|
| NUMBER                             | NORTHING  | EASTING   | STRUCTURE TYPE | RIM ELEV | FLOW LINE ELEV | DRAINAGE AREA AC | Q25 TO STRUCT. | NUMBER                             | NORTHING | EASTING | RIM ELEV | FLOW LINE ELEV |
| 31                                 | 340889.22 | 823746.51 | EXIST. INLET   | 293.87   | 288.50         | 0.91             | 7.19           | 31                                 |          |         |          |                |
| 32                                 | 340883.76 | 823590.19 | NO. 10 SPECIAL | 297.08   | 292.26         | 1.57             | 12.40          | 32                                 |          |         |          |                |
| 33                                 | 340772.40 | 823641.03 | NO. 10 SPECIAL | 296.65   | 292.39         | 0.23             | 1.82           | 33                                 |          |         |          |                |
| 34                                 | 340671.84 | 823550.22 | NO. 10 SPECIAL | 297.79   | 293.79         | 0.19             | 1.50           | 34                                 |          |         |          |                |

| PROPOSED STORM DRAIN PIPES |           |    |           |          |          |          |            |               |                 |                 |               | AS-BUILT STORM DRAIN PIPES |           |    |           |          |          |            |                 |                 |
|----------------------------|-----------|----|-----------|----------|----------|----------|------------|---------------|-----------------|-----------------|---------------|----------------------------|-----------|----|-----------|----------|----------|------------|-----------------|-----------------|
| FROM                       | INV. ELEV | TO | INV. ELEV | DIA., in | MATERIAL | SLOPE, % | LENGTH, ft | GROSS DA, AC. | DESIGN Q25, cfs | CAPACITY Q, cfs | VELOCITY, fps | FROM                       | INV. ELEV | TO | INV. ELEV | DIA., in | SLOPE, % | LENGTH, ft | DESIGN Q10, cfs | CAPACITY Q, cfs |
| 32                         | 292.26    | 31 | 288.50    | 18       | EX. RCP  | 2.40%    | 156.42     | 1.57          | 12.40           | 16.27           | 9.21          | 32                         |           | 31 |           |          |          |            |                 |                 |
| 33                         | 292.39    | 31 | 288.75    | 15       | EX. RCP  | 2.31%    | 157.39     | 0.42          | 3.32            | 9.81            | 8.00          | 33                         |           | 31 |           |          |          |            |                 |                 |
| 34                         | 293.79    | 33 | 292.49    | 15       | RCP      | 0.96%    | 135.50     | 0.19          | 1.50            | 6.33            | 5.16          | 34                         |           | 33 |           |          |          |            |                 |                 |

FUTURE DEVELOPMENT  
COMMERCIAL  
2.550 AC.

DETENTION NOTE:  
STORM WATER DETENTION IS BEING PROVIDED BY  
OVERALL BASIN FOR THE ENTIRE DEVELOPMENT  
CONSTRUCTED IN A PREVIOUS PHASE.

ABBREVIATIONS

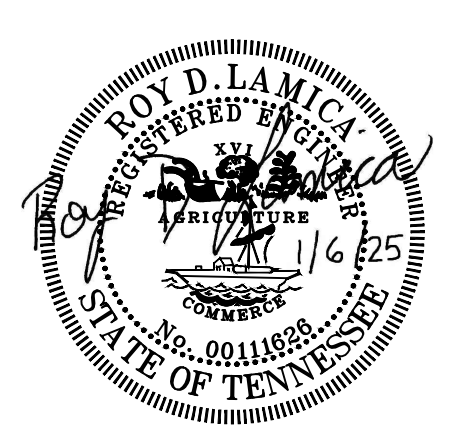
|     |                     |
|-----|---------------------|
| FG  | FINISHED GRADE      |
| FFE | FINISHED FLOOR ELEV |
| TH  | THRESHOLD           |
| TW  | TOP OF WALL         |
| BW  | BOTTOM OF WALL      |
| TC  | TOP OF CURB         |
| EP  | EDGE OF PAVEMENT    |
| FL  | FLOWLINE            |
| RM  | RIM                 |
| HP  | HIGH POINT          |
| LP  | LOW POINT           |
| TS  | TOP OF STAIRS       |
| BS  | BOTTOM OF STAIRS    |

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20' 0 20' 40'

SCALE 1" = 20'

SHEET 1 of 1

CITY OF BARTLETT DIVISION OF ENGINEERING

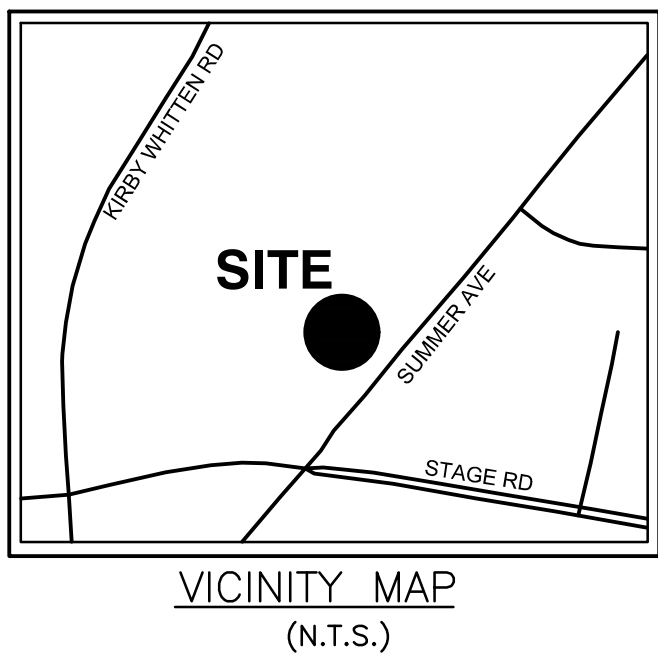
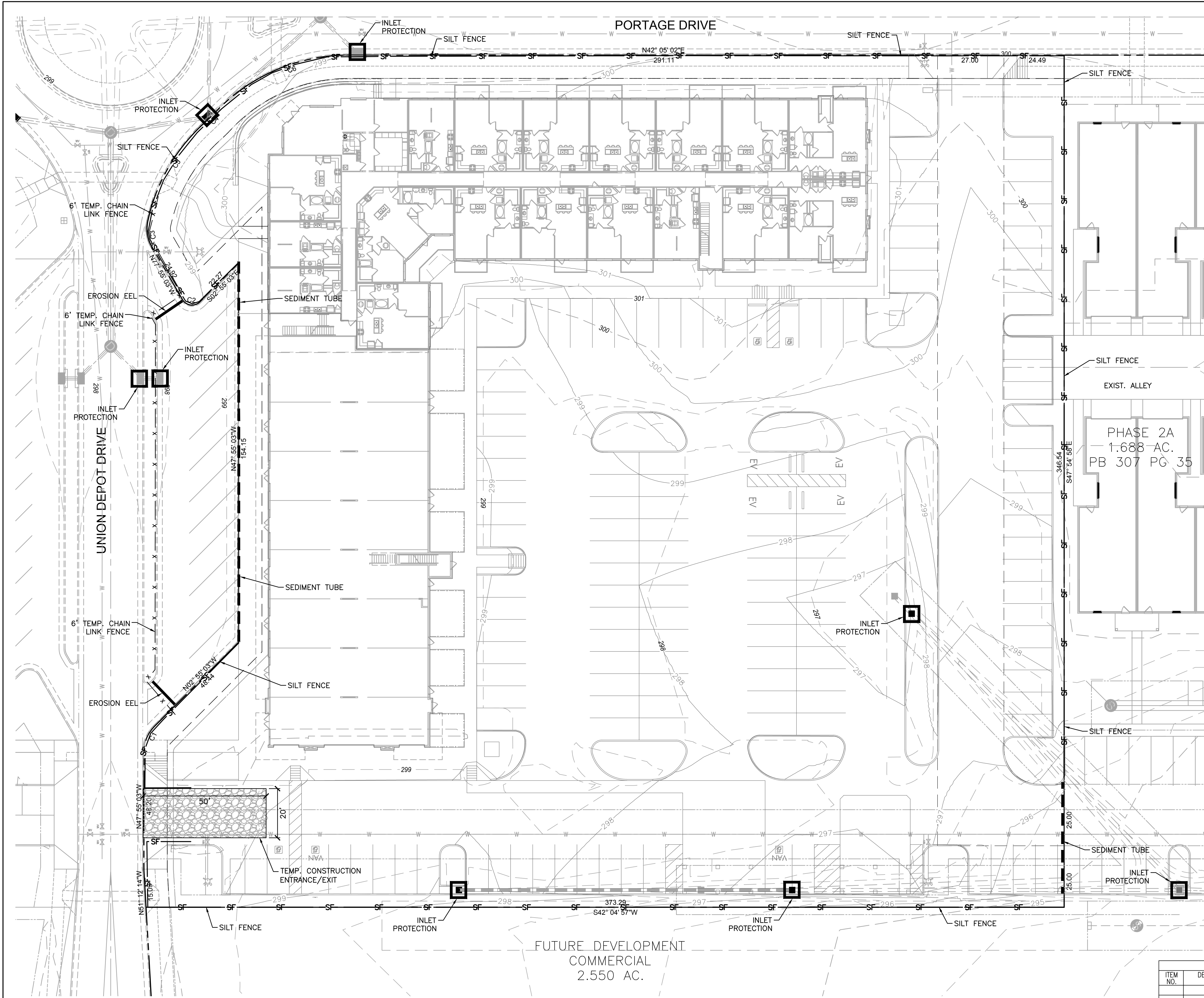
GRADING & DRAINAGE PLAN

LOCATION: SUMMER AVENUE  
BARTLETT, TENNESSEE

SURVEY \_\_\_\_\_ DATE \_\_\_\_\_ BOOK \_\_\_\_\_  
DESIGN BY: EFI GLOBAL DATE 01.06.25 SCALE AS NOTED  
REVIEWED \_\_\_\_\_  
DEPUTY CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_ CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

UNION DEPOT P.D. PHASE 3

DEVELOPER: UNION DEPOT, LLC  
ENGINEER: EFI GLOBAL



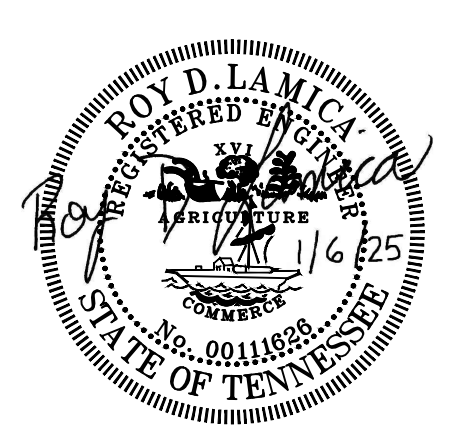
- NOTES:
1. ALL DISTURBED EARTHEN AREAS SHALL BE SODDED OR LANDSCAPED.
  2. EROSION CONTROL MEASURES SHOWN ARE MINIMUM AND DO NOT ACCOUNT FOR THE CONTRACTORS SEQUENCE OF CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR MODIFYING THE EROSION CONTROL MEASURES AS REQUIRED FOR CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL BE REQUIRED TO MAINTAIN EROSION AS REQUIRED BY TDEC.
  3. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION CONTROL INSPECTIONS AND REPORTING AS REQUIRED BY TDEC. TYPICAL INSPECTIONS ARE TWICE A WEEK.
  4. CONTRACTOR SHALL ONLY USE PROPOSED CONSTRUCTION ENTRANCE FOR INGRESS/EGRESS FROM THE SITE.

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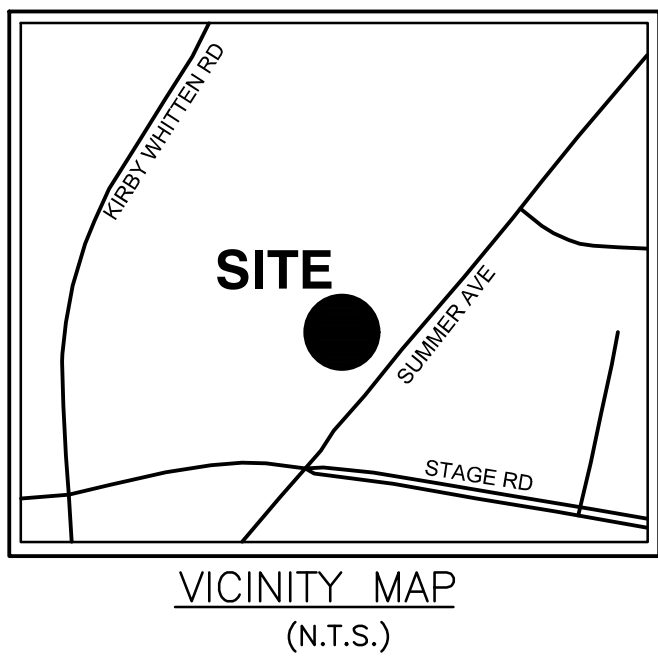
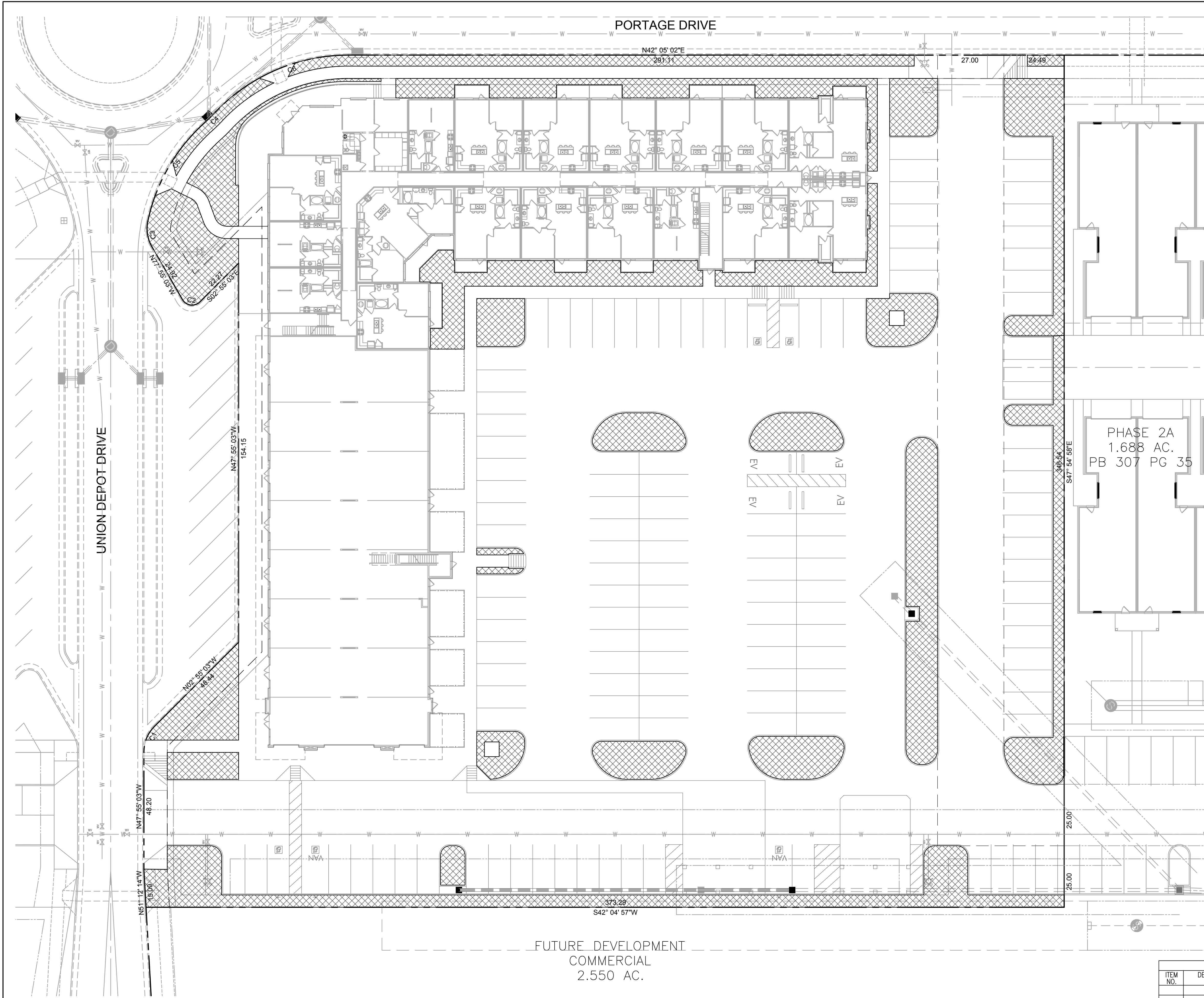


SCALE 1" = 20'  
SHEET 1 of 1  
CITY OF BARTLETT DIVISION OF ENGINEERING  
EROSION CONTROL PLAN-TEMPORARY  
LOCATION: SUMMER AVENUE  
BARTLETT, TENNESSEE

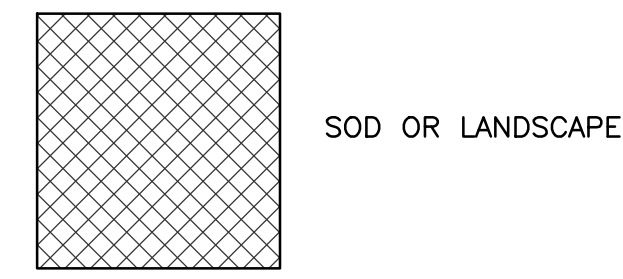
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DEPUTY CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_ CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

NOT FOR CONSTRUCTION

UNION DEPOT P.D. PHASE 3  
DEVELOPER: UNION DEPOT, LLC  
ENGINEER: EFI GLOBAL



- NOTES:
1. ALL DISTURBED EARTHEN AREAS SHALL BE SODDED OR LANDSCAPED. SOD LIMITS SHOWN ARE APPROXIMATE.

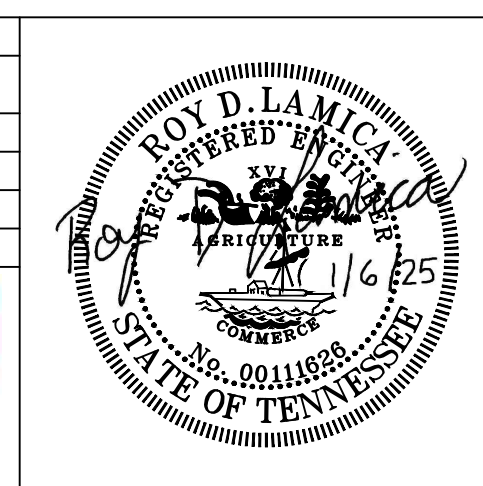


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Memphis, Tennessee 38133



SCALE 1" = 20'

CITY OF BARTLETT DIVISION OF ENGINEERING

**EROSION CONTROL PLAN-PERMANENT**

LOCATION: SUMMER AVENUE  
BARTLETT, TENNESSEE

|                       |               |                    |
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| SURVEY                | DATE          | BOOK               |
| DESIGN BY: EFI GLOBAL | DATE 01.06.25 | SCALE AS NOTED     |
| REVIEWED              |               |                    |
| DEPUTY CITY ENGINEER  | DATE          | CITY ENGINEER DATE |

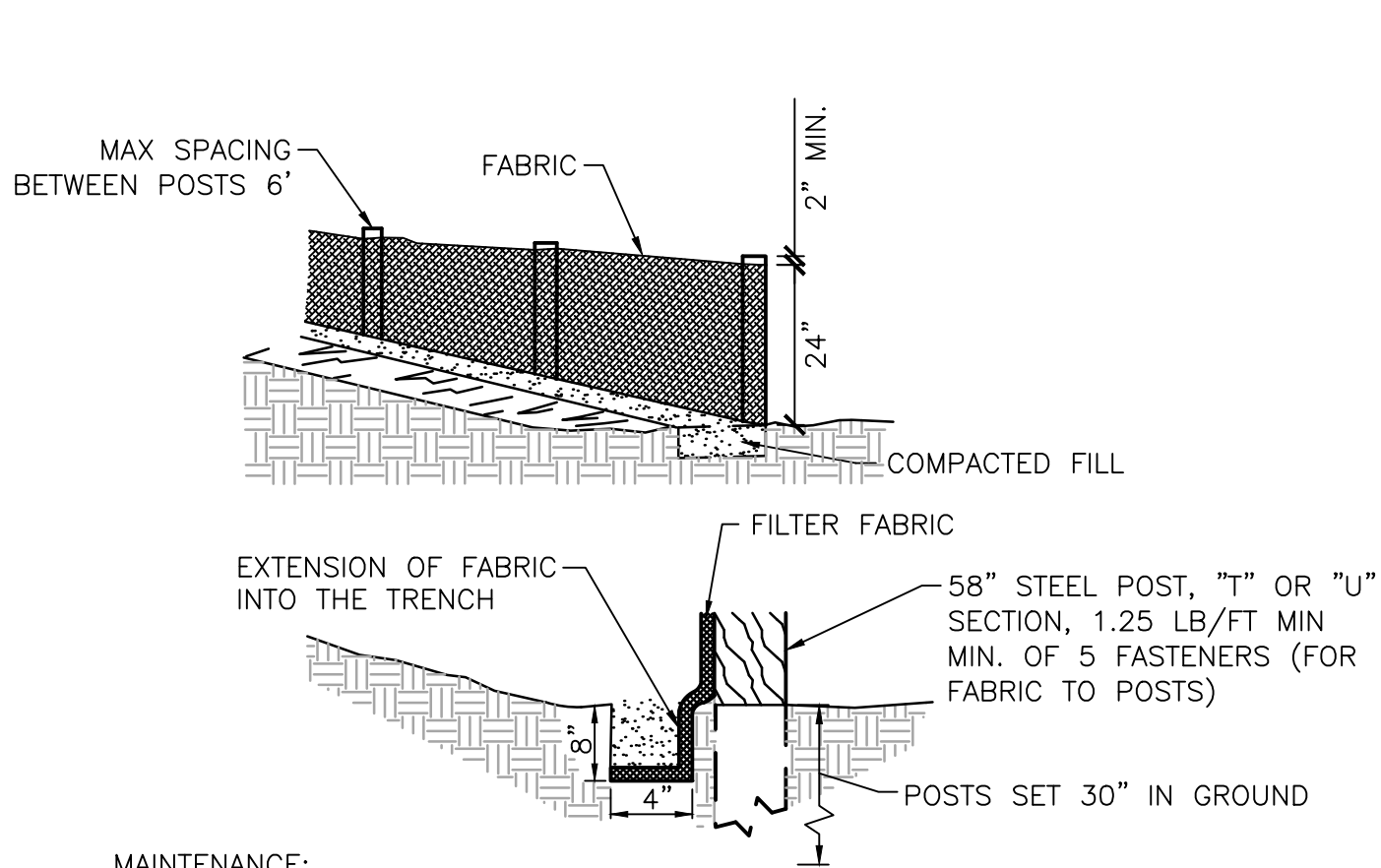
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UNION DEPOT P.D. PHASE 3

DEVELOPER: UNION DEPOT, LLC  
ENGINEER: EFI GLOBAL

EROSION CONTROL NOTES

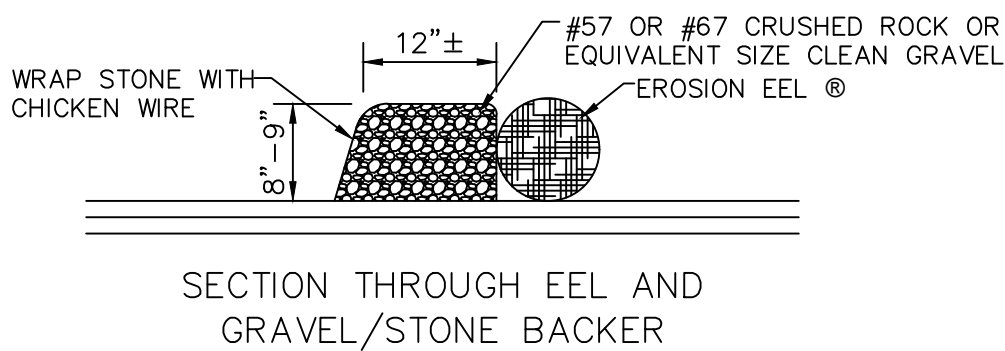
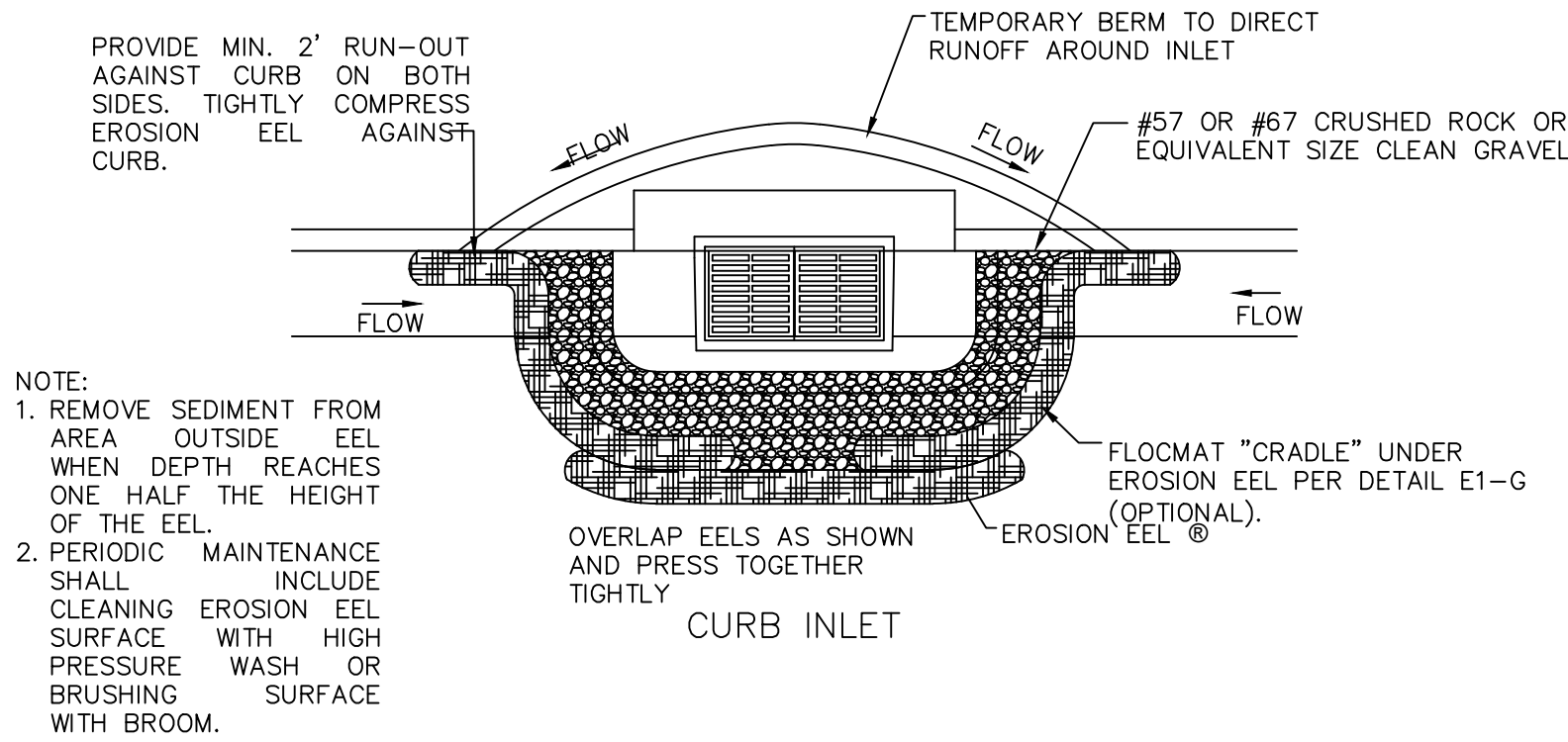
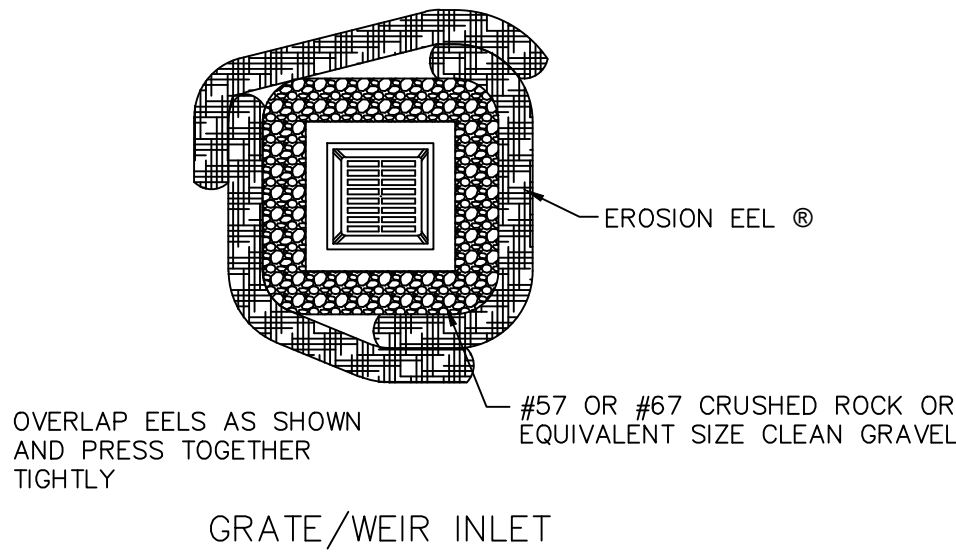
1. THE PURPOSE OF THIS EROSION CONTROL PLAN IS TO PREVENT SILTATION AND OTHER POLLUTANTS, DUE TO CONSTRUCTION, FROM ENTERING ADJACENT STREAMS AND PROPERTY.
2. CLEARING AND GRUBBING IS TO BE HELD TO THE MINIMUM WIDTH NECESSARY TO ACCOMMODATE SLOPES. UNNECESSARY CANOPY REMOVAL (TREES, SHRUBS, ETC.) IS PROHIBITED.
3. MAINTAIN ALL GROUND COVER WHENEVER POSSIBLE. ALL AREAS DISTURBED BY CONSTRUCTION THAT ARE NOT TO RECEIVE PAVING SHALL BE SODDED AS SOON AS POSSIBLE.
4. ALL DITCHES AND FRESH CUTS IN DRAINAGE WAYS SHALL BE STABILIZED WITH SOD WHERE INDICATED ON PLAN.
5. TO REDUCE SEDIMENT IN RUNOFF, EROSION CONTROL MEASURES SHALL BE INSTALLED PROMPTLY DURING ALL CONSTRUCTION PHASES.
6. SEDIMENT TRAPS SHALL BE LOCATED AS NEEDED BY THE ENGINEER.
7. SITE EROSION CONTROLS SHALL BE CHECKED BI-WEEKLY AND AT LEAST 72 HOURS APART AND IF NECESSARY REPAIRED WITHIN 24 HOURS AFTER EACH RAINFALL GREATER THAN 0.5", IN THE EVENT OF CONTINUOUS RAINFALL, EROSION CONTROLS SHALL BE CHECKED DAILY.
8. DURING SEDIMENT REMOVAL, THE CONTRACTOR SHALL TAKE CARE TO ENSURE THAT STRUCTURAL COMPONENTS OF EROSION CONTROL STRUCTURES ARE NOT DAMAGED AND THUS MADE INEFFECTIVE. IF DAMAGE DOES OCCUR, THE CONTRACTOR SHALL REPAIR THE STRUCTURES AT THE CONTRACTOR'S EXPENSE.
9. ALL AREAS TO REMAIN BARE GREATER THAN 14 DAYS MUST BE TEMPORARILY STABILIZED. ALL SLOPES GREATER THAN 3 TO 1 TO REMAIN BARE FOR MORE THAN 7 DAYS MUST BE TEMPORARILY STABILIZED.
10. SEDIMENT REMOVED FROM SEDIMENT CONTROL STRUCTURES IS TO BE PLACED AT A SITE APPROVED BY THE ENGINEER. IT SHALL BE TREATED IN A MANNER SO THAT THE AREA AROUND THE DISPOSAL SITE WILL NOT BE CONTAMINATED OR DAMAGED BY THE SEDIMENT IN RUN-OFF. ALL COST FOR SEDIMENT REMOVAL SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
11. UPON COMPLETE REMOVAL OF SEDIMENT TRAPS, SPECIAL DITCHES, ETC., THE AREA WHERE THEY WERE CONSTRUCTED IS TO BE TOPSOILED, SEEDED, AND MULCHED.
12. ALL STOCKPILES TO BE CONTAINED BY SILT FENCE IN ORDER TO PREVENT SEDIMENT RUNOFF FROM ENTERING NEARBY STREAMS.
13. SHOULDERS AND EXCAVATED AREAS SHALL BE PROMPTLY STABILIZED AGAINST EROSION. SILTATION MEASURES SHALL BE IMPLEMENTED PROMPTLY TO REDUCE THE SEDIMENT IN RUN-OFF FROM THE CONSTRUCTION SITE.
14. EQUIPMENT STAGING AND MAINTENANCE AREAS SHALL BE DEVELOPED A SUFFICIENT DISTANCE FROM STREAMS TO ENSURE THAT OIL, GASOLINE, AND OTHER PETROLEUM POLLUTANTS DO NOT ENTER THE WATERWAYS.
15. FAILURE TO MAINTAIN GOOD EROSION CONTROL MEASURES COULD RESULT IN A CIVIL PENALTY BEING ISSUED TO THE CONTRACTOR. THE PRIMARY PERMITTEE (OWNER/DEVELOPER) IS ULTIMATELY RESPONSIBLE FOR MEETING THE TERMS AND CONDITIONS OF THE CONSTRUCTION GENERAL PERMIT. ALL PERMITTEES, BOTH PRIMARY AND SECONDARY (TYPICALLY THE CONTRACTOR) CAN BE HELD RESPONSIBLE IF THE TERMS AND CONDITIONS OF THE CONSTRUCTION GENERAL PERMIT ARE NOT MET.
16. THE CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL DEVICES IN GENERAL CONFORMANCE TO THE EROSION CONTROL PLAN. THE EROSION CONTROL PLAN IS PROVIDED TO INDICATE MINIMUM EROSION CONTROL MEASURES REQUIRED OF THE CONTRACTOR AND DOES NOT TAKE INTO ACCOUNT THE CONTRACTOR'S SEQUENCE OF CONSTRUCTION. ADDITIONAL EROSION CONTROL MEASURES SHALL BE UNDERTAKEN BY THE CONTRACTOR AS REQUIRED TO MINIMIZE IMPACTS TO ADJACENT PROPERTIES AND THE DRAINAGE SYSTEM DOWNSTREAM OF THE SITE, AT NO ADDITIONAL COST.
17. FOR INLETS IN PAVEMENT, CONTRACTOR SHALL USE WADDLES SURROUNDING THE INLET AND FLEXSTORM "CATCH-IT" BY ADS. SEDIMENT SHALL BE REMOVED FROM BELOW-GRADE CATCH BASIN SEDIMENT TRAP ACCORDING TO MANUFACTURER'S RECOMMENDATIONS AT NO ADDITIONAL COST TO OWNER.
18. CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL REQUIRED PERMITS HAVE BEEN OBTAINED PRIOR TO BEGINNING CONSTRUCTION OR OTHER ACTIVITIES.
19. AN EPSC LEVEL 1 CERTIFIED INDIVIDUAL SHALL BE DESIGNATED TO BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROLS ON EACH PROJECT SITE.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING SOIL EROSION CONTROL MEASURES AS NOTED ON THE PLANS AND AS REQUESTED BY THE OWNER DURING CONSTRUCTION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR SATISFYING THE REQUIREMENTS OF THE STATE OF TENNESSEE DIVISION OF WATER RESOURCES AS SET FORTH IN THE TENNESSEE EROSION & SEDIMENT CONTROL HANDBOOK. ALL SOIL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE CONTRACT SO AS TO PREVENT ANY SEDIMENTATION FROM WASHING OFF THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHTS-OF-WAY. STRAW BALE DAMS AND/OR SEDIMENT FENCE SHALL BE INSTALLED AS DIRECTED. THE CONTRACTOR SHALL MAINTAIN A LOG OF ALL MAINTENANCE ACTIVITIES FOR THE EROSION CONTROL ELEMENTS AS REQUIRED BY THE STATE OF TENNESSEE DIVISION OF WATER RESOURCES.
21. THE FOLLOWING ITEMS MUST BE AVAILABLE ON SITE FOR THE DIVISION OF WATER RESOURCES INSPECTOR ON REQUEST: EROSION CONTROL PLAN, SWPPP, TWICE WEEKLY INSPECTION CERTIFICATION FORMS, AND THE NOTICE OF COVERAGE FOR THE PROJECT.
22. EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE AND FUNCTIONAL BEFORE EARTH MOVING OPERATIONS BEGIN, AND MUST BE CONSTRUCTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. TEMPORARY MEASURES MAY BE REMOVED AT THE BEGINNING OF THE WORK DAY, BUT MUST BE REPLACED AT THE END OF THE WORK DAY OR PRIOR TO RAINFALL EVENTS.
23. ALL CONTROL MEASURES SHALL BE CHECKED AND REPAIRED AS NECESSARY, BI-WEEKLY IN DRY PERIODS AND WITHIN 24 HOURS AFTER ANY RAINFALL OF 0.5 INCHES WITHIN A 24 HOUR PERIOD. DURING PROLONGED RAINFALL, DAILY CHECKING AND REPAIRING IS NECESSARY. THE PERMITTEE SHALL MAINTAIN RECORDS OF CHECKS AND REPAIRS.
24. ALL EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE TDEC "EROSION AND SEDIMENT CONTROL HANDBOOK, 4TH EDITION."
25. THE CONTRACTOR IS RESPONSIBLE FOR MEETING THE REQUIREMENTS OF THIS PLAN AND FOR INSTALLING NEW SILT FENCE AS REQUIRED.
26. ALL STATE/NPDES PERMITS ARE REQUIRED TO HAVE BEEN OBTAINED BEFORE START UP OF ANY CONSTRUCTION ACTIVITIES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION GENERAL PERMIT, ARAP AND ARMY CORPS OF ENGINEERS PERMIT.
27. MUDDY WATER TO BE PUMPED FROM EXCAVATION AND WORK AREAS MUST BE HELD IN SETTLING BASINS OR TREATED BY FILTRATION THROUGH AN APPROVED DEWATERING BAG SET-UP PRIOR TO ITS DISCHARGE OFF-SITE, INTO STORM DRAINS OR SURFACE WATERS. SILT FENCE FABRIC ALONE IS NOT ADEQUATE AS A FILTER. WATER MUST BE DISCHARGED THROUGH A PIPE OR LINED CHANNEL SO THAT THE DISCHARGE DOES NOT CAUSE EROSION AND SEDIMENTATION. THE DISCHARGE MUST NOT CAUSE AN OBJECTIONABLE COLOR CONTRAST WITHIN THE RECEIVING STREAM.



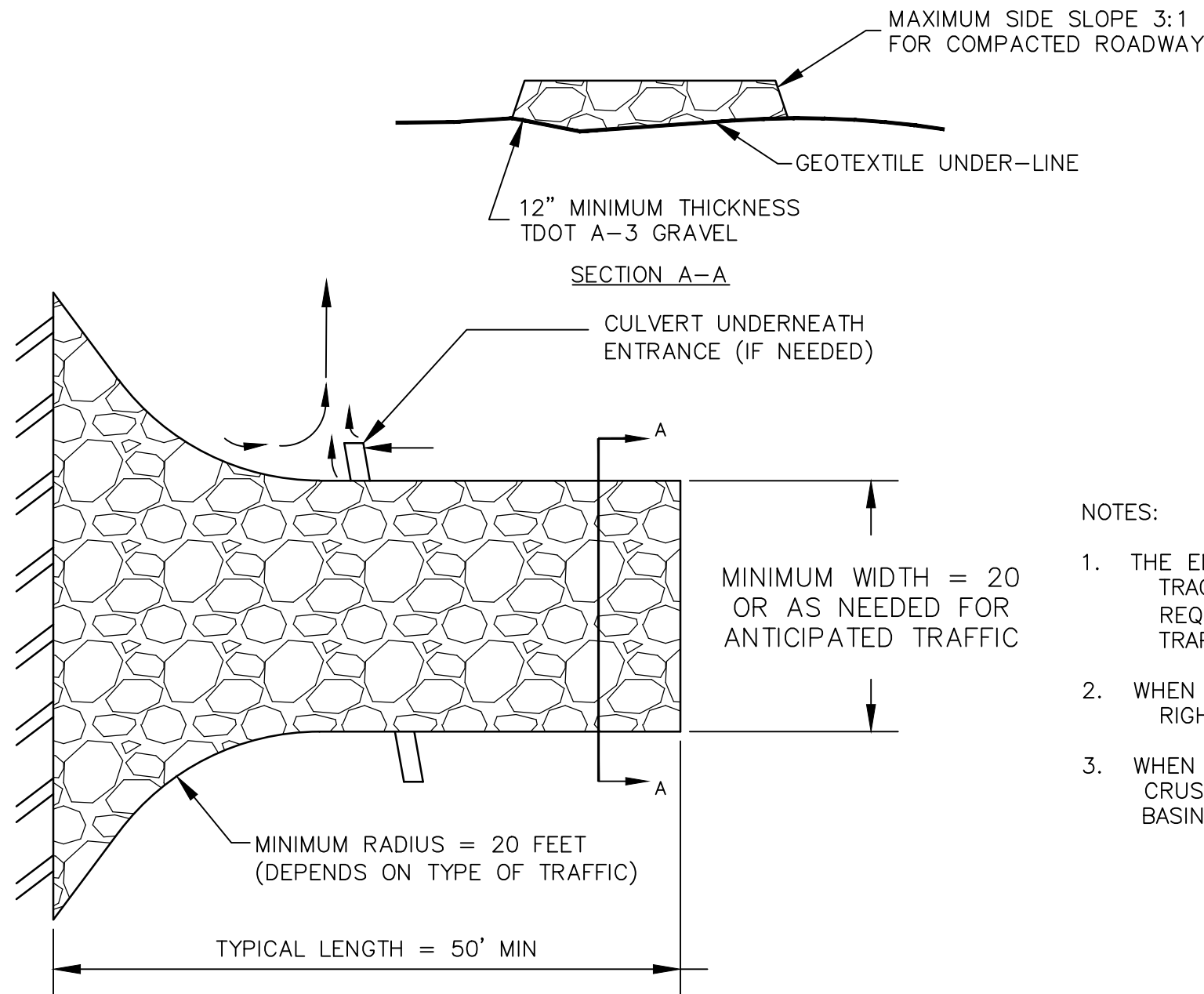
MAINTENANCE:

1. INSPECT SEDIMENT FENCES AT LEAST TWICE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY. SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY. REPLACE BURLAP AS NEEDED.
2. REMOVE SEDIMENT DEPOSITS WHEN THE STORAGE VOLUME HAS BEEN REDUCED BY 50% TO PROVIDE ADEQUATE STORAGE FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT. REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

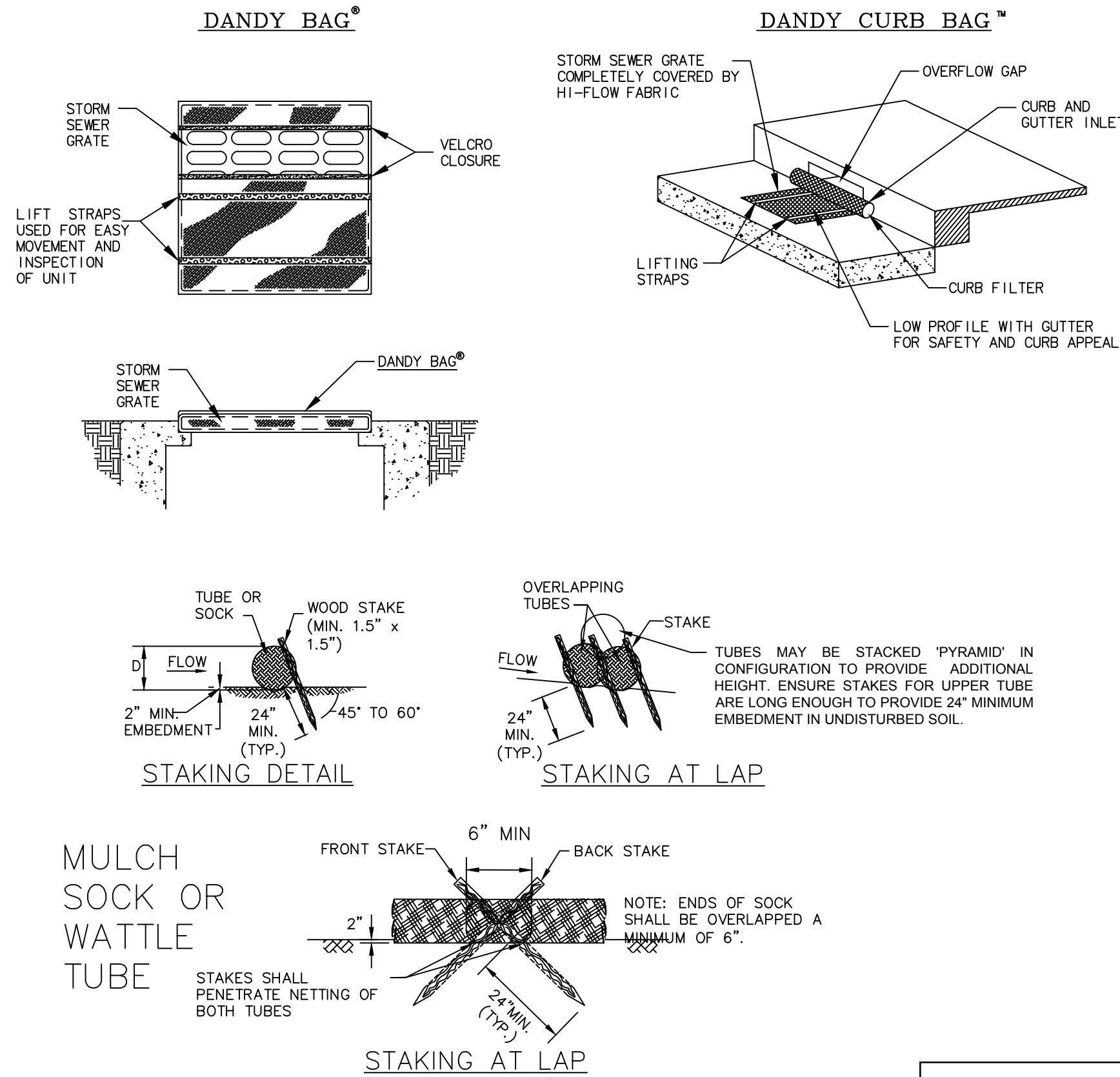
1 TYP. SILT FENCE



EROSION EEL®  
INLET PROTECTION

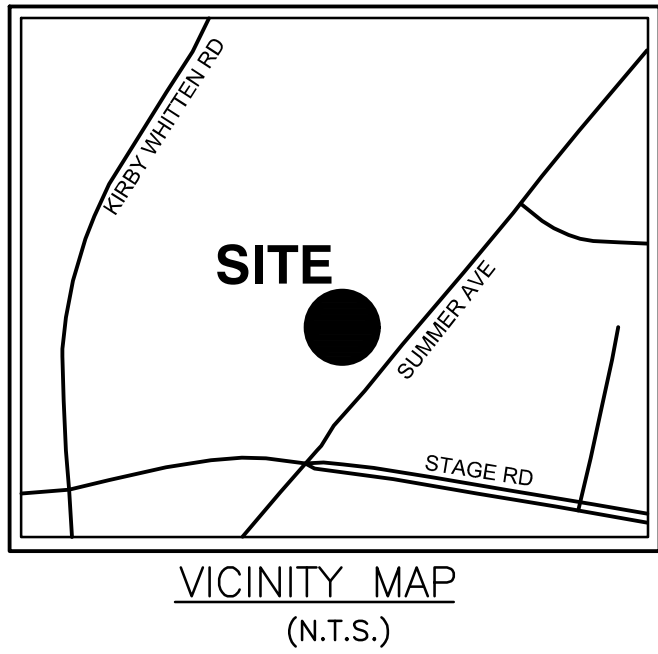


2 TYP. CONSTRUCTION ENTRANCE/EXIT



MULCH  
SOCK OR  
WATTLE  
TUBE

NOTE: WATTLE TUBES MAY BE SUBSTITUTED FOR SILT FENCE WHERE SILT FENCE IS SHOWN ON PLANS UNLESS SPECIFICALLY NOTED OTHERWISE.

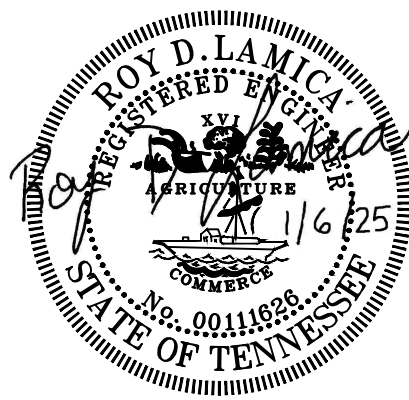


NOTES:

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

THIS IS TO CERTIFY THAT THIS PROPERTY (THE SUBJECT PROPERTY SURVEYED) IS NOT WITHIN THE LIMITS OF A DESIGNATED "SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD". THE SUBJECT PROPERTY, BY GRAPHICAL REPRESENTATION ONLY, LIES WITHIN ZONE X DEFINED AS BEING, "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN" PER FEMA FIRM MAP NUMBER 47157003046 DATED FEBRUARY 6, 2013 BASED UPON OUR INTERPRETATION OF THE LOCATION OF THE FLOOD HAZARD BOUNDARY LIMITS IN RELATION TO THE PROPERTY LINES. NO SURVEYING OR ENGINEERING WAS PERFORMED FOR THIS SURVEY TO DETERMINE FEMA FLOOD LIMITS. 100 YEAR FLOOD ELEV. 267±

| REVISION                                                                                                   |                       |               |
|------------------------------------------------------------------------------------------------------------|-----------------------|---------------|
| ITEM NO.                                                                                                   | DESCRIPTION OF CHANGE | APPROVAL DATE |
|                                                                                                            |                       |               |
|                                                                                                            |                       |               |
|                                                                                                            |                       |               |
|                       |                       |               |
| 7975 Stage Hills Blvd, Suite 1<br>Memphis, Tennessee 38133<br>Telephone: 901.377.9984<br>www.efiglobal.com |                       |               |



SCALE NTS  
SHEET 1 of 1

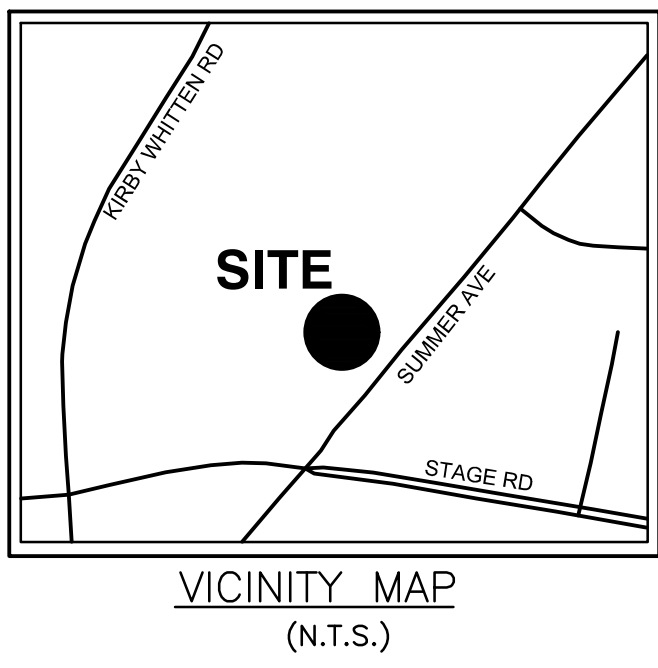
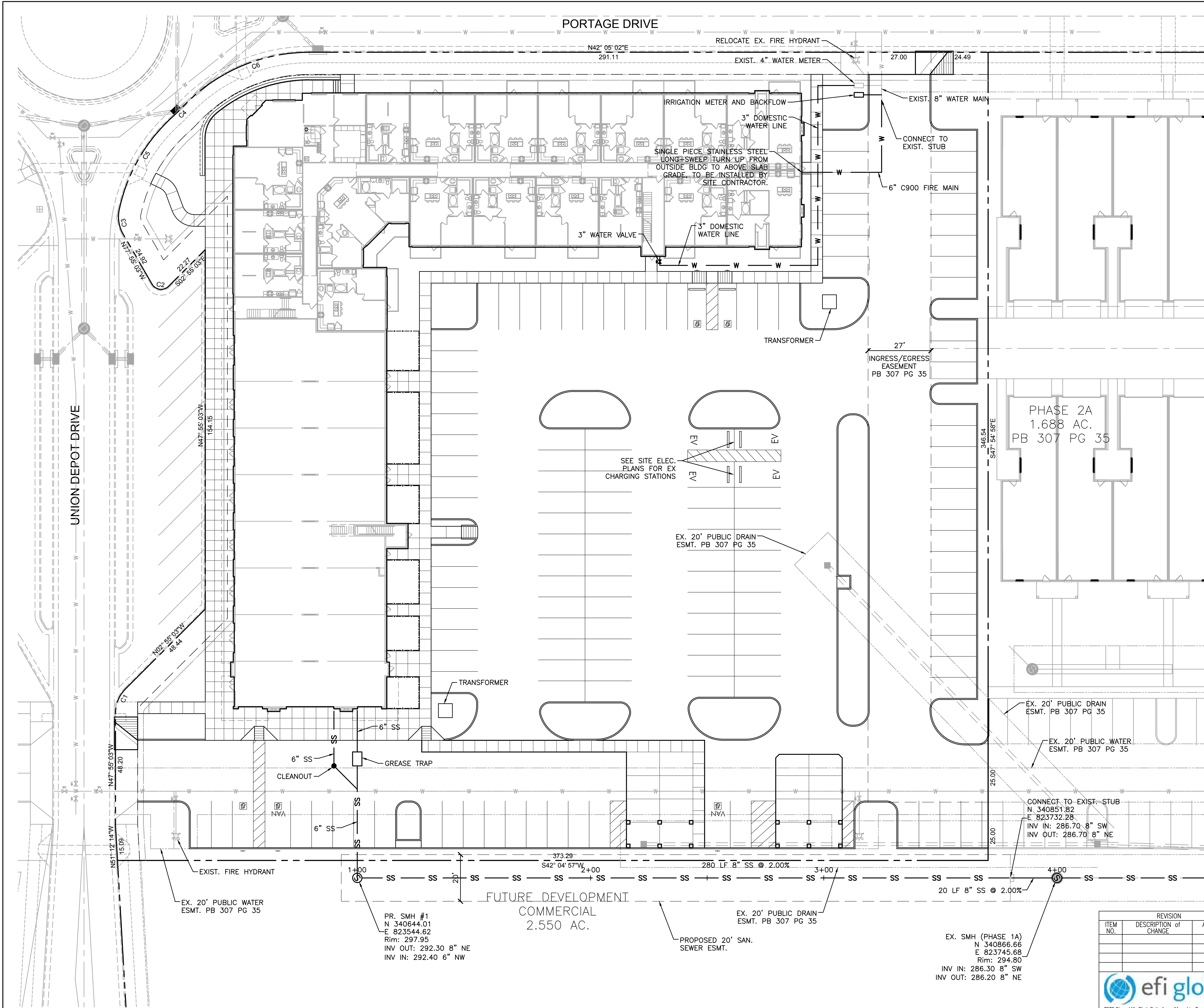
CITY OF BARTLETT DIVISION OF ENGINEERING  
EROSION CONTROL NOTES & DETAILS  
LOCATION: SUMMER AVENUE  
BARTLETT, TENNESSEE

SURVEY \_\_\_\_\_ DATE \_\_\_\_\_ BOOK \_\_\_\_\_  
DESIGN BY: EFI GLOBAL DATE 01.06.25 SCALE AS NOTED  
REVIEWED \_\_\_\_\_  
DEPUTY CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_ CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

UNION DEPOT P.D. PHASE 3

DEVELOPER: UNION DEPOT, LLC  
ENGINEER: EFI GLOBAL

NOT FOR CONSTRUCTION



- CONSTRUCTION NOTES:
1. ALL SANITARY SEWER TO BE CONSTRUCTED AS PER CITY OF BARTLETT STANDARD CONSTRUCTION SPECIFICATIONS.
  2. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE AND NOT NECESSARILY ALL OF SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE UTILITY COMPANIES WHICH MAINTAIN A UTILITY LINE WITHIN THE BOUNDARIES OF THE PROJECT PRIOR TO THE INITIATION OF ANY CONSTRUCTION ON THE PROJECT OR IN THE STREETS BORDERING THE PROJECT. THE CONTRACTOR SHALL ALSO ASSUME FULL RESPONSIBILITY FOR DAMAGE TO ANY UTILITIES ENCOUNTERED WITHIN CONSTRUCTION PERIMETERS, WHETHER SHOWN ON THE CONSTRUCTION PLANS OR NOT, DURING THE WORK ON THE PROJECT. FOR SITE LOCATION OF EXISTING UTILITIES INVOLVING MLG&W, AT&T, AND/OR TEXAS GAS COMPANY, CALL 1-800-351-1111. FOR SEWER LOCATIONS CALL 529-8025.
  3. CONTRACTOR SHALL ENSURE UNINTERRUPTED SEWER SERVICE ON EXISTING SEWER AND SERVICE CONNECTIONS BY PROVIDING AMPLE TEMPORARY WASTEWATER PUMPING AND/OR BYPASSING.
  4. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES.
  5. CONTRACTOR SHALL NOTIFY THE CITY OF BARTLETT ENGINEERING OFFICE AT 385-6499 A MINIMUM OF 24 HOURS PRIOR TO BEGINNING CONSTRUCTION.
  6. ALL AREAS IN CUT OR FILL WHERE VEGETATION HAS BEEN REMOVED SHALL BE SEEDED, MULCHED, FERTILIZED, AND/OR SODDED AS REQUIRED TO PREVENT EROSION.
  7. ALL SEWER MANHOLE LIDS IN OPEN AREAS ARE TO BE CONSTRUCTED 1.5' ABOVE GRADE A MINIMUM 1.0' ABOVE THE 100 YEAR FLOOD ELEVATION (ALT. SEALED COVER & VENT STACK). IN YARDS, MANHOLE LIDS ARE TO BE 1.5' ABOVE THE INITIAL GRADE, 0.5' ABOVE THE FINAL GRADE.
  8. SANITARY SEWER, INCLUDING SERVICE CONNECTIONS, HAVING LESS THAN 18" CLEARANCE (OUTSIDE OF PIPES) WITH DRAINAGE OR IN FILLED AREAS SHALL BE CLASS 50 DIP OR CONCRETE ENCASED, 10" BOTH SIDES OF CROSSING. ALL DUCTILE IRON PIPE SHALL BE POLYETHYLENE LINED OR SHALL BE TREATED WITH PROTECTO 401 OR AN APPROVED EQUIVALENT.
  9. CONTRACTOR SHALL VERIFY EXISTING DATA AND REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ENGINEER.
  10. NO TREES, SHRUBS, PERMANENT STRUCTURES OR OTHER UTILITIES (EXCEPT FOR CROSSINGS) WILL BE ALLOWED WITHIN SANITARY SEWER EASEMENT.
  11. THE CITY OF BARTLETT SHALL HAVE INGRESS/EGRESS RIGHTS TO USE PRIVATE DRIVES AND YARDS FOR THE PURPOSE OF MAINTAINING ALL PUBLIC SEWER LINES AND SHALL BEAR NO RESPONSIBILITY FOR THE MAINTENANCE OF SAID PRIVATE DRIVES AND YARDS.
  12. ALL SLOPES GREATER THAN 3:1 SHALL BE SODDED.
  13. 95% COMPACTION, STANDARD PROCTOR, IS REQUIRED ON ALL ROAD SUBGRADE, TRENCHES, AND BUILDING AREAS OF LOTS.
  14. ALL EXISTING DRIVEWAYS IN THE CONSTRUCTION AREA SHALL BE REPLACED/REPAIRED BY THE CONTRACTOR.

APPROVED FOR CONSTRUCTION

THE DOCUMENT BEARING THIS STAMP HAS BEEN REVIEWED BY THE  
CITY OF BARTLETT  
UNDER AUTHORITY DELEGATED BY THE  
TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION  
DIVISION OF WATER POLLUTION CONTROL  
AND IS HEREBY APPROVED FOR CONSTRUCTION

THIS APPROVAL SHALL NOT BE CONSTRUED AS CREATING  
A PRESUMPTION OF CORRECT OPERATION OR AS WARRANTING BY THE  
CITY OF BARTLETT THAT THE APPROVED FACILITIES WILL REACH THE  
DESIGN GOALS.

APPROVAL DATE: \_\_\_\_\_  
APPROVAL EXPIRES IN 12 MONTHS

BY: \_\_\_\_\_ CITY ENGINEER

THIS IS TO CERTIFY THAT THIS PROPERTY (THE SUBJECT PROPERTY SURVEYED) IS NOT WITHIN THE LIMITS OF A DESIGNATED 'SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD'. THE SUBJECT PROPERTY, BY GRAPHICAL REPRESENTATION ONLY, LIES WITHIN ZONE X DEFINED AS BEING, 'AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN' PER FEMA FIRM MAP NUMBER 47157003046 DATED FEBRUARY 6, 2013 BASED UPON OUR INTERPRETATION OF THE LOCATION OF THE FLOOD HAZARD BOUNDARY LIMITS IN RELATION TO THE PROPERTY LINES. NO SURVEYING OR ENGINEERING WAS PERFORMED FOR THIS SURVEY TO DETERMINE FEMA FLOOD LIMITS. 100 YEAR FLOOD ELEV. 267±

| REVISION |                       |               |
|----------|-----------------------|---------------|
| ITEM NO. | DESCRIPTION of CHANGE | APPROVAL DATE |
|          |                       |               |
|          |                       |               |
|          |                       |               |

7975 Stage Hills Blvd, Suite 1 Memphis, Tennessee 38113  
Telephone: 901.377.9984  
www.efiglobal.com



20' 0 20' 40'  
SCALE 1" = 20'

SHEET 1 of 1

CITY OF BARTLETT DIVISION OF ENGINEERING

SITE UTILITY PLAN

LOCATION: SUMMER AVENUE  
BARTLETT, TENNESSEE

SURVEY \_\_\_\_\_ DATE \_\_\_\_\_ BOOK \_\_\_\_\_  
DESIGN BY: EFI GLOBAL DATE 01.06.25 SCALE AS NOTED

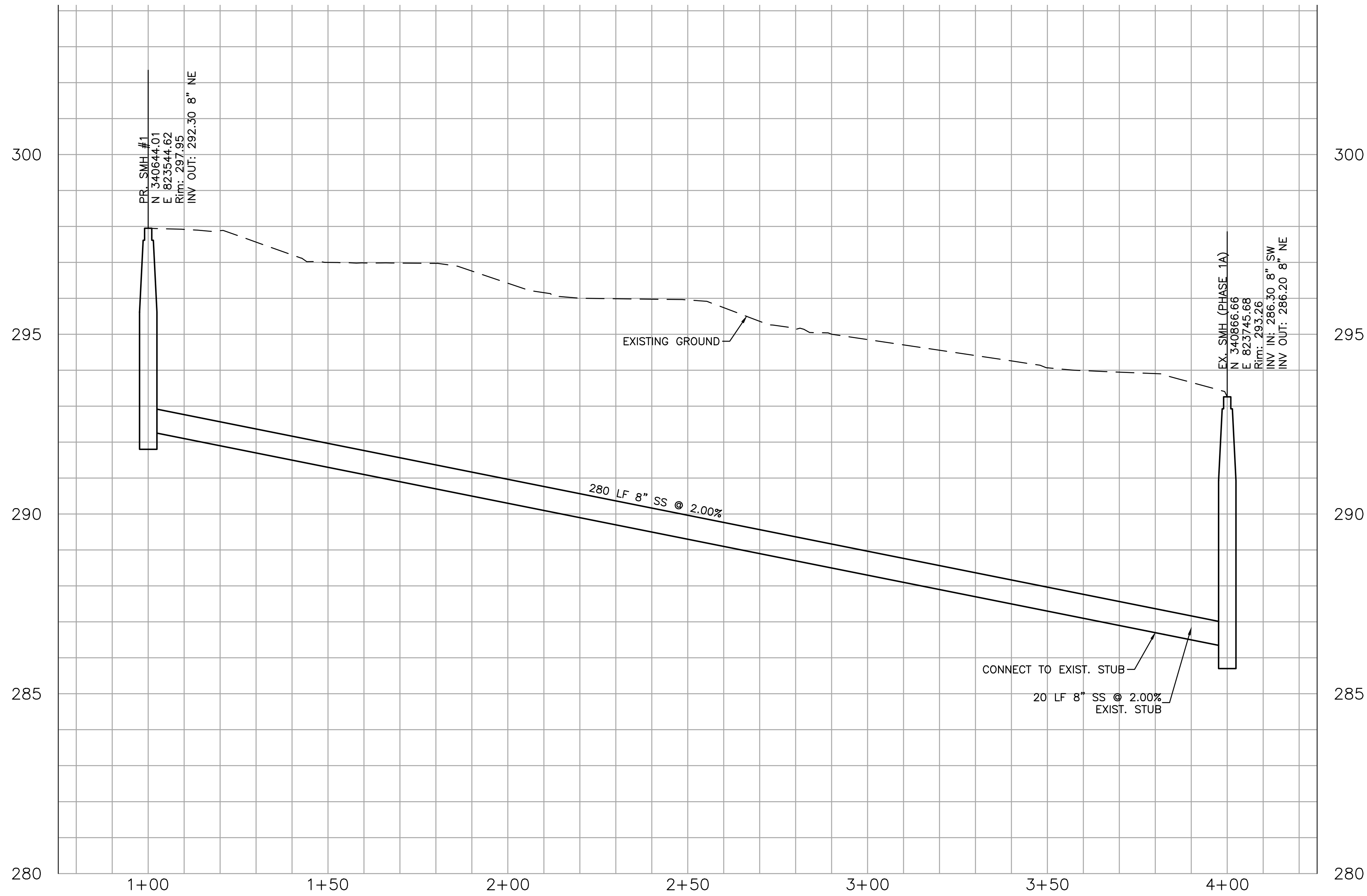
REVIEWED \_\_\_\_\_

DEPUTY CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_ CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

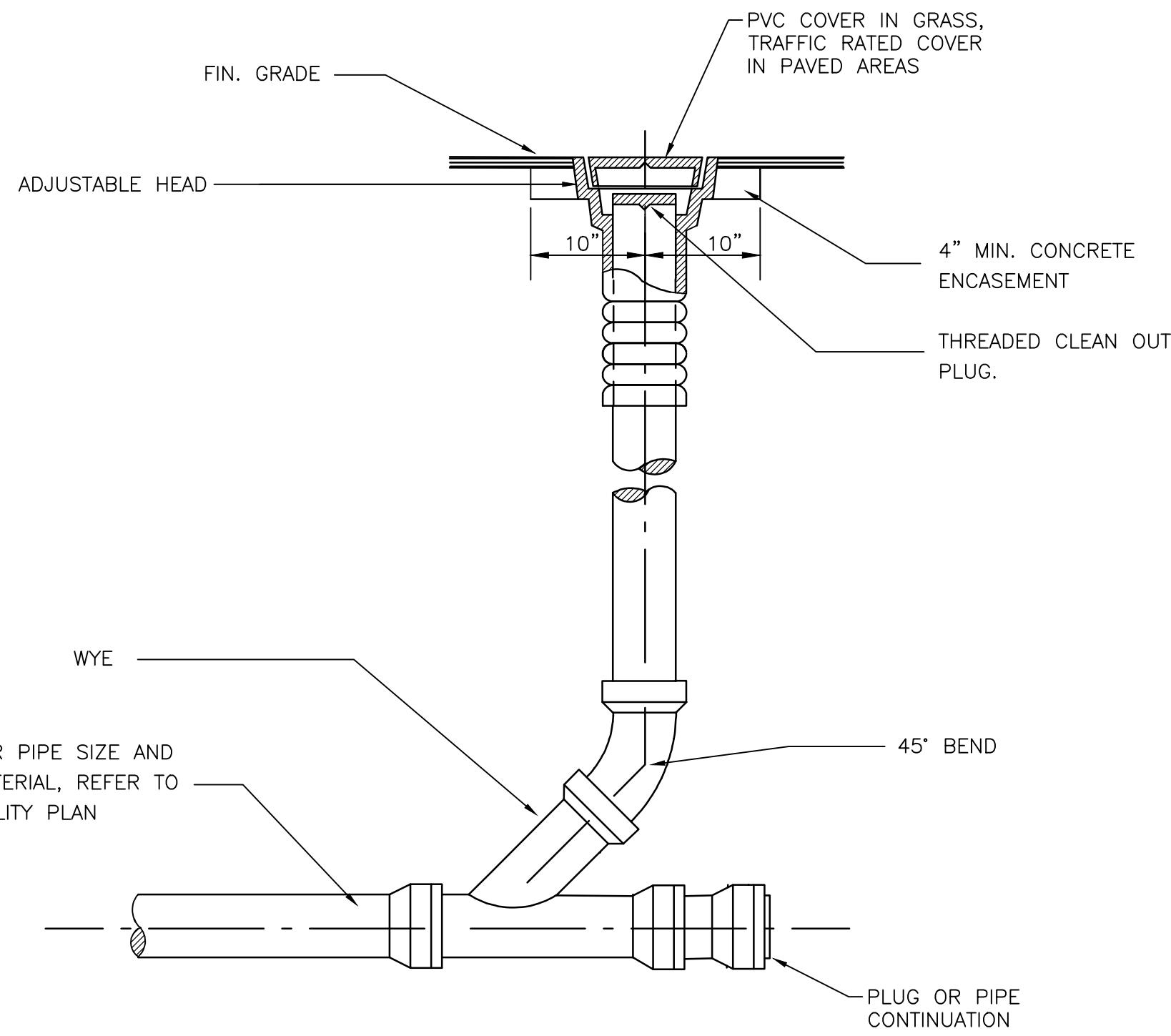
NOT FOR CONSTRUCTION

UNION DEPOT P.D. PHASE 3

DEVELOPER: UNION DEPOT, LLC  
ENGINEER: EFI GLOBAL

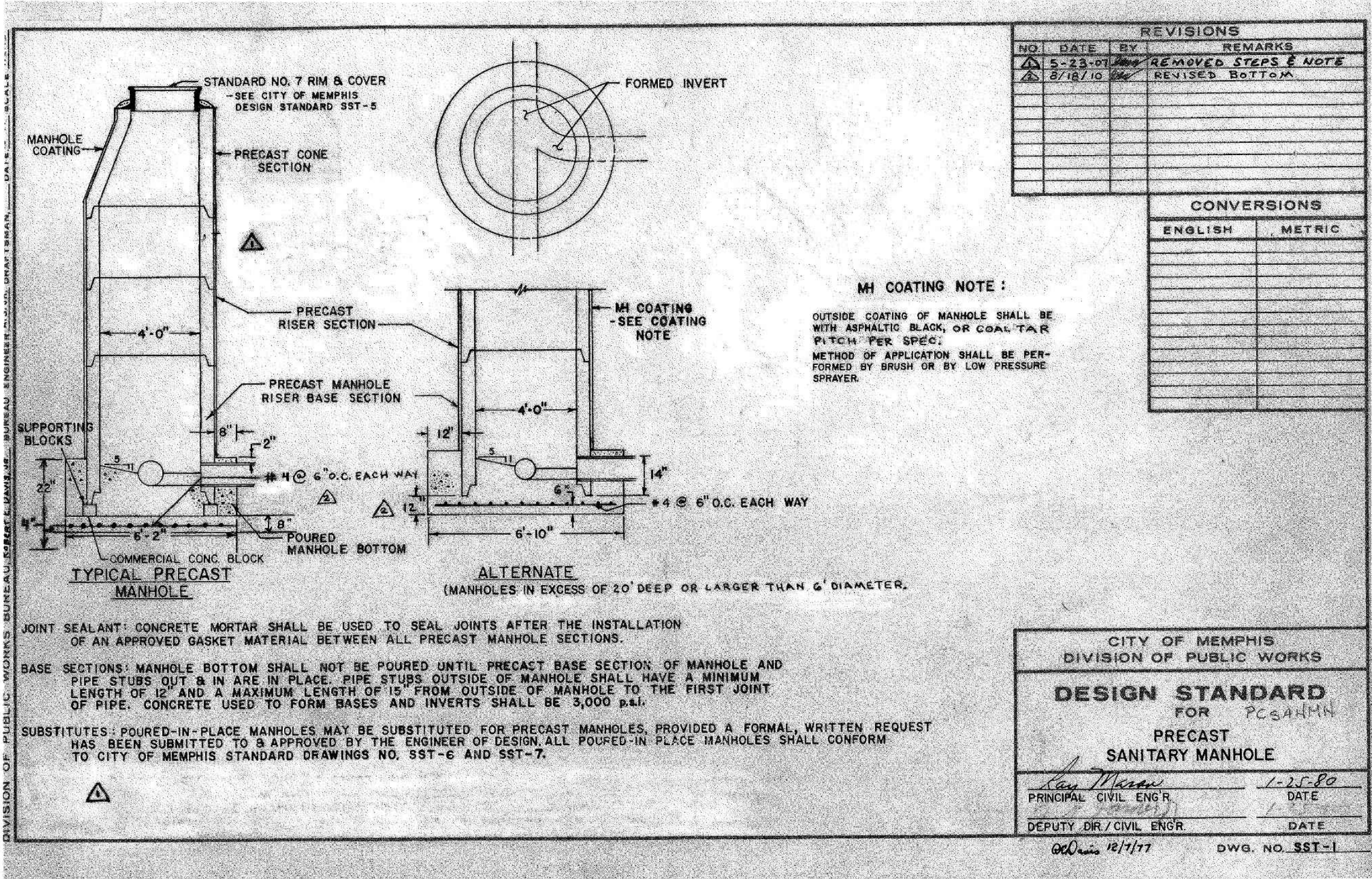
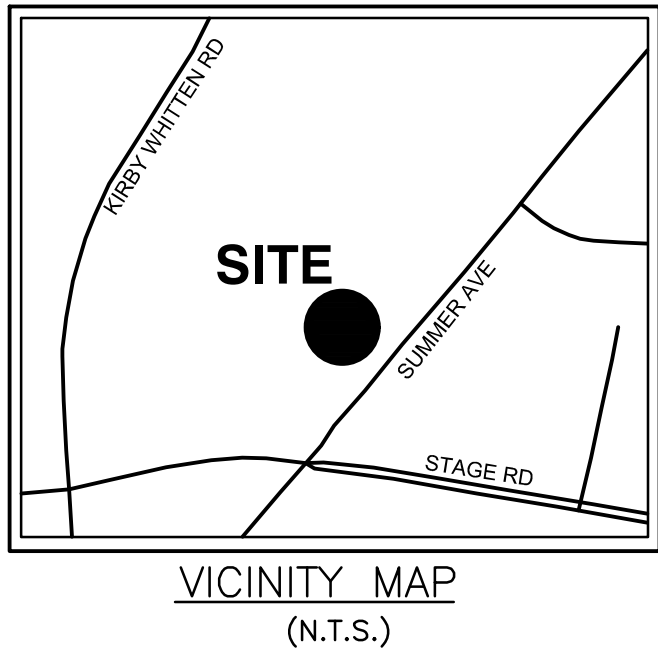


1 SEWER PROFILE  
C4.02  
SCALE: 1" = 20' HORIZONTAL  
1" = 2' VERTICAL



3 TYP. CLEAN OUT (PRIVATE)  
C4.02 NTS

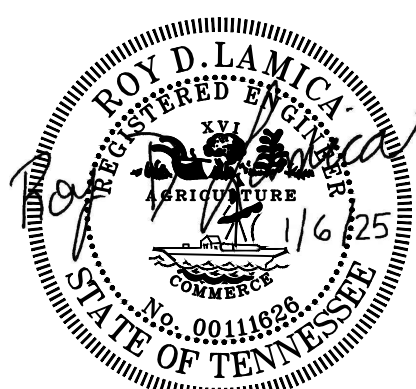
NOT FOR CONSTRUCTION



2 TYP. SANITARY SEWER MANHOLE  
C4.02 NTS



THIS IS TO CERTIFY THAT THIS PROPERTY (THE SUBJECT PROPERTY SURVEYED) IS NOT WITHIN THE LIMITS OF A DESIGNATED 'SPECIAL FLOOD HAZARD AREAS' SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD'. THE SUBJECT PROPERTY, BY GRAPHICAL REPRESENTATION ONLY, LIES WITHIN ZONE X DEFINED AS BEING, 'AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN' PER FEMA FIRM MAP NUMBER 47157003046 DATED FEBRUARY 6, 2013. BASED UPON OUR INTERPRETATION OF THE LOCATION OF THE FLOOD HAZARD BOUNDARY LIMITS IN RELATION TO THE PROPERTY LINES. NO SURVEYING OR ENGINEERING WAS PERFORMED FOR THIS SURVEY TO DETERMINE FEMA FLOOD LIMITS. 100 YEAR FLOOD ELEV. 267±



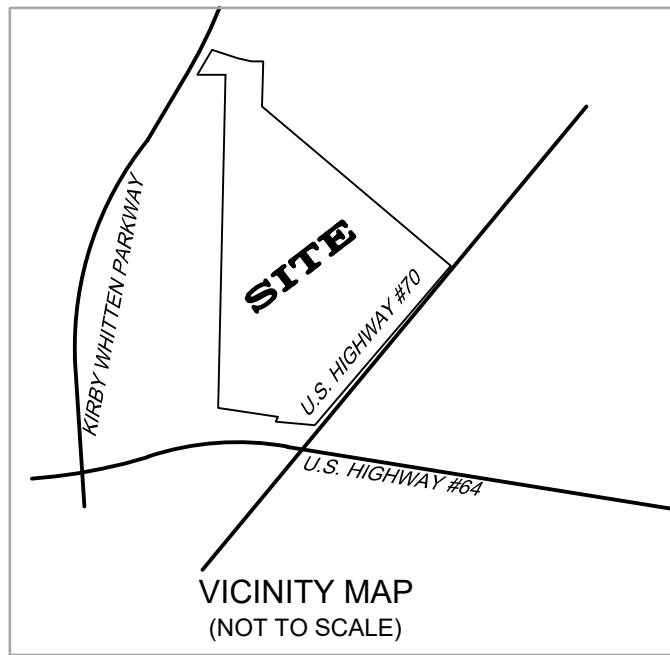
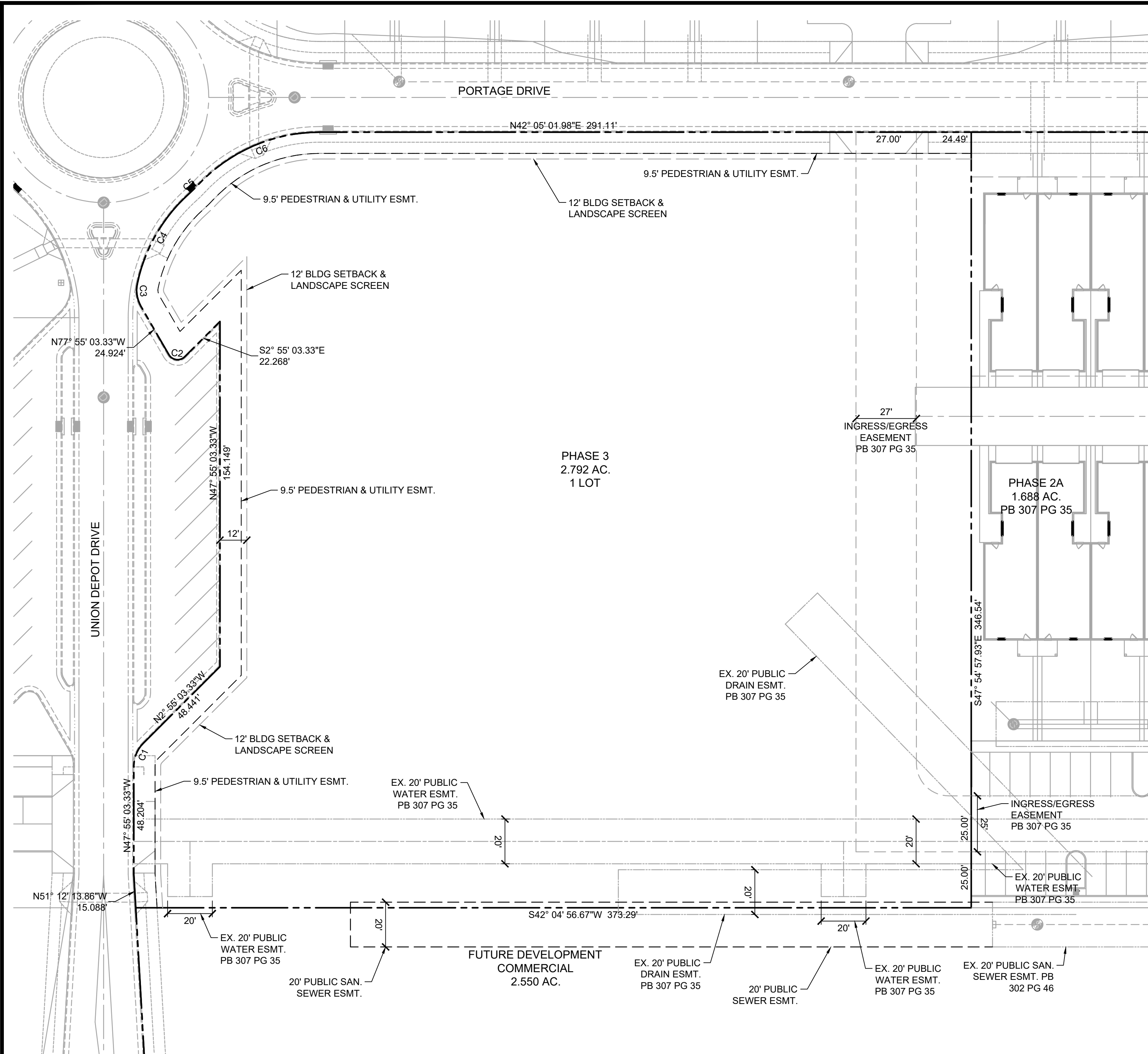
UNION DEPOT P.D. PHASE 3

DEVELOPER: UNION DEPOT, LLC  
ENGINEER: EFI GLOBAL

SCALE NTS  
SHEET 1 of 1

CITY OF BARTLETT DIVISION OF ENGINEERING  
SEWER PROFILE AND DETAILS  
LOCATION: SUMMER AVENUE  
BARTLETT, TENNESSEE

SURVEY \_\_\_\_\_ DATE \_\_\_\_\_ BOOK \_\_\_\_\_  
DESIGN BY: EFI GLOBAL DATE 01.06.25 SCALE AS NOTED  
REVIEWED \_\_\_\_\_  
DEPUTY CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_ CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_



| CURVE TABLE |        |            |               |              |
|-------------|--------|------------|---------------|--------------|
| CURVE       | RADIUS | ARC LENGTH | CHORD BEARING | CHORD LENGTH |
| C1          | 14.50' | 11.39'     | S25° 25' 03"E | 11.10'       |
| C2          | 4.50'  | 8.25'      | N49° 34' 57"E | 7.14'        |
| C3          | 14.50' | 10.58'     | S57° 00' 42"E | 10.35'       |
| C4          | 74.50' | 47.30'     | S17° 55' 01"E | 46.51'       |
| C5          | 57.50' | 5.22'      | N2° 19' 45"W  | 5.22'        |
| C6          | 74.50' | 61.13'     | S18° 34' 37"W | 59.43'       |

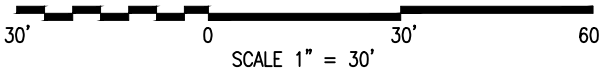
NOTE:  
THE CITY OF BARTLETT PUBLIC WORKS SHALL HAVE INGRESS/EGRESS RIGHTS TO LOTS AND COMMON OPEN SPACES FOR WATER & SEWER UTILITY MAINTENANCE. THE CITY SHALL NOT BE RESPONSIBLE FOR REPLACEMENT OF ANY PRIVATE INFRASTRUCTURE, SUCH AS CURB & GUTTER, SOD, AND FINAL PAVEMENT REGARDING NECESSARY REPAIRS.

THE 9.5' PEDESTRIAN / UTILITY EASEMENT SHOWN SHALL BE AVAILABLE TO THE PUBLIC AND SHALL BE MAINTAINED BY THE PROPERTY OWNERS ASSOCIATION, INCLUDING SIDEWALKS AND HANDICAP RAMPS.

COS AREAS SHALL BE TRANSFERRED TO THE PROPERTY OWNERS ASSOCIATION WHO WILL BE RESPONSIBLE FOR MAINTENANCE.

SITE BENCH MARK  
TOP FLANGE BOLT OF FIRE HYDRANT BETWEEN 'W' & 'M'.  
FIRE HYDRANT LOCATED ON THE NORTHWEST SIDE OF HIGHWAY 70 NEAR THE NORTHEASTERLY CORNER OF THE PROPERTY AND ADJACENT TO DRIVE WAY FOR ST GEORGE ORTHODOX CHURCH.  
ELEVATION = 296.50

NOTE:  
THIS PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA (SFHA) SUBJECT TO INUNDATION BY THE 1 PERCENT ANNUAL CHANCE FLOOD AS DETERMINED BY F.E.M.A. AND SHOWN ON FIRM MAP NUMBER 47157C0304 G, DATED FEBRUARY 16, 2013.  
100 YEAR FLOOD ELEV. 267± (FLETCHER CREEK)



### PRELIMINARY PLAT - PHASE 3 UNION DEPOT PD

|                                                                           |                             |                      |                                |
|---------------------------------------------------------------------------|-----------------------------|----------------------|--------------------------------|
| CASE NUMBER:                                                              |                             | FORMER CASE NO:      |                                |
| BARTLETT, TN                                                              |                             |                      |                                |
| NUMBER OF LOTS: 1 LOT                                                     |                             | ACREAGE: 2.792 AC.   | PARCEL ID: PART OF B0157 00802 |
| DEVELOPER: BLUE SKY COMMUNITIES, INC.<br>177 CRESENT DR. COLLIERVILLE, TN |                             | ENGINEER: EFI GLOBAL |                                |
| 100-YEAR FLOOD ELEV: 269-273                                              | FEMA MAP PANEL: 47157C0304G |                      | MAP DATE: 02/06/2013           |
| DECEMBER 30, 2024                                                         | SCALE: 1" = 50'             |                      | SHEET 1 OF 2                   |

CERTIFICATE OF ADEQUACY OF STORM DRAINAGE

I, \_\_\_\_\_, DO HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL CIVIL ENGINEER, AND THAT I HAVE DESIGNED ALL STORM WATER DRAINAGE FOR \_\_\_\_\_ TO ASSURE THAT NEITHER THE SAID SUBDIVISION NOR ADJOINING PROPERTY WILL BE DAMAGED OR THE CHARACTER OF LAND USE AFFECTED BY THE VELOCITY AND VOLUME OF WATER ENTERING OR LEAVING SAME.

IN WITNESS WHEREOF, I, THE SAID \_\_\_\_\_, PROFESSIONAL CIVIL ENGINEER, HEREUNTO SET MY HAND AND AFFIX MY SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_\_.

\_\_\_\_\_  
PROFESSIONAL CIVIL ENGINEER  
TENNESSEE CERTIFICATE NUMBER 111626

CERTIFICATE OF SUREY

I, \_\_\_\_\_, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HAVE SURVEYED THE LANDS EMBRACED WITHIN THE PLAT OR MAP DESIGNED AS FINAL PLAT, \_\_\_\_\_, A SUBDIVISION ALL LYING WITHIN THE CORPORATE LIMITS OF THE CITY OF BARTLETT, TENNESSEE; SAID PLAT OR MAP IS A TRUE AND CORRECT PLAT OR MAP OF THE LANDS EMBRACED THEREIN, SHOWING THE SUBDIVISION THEREOF IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF BARTLETT, TENNESSEE; I FURTHER CERTIFY THAT THE SURVEY OF THE LANDS EMBRACED WITHIN SAID PLAT OR MAP HAS BEEN CORRECTLY MONUMENTED IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF BARTLETT, TENNESSEE.

IN WITNESS WHEREOF, I, THE SAID \_\_\_\_\_, LAND SURVEYOR, HEREUNTO SET MY HAND AND AFFIX MY SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_\_.

\_\_\_\_\_  
[SURVEYOR]  
TENNESSEE CERTIFICATE NUMBER

BOARD OF MAYOR AND ALDERMAN CERTIFICATE

I, \_\_\_\_\_, DO HEREBY CERTIFY THAT ALL REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED, OR THAT A PERFORMANCE BOND OR OTHER COLLATERAL IN SUFFICIENT AMOUNT TO ASSURE COMPLETION OF ALL REQUIRED IMPROVEMENTS HAS BEEN POSTED FOR THE SUBDIVISION SHOWN ON THIS PLAT, AND HEREBY APPROVED BY THE CITY OF BARTLETT, TENNESSEE.

\_\_\_\_\_  
MAYOR, CITY OF BARTLETT  
DATE

PLANNING COMMISSION CERTIFICATE

I, \_\_\_\_\_, DO HEREBY CERTIFY THAT THE CITY OF BARTLETT PLANNING COMMISSION HAS APPROVED THIS PLAT OF SUBDIVISION FOR RECORDING.

\_\_\_\_\_  
SECRETARY, BARTLETT PLANNING COMMISSION  
DATE

OWNERS CERTIFICATE

WE, THE UNDERSIGNED, \_\_\_\_\_, OWNERS OF THE PROPERTY SHOWN HEREON, HEREBY ADOPT THIS PLAT AS OUR PLAN OF DEVELOPMENT AND DEDICATE THE STREETS, RIGHTS-OF-WAY, AND GRANT THE EASEMENTS AS SHOWN AND/OR DESCRIBED TO THE PUBLIC USE FOREVER. WE CERTIFY THAT WE ARE THE OWNERS OF SAID PROPERTY IN FEE SIMPLE, DULY AUTHORIZED SO TO ACT; AND THAT SAID PROPERTY IS NOT ENCUMBERED BY ANY TAXES WHICH HAVE BECOME DUE AND PAYABLE.

\_\_\_\_\_  
SIGNATURE  
DATE

NOTARY CERTIFICATE

STATE OF \_\_\_\_\_  
COUNTY OF \_\_\_\_\_

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID STATE AND COUNTY, DULY COMMISSIONED AND QUALIFIED, PERSONALLY APPEARED \_\_\_\_\_, WITH WHOM I AM PERSONALLY ACQUAINTED AND WHO UPON HIS OATH ACKNOWLEDGED HIMSELF TO BE \_\_\_\_\_ OF \_\_\_\_\_, OWNER OF THE PROPERTY, THE WITHIN NAMED BARGAINER, AND THAT HE EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSE THEREIN CONTAINED.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY NOTARIAL SEAL AT MY OFFICE IN \_\_\_\_\_, WITNESS MY HAND AND NOTARIAL SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

NOTARY PUBLIC \_\_\_\_\_

MY COMMISSION EXPIRES \_\_\_\_\_

MORTGAGEE CERTIFICATE

WE, \_\_\_\_\_, THE UNDERSIGNED MORTGAGEE OF THE PROPERTY SHOWN HEREON, HEREBY CONSENT AND AGREE TO THE PLAN OF DEVELOPMENT AS SUBMITTED BY \_\_\_\_\_, OWNER(S) OF THE PROPERTY.

\_\_\_\_\_  
SIGNATURE  
DATE

\_\_\_\_\_  
SIGNATURE  
DATE

NOTARY CERTIFICATE

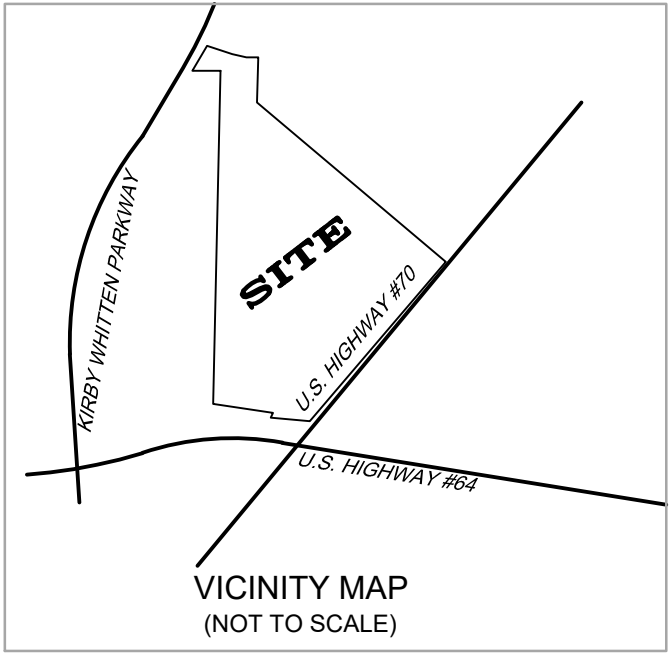
STATE OF \_\_\_\_\_  
COUNTY OF \_\_\_\_\_

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID STATE AND COUNTY, DULY COMMISSIONED AND QUALIFIED, PERSONALLY APPEARED \_\_\_\_\_, WITH WHOM I AM PERSONALLY ACQUAINTED AND WHO, UPON OATH, ACKNOWLEDGED HIMSELF/HERSELF TO BE \_\_\_\_\_ OF \_\_\_\_\_, THE MORTGAGEE OF THE PROJECT NAMED HEREON, AND HE/SHE AS SUCH REPRESENTATIVE EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSE THEREIN CONTAINED BY SIGNING HIS/HER NAME AS REPRESENTATIVE OF THE MORTGAGEE.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY NOTARIAL SEAL AT MY OFFICE IN \_\_\_\_\_, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

NOTARY PUBLIC \_\_\_\_\_

MY COMMISSION EXPIRES \_\_\_\_\_



7975 STAGE HILLS BOULEVARD, SUITE 1  
MEMPHIS, TENNESSEE 38133  
901.377.9984 office  
901.365.1813 fax  
www.efiglobal.com

PRELIMINARY PLAT - PHASE 3

UNION DEPOT PD

|                                                                           |                             |                                |  |
|---------------------------------------------------------------------------|-----------------------------|--------------------------------|--|
| CASE NUMBER:                                                              |                             | FORMER CASE NO:                |  |
| BARTLETT, TN                                                              |                             |                                |  |
| NUMBER OF LOTS: 1 LOT                                                     | ACREAGE: 2.792 AC.          | PARCEL ID: PART OF B0157 00802 |  |
| DEVELOPER: BLUE SKY COMMUNITIES, INC.<br>177 CRESENT DR. COLLIERVILLE, TN |                             | ENGINEER: EFI GLOBAL           |  |
| 100-YEAR FLOOD ELEV: 269-273                                              | FEMA MAP PANEL: 47157C0304G | MAP DATE: 02/06/2013           |  |
| DECEMBER 30, 2024                                                         | SCALE: NTS                  | SHEET 2 OF 2                   |  |



120