



City of Bartlett
David Parsons, Mayor

DESIGN REVIEW COMMISSION AGENDA

Tuesday, March 18, 2025 – 6:30 P.M.
Bartlett City Hall Assembly Chamber

Opening Prayer

****Official Business of the Day****

Minutes of the Thursday, February 27, 2025 Meeting

NEW BUSINESS

Site Plan

1. Bartlett Village Shopping Center, 5989 Bartlett Center Drive (Jesus Duarte, ARCH1010)

Open Discussion

The public shall be provided an opportunity to address the Board or Commission during an Open Discussion period at the end of each regular and special meeting of the governing body. Prior to the start of the meeting, individuals will be required to complete and present to the Clerk the Open Discussion Citizen form provided at each meeting. The Open Discussion period for regular and special meetings of the Board or Commission shall be limited to twenty (20) minutes. Individuals shall be allowed to speak for up to three (3) minutes each. Open Discussion periods will not be held for any meeting where there are no actionable items on the agenda or meetings where the governing body is conducting a disciplinary hearing for a member of the governing body or a person whose profession or activities fall within the jurisdiction of the governing body.

Adjourn

Design Review Commission

Tuesday, March 14, 2025

City Hall 6:30 P.M.

NEWBUSINESS

Site Plan

1. Bartlett Village Shopping Center, 5989 Bartlett Center Drive (Jesus Duarte, Arch 1010)

INTRODUCTION: Mr. Jesus Duarte, with Arch 1010, is requesting Design Review Commission approval of a revised site plan for the Bartlett Village Shopping Center. The subject property is located at 5989 Bartlett Center Drive, and it is within the "CG-MS" General Business with a Main Street Overlay Zoning District.

BACKGROUND: On June 7, 1986, the DRC approved the site plan for the Bartlett Village Shopping Center. The owner/applicant has received multiple Code Compliance, Notices of Violation dating back to June 25, 2018, concerning property maintenance or lack thereof.

DISCUSSION: The specific request by the applicant is for DRC approval of building elevations, lighting details, and dumpster enclosure. The specifics of the site plan are as follows:

Elevations: The Bartlett Village Center has two front elevations, the east and north elevation. A fabric awning originally covered the storefronts of these two elevations and a portion of the south elevation. The awnings fell into disrepair and were partially removed. The remainder of the awnings will be demolished and the EFIS will be patched. With the removal of the awnings, a structural overhang which held the awning frame will remain. All four elevations will be painted Sherwin Williams "Off White" (SW1095). The gutters and downspouts will be painted Sherwin Williams "Peppercorn" (SW7674). All double and single personnel doors will be painted Sherwin Williams "Off White" (SW1095).

Lighting: The proposed changes to the lighting are as follows: existing recessed lighting at the store entrances along the north elevation and the existing pole lights will remain. The existing fluorescent lighting along the north elevation will be removed and replaced with 5 Guardco 4K LED black down facing wall sconces. The existing lighting on the east elevation will be removed and replaced with 6 Caliber Plus C73 Series 3.5K LED black down facing wall sconces. The existing lighting on the south elevation will be replaced with 3 Guardco 4K LED black down facing wall sconces. The foot candles for the north

elevation will be 3.23 FC. The average foot candles for the east elevation is 3.23 FC.

Dumpster Enclosure: The existing dumpster will be moved from the current spot in the drive aisle on the southwest corner of the property. The new dumpster enclosure will be located in a loading area on the south side of the building. The dumpster enclosure will consist of treated lumber pickets attached to a steel frame with a treated lumber cap. The gate will feature treated lumber attached to a steel frame with two drop pins. The dumpster enclosure will be painted Sherwin Williams "Peppercorn" (SW7674).

Recommendation: Approval with conditions.

Planning Conditions:

1. The applicant shall make certain the site plan is consistent throughout the plans and match the lighting plan.
2. The applicant shall properly patch and repair the parking lot before coating the asphalt and restriping.
3. The applicant shall remove the existing fluorescent lighting strips on the north elevation as they are not UL Certified.
4. The applicant shall paint the building coping cap Sherwin Williams "Peppercorn" (SW7674).
5. The applicant shall replace the removed awnings with either fabric or metal awnings.
6. The applicant shall remove the plywood and replace the windows in the east storefront in compliance with the original site plan.
7. The applicant shall patch or fully repair all damaged EFIS with like materials.
8. The applicant shall reposition the rodent traps on the front of the building more hidden locations. However, well-kept landscaping and better kept grounds will go a long way in rodent control.
9. Irrigation and maintenance are required for all planting on the landscape plan indefinitely. Applicant shall replace missing or dead plants listed in the landscaping plan approved June, 1986. Bartlett Zoning Ordinance Article VI, Section 17 states, "Should the property owner fail to maintain these landscape screens and landscape areas in accordance with approvals of the Planning Commission and the Design Review Commission, it will be deemed a violation of this Ordinance."
10. All proposed signage shall be submitted on a separate application to the Design Review Commission.
11. The owner/applicant shall identify all utilities on site by contacting Tennessee One Call at 811 before commencing any site work.
12. The owner/applicant shall be present at the meeting in order to make decisions relative to any changes that may be suggested by the Design Review Commission.



DRC Site Plan Application Application

Date: 01/30/2025

Project Information

Property Address: 6001 Bartlett Towne Center
Project Name:

Present Zoning:
of Lots: 1

Description: Bartlett Center

Applicant / Owner

Applicant Name: Jesus Duarte
Company Name: ARCH1010
Address: 676 Marshall ave
City, State, Zip: 38103
Phone: 9018469712
Email: jduarte@arch1010.com

Owner Name: Martin Chow
Company Name:
Address: 1242 PEABODY AVE 38104
City, State, Zip:
Phone:
Email:

Architect / Engineer

Architect Contact: Joshua Bellaire
Company Name:
Address:
City, State, Zip:
Phone:
Email: jbellaire@arch1010.com

Architect Contact:
Company Name:
Address:
City, State, Zip:
Phone:
Email:

I do hereby certify that the information contained herein is true and correct.

JESUS DUARTE

Name

01/30/2025

Date

Site Plan Checklist

Bartlett Design Review Commission

The design of new buildings shall be compatible with the general character of the existing surroundings. Site plan applications will be reviewed for compatibility of landscaping, exterior materials, exterior colors, architectural style, scale, proportion, mass, and details. Diversity is acceptable to the extent that compatibility can be demonstrated. The applicant must explain the design to the Commission to demonstrate compatibility. A rendering and full, clear color exterior samples are required.

1. Basic Submittals

- ☒ a. * Site plan.
- ☒ b. * Building elevations (all four) and a color rendering of the building.
- ☒ c. Floor area (square feet) in buildings.
- ☐ d. One PDF file of items indicated herein by an asterisk (*), for display at the Design Review Commission meeting.

2. Landscaping

- ☐ a. * Landscaping plan.
- ☐ b. Identification of all existing trees, denoting those to remain and those to be removed; with grading shown to save trees where possible.
- ☐ c. Proposed new trees, shrubs, and ground covers, shown graphically with plant common names and size.
- ☐ d. Adequate landscape screening along property lines where required.
- ☐ e. Grass strip between sidewalk and street curb.
- ☐ f. Street trees on all commercial and residential site plans reviewed by the Commission, in accordance with the Bartlett Tree and Landscape Ordinance.
- ☐ g. Parking lot planters.

3. Exterior Lighting

Provide details on the following:

- ☒ a. Location

- ☒ b. Height
- ☒ c. Style of Fixtures
- ☒ d. * Photometric Plan with design and arrangement to prevent intrusion on adjoining property and streets.
- ☐ e. Bulb Temperature not to exceed 4K

4. Trash Collection Areas

- ☒ a. Type and location indicated on plan.
- ☒ b. Trash receptacles in accordance with Bartlett Codified Ordinance 17-103. (Ask for dumpster enclosure drawings.)

5. Gas And Electric Meters And Transformer Locations

- ☐ a. Locations shown in rear of commercial project in accessible area.
- ☐ b. Screening of all meters.
- ☐ c. Water meter location.

6. Mechanical Units, Vents (Plumbing Heating, etc.).

- ☐ a. Location
- ☐ b. Screening required

7. Exterior Material

- | | Roofing | Exterior |
|---|---------|----------|
| ☐ a. Material | _____ | _____ |
| ☐ b. Colors | _____ | _____ |
| ☐ c. Large samples of colors and materials must be presented at the meeting. | | |

8. Plans shall be sealed, signed and dated by an architect or engineer that is registered in the State of Tennessee.

9. Owner must arrange for debris and mud to be kept from the streets during construction or the City will remove it and charge the owner.

Include a fee of \$ 400.00 with this application (check payable to the City of Bartlett).

INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED

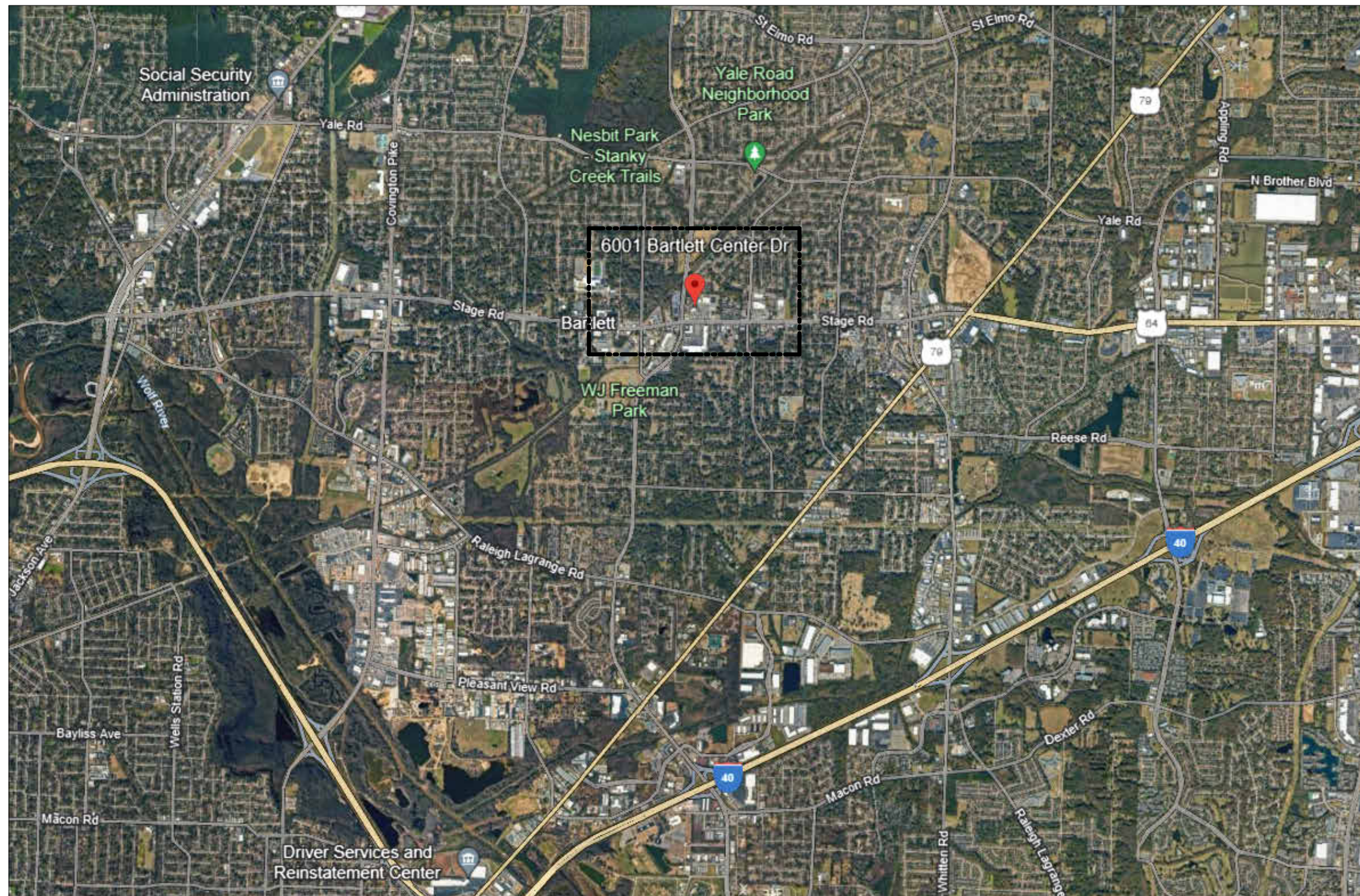
BARTLETT SHOPPING CENTER

6001 BARTLETT CENTER DRIVE, BARTLETT TN

CONSTRUCTION DOCUMENT 12/13/24



VICINITY MAP



DESIGN TEAM

ARCHITECT
ARCH1010
676 Marshall Ave, Suite 101
Memphis, TN 38104
P. (901) 497-6563

INDEX TO DRAWINGS

GENERAL	
T0.0	COVER SHEET
G1.0	GENERAL INFORMATION
G1.3	EXT. RENDERINGS
ARCHITECTURAL	
D0.0	DEMO AXO VIEWS
D1.0	DEMO SITE PLAN
D2.0	DEMO RCP
D3.0	DEMO ELEVATIONS
A1.0	ARCHITECTURAL SITE PLAN
A1.1	SITE DETAILS
A2.0	FLOOR PLAN
A2.2	REFLECTED CEILING PLAN
A3.0	EXTERIOR ELEVATIONS
ELECTRICAL	
E100	PHOTOMETRIC PLAN

ABBREVIATIONS

ABV.	ABOVE	LARCH.	LANDSCAPE ARCHITECT
AC.	AIR CONDITIONING	LAV.	LAVATORY
ACM.	ALUMINUM COMPOSITE MATERIAL	LKB.	LOCKABLE
ACT.	ACOUSTICAL CEILING TILE	LOW.	LOWER
ADA.	AMERICANS WITH DISABILITIES ACT	LT.	LIGHT
ADJ.	ADJACENT	MAT.	MATERIAL
AFF.	ABOVE FINISHED FLOOR	MAX.	MAXIMUM
AGG.	AGGREGATE	MCP.	MELANINE COATED PARTICLE BOARD
ALT.	ALTERNATE	MECH.	MECHANICAL
ALUM.	ALUMINIUM	MEMB.	MEMBRANE
ANOD.	ANODIZED	MEP.	MECHANICAL, ELECTRICAL & PLUMBING
APPROX.	APPROXIMATE	MFG.	MANUFACTURER
ARCH.	ARCHITECTURAL	MIN.	MINIMUM
BD.	BOARD	MISC.	MISCELLANEOUS
BLDG.	BUILDING	MOD. BIT.	MODIFIED BITUMEN
BLKG.	BLOCKING	M.R.	MOISTURE RESISTANT
B.O.	BOTTOM OF	MTL.	METAL
BOT.	BOTTOM	MULL.	MULLION
BTW.	BETWEEN	NA.	NOT AVAILABLE
BYND.	BEYOND	NIC.	NOT IN CONTRACT
CDR.	CARD READER	NO.	NUMBER
C.G.	CORNER GUARD	NOM.	NOMINAL
C.J.	CONTROL JOINT	NTS.	NOT TO SCALE
C.L.	CENTER LINE	O.C.	ON CENTER
CLG.	CEILING	O.D.	OUTSIDE DIAMETER
CLR.	CLEAR / CLEARANCE	OFCI	OWNER FURNISHED, CONTRACTOR...
CLSR.	CLOSER	OFOI	OWNER FURNISHED, OWNER INSTALLED
CMU.	CONCRETE MASONRY UNIT	OPG.	OPENING
COL.	COLUMN	OPP.	OPPOSITE
CONC.	CONCRETE	PERF.	PERFORATED
CONN.	CONNECTION	PLAM.	PLASTIC LAMINATE
CONST.	CONSTRUCTION	PLUMB.	PLUMBING
CONT.	CONTINUOUS	PRE-FIN.	PRE-FINISHED
COORD.	COORDINATE	PROG.	PROGRAMMING
CORR.	CORRUGATED	PSF.	POUNDS PER SQUARE FOOT
CORRUG.	CORRUGATED	PSI.	POUNDS PER SQUARE INCH
CPT.	CERAMIC TILE	P.T.	PRESSURE-TREATED
C.T.	CERAMIC TILE	PTD.	PAINTED
CTR.	CENTER	PWD.	PLYWOOD
DBL.	DOUBLE	Q.S.	QUARTZ SURFACE
DEMO.	DEMOLITION	RCP.	REFLECTED CEILING PLAN
D.F.	DRINKING FOUNTAIN	REF.	REFER / REFERENCE
DIA.	DIAMETER	REF.	REFRIGERATOR
DIM.	DIMENSION	REINF.	REINFORCEMENT / REINFORCING
DN.	DOWN	REO'D.	REQUIRED
DS.	DOWN SPOUT	RM.	ROOM
DTL.	DETAIL	RMC.	RIGID METAL CONDUIT
DWG.	DRAWING(S)	R.O.	ROUGH OPENING
E.A.	EACH	RSF.	RESILIENT SHEET FLOORING
EIFS.	EXTERIOR INSULATION FINISH SYSTEM	RTF.	RESILIENT TILE FLOORING
E.J.	EXPANSION JOINT	RWB.	RESILIENT WALL BASE
EL.	ELEVATION	SCHED.	SCHEDULE
ELEC.	ELECTRICAL	SHWR.	SHOWER
ELEV.	ELEVATOR	SIM.	SIMILAR
ENLGD.	ENLARGED	SPEC.	SPECIFICATION
EOS.	EDGE OF SLAB	S.S.	STAINLESS STEEL
EQ.	EQUAL	SSF.	SOLID SURFACE
EQUIP.	EQUIPMENT	STC.	SOUND TRANSMISSION COEFFICIENT
E.W.	EACH WAY	STD.	STANDARD
EXIST.	EXISTING	STL.	STEEL
EXP.	EXPANSION	STRUCT.	STRUCTURE / STRUCTURAL
EXT.	EXTERIOR	SURF.	SURFACE
F.D.	FLOOR DRAIN	SVF.	SHEET VINYL FLOORING
F.E.	FIRE EXTINGUISHER	TEL.	TELEPHONE
FEC.	FIRE EXTINGUISHER CABINET	TEMP.	TEMPERATURE
FFE.	FIXTURES, FURNITURE AND EQUIPMENT	TLT.	TOILET
FIN.	FINISH	T.O.	TOP OF
FLR.	FLOOR	TYP.	TYPICAL
F.O.	FACE OF	U.C.	UNDER COUNTER
F.R.	FIRE-RESISTANT	U.G.	UNDERGROUND
FT.	FOOT / FEET	UNO.	UNLESS NOTED OTHERWISE
FTG.	FOOTING	VAR.	VARIES
FURRG.	FURRING	VCT.	VINYL COMPOSITE TILE
GA.	GAUGE	VERT.	VERTICAL
GYP.	GYPSUM	VIF.	VERIFY IN FIELD
HDW.	HARDWARE	V.T.	VINYL TILE
HDWD.	HARDWOOD	VVC.	VINYL WALL COVERING
H.M.	HOLLOW METAL	W.	WITH
HORIZ.	HORIZONTAL	W.B.	WEATHER BARRIER
HR.	HOUR	W.C.	WATER CLOSET
HSS.	HOLLOW STRUCTURAL SECTION	W/C.	WHEELCHAIR
HT.	HEIGHT	WD.	WOOD
IBC.	INTERNATIONAL BUILDING CODE	WIN.	WINDOW
I.D.	INSIDE DIAMETER	W.H.	WATER HEATER
INSUL.	INSULATION	W/O.	WITHOUT
INT.	INTERIOR	W.P.	WORK POINT
JT.	JOINT	WPPF.	WATERPROOFING
		W.S.	WEATHER STRIPPING

GOVERNING CODES:

BUILDING CODE:	2021 International Building Code with Local Amendments
ELECTRICAL CODE:	2020 National Electric Code with Local Amendments
MECHANICAL CODE:	2021 International Mechanical Code with Local Amendments
PLUMBING CODE:	2021 International Plumbing Code with Local Amendments
GAS CODE:	2021 International Fuel Gas Code with Local Amendments
GENERAL NOTES	

- The General Contractor for this Project shall address the coordination of the entire scope of work, from the beginning of the construction process through final close-out. The scope of work shall include, but is not limited to, preparation of all completion drawings and diagrams, all schedules for completion, and control of site utilization.
- The General Contractor is solely responsible for all procedures necessary for the completion of this Project.
- The General Contractor for this Project shall include all materials and labor necessary for the completion of the entire scope of work. All materials, labor, tools, equipment, machinery, transportation, heat, water, utilities, and other facilities and services required for safe and proper execution are to be furnished and paid for by the General Contractor.
- Information contained in the Contract Documents shall be interpreted by the Architect. The documents show an overview of the work required under this Contract, as well as other requirements or conditions which might impact the Project. The Contract Documents generally indicate the concept and intent of the Project, and are not meant to necessarily show all conditions or details.
- Drawings are furnished to show design intent for construction only and do not show every condition or aspect of construction. Dimensions shown take precedent over graphic representations. Dimensions shown to existing elements are to be field verified by the General Contractor. Drawings are not to be scaled. Larger scale details take precedence over smaller scale details. The General Contractor is to inform the Architect of any discrepancies prior to proceeding with any work.
- The Contract Documents are designed to reflect a particular occupancy type and use for the structure and associated systems and facilities described. Compliance with all codes and regulations concerning the use and occupancy of the structure is intended. All parts of this work shall adhere to any requirements indicated in the Contract Documents.
- Coordination of all Civil, Structural, Mechanical, Electrical, and Plumbing will be the responsibility of the General Contractor.
- Discrepancies between portions of Contract Documents should be clarified by the General Contractor and Architect prior to proceeding with any work in question.
- The General Contractor shall comply with all rules and regulations as defined by the ADA Guidelines.
- Final clean-up of the building and site shall be the responsibility of the General Contractor. Building and site shall be turned over in a clean and new condition to the Owner.

GENERAL DEMOLITION NOTES

- The General Contractor is responsible for obtaining the Owner's requirements prior to beginning work. All work shall be done in accordance with the Owner's requirements and standard operating procedures for demolition activities.
- The General Contractor shall coordinate with local code officials to ensure that demolition operations are conducted in compliance with all applicable codes.
- The General Contractor shall provide and maintain all existing exits, exit lighting, fire protection devices, and alarms to conform to local building requirements.
- Owner to arrange shut-off of utilities when required by the General Contractor. Do not start demolition until utility disconnection and sealing have been completed and verified in writing.
- Throughout all phases of demolition and construction the Contractor shall be responsible for conducting demolition operations to prevent damage to adjacent buildings, structures, and other facilities and injury to persons. Provide sufficient protection within and beyond demolition/construction areas to eliminate any risk to construction personnel and/or other third-party individuals. Erect and maintain dust-proof partitions and temporary enclosures to limit dust migration and to separate areas from fumes and noise as required.
- Maintain structural integrity of the building.
- Provide and maintain interior shoring, bracing, or structural support to preserve stability and prevent movement, settlement, or collapse of items to be selectively demolished and items which are immediately adjacent to those being removed.
- Perform surveys as the work progresses to detect hazards resulting from the selective demolition.
- Demolish and remove existing construction only to extent required by new construction and as indicated. Use methods required to complete work within limitations of governing regulations and as follows:
 - A. Neatly cut openings and holes plumb, square, and true to dimensions required. Use cutting methods least likely to damage construction to remain or adjoining construction.
 - B. Cut or drill from the exposed or finished side into concealed surface to avoid marring existing finished surfaces.
 - C. Do not use cutting torches until work area is cleared of flammable materials. At concealed spaces, verify condition and contents of hidden space before starting flame-cutting operations.
 - D. Maintain adequate ventilation when using cutting torches.
 - E. Remove decayed, vermin-infested or otherwise dangerous and/or unsuitable materials and promptly dispose of off-site.
 - F. Locate demolition equipment throughout the structure and remove debris and material so as not to impose excessive loads on supporting structure.
 - G. Burning of materials on site is not permitted.
- Debris resulting from demolition and construction shall be removed daily from the construction site to a waste area provided by the Contractor in coordination with the Owner and Building Manager.
- Limit use of the premises to construction activities in areas indicated in the scope of the project. Allow Owner occupancy and use by building's drivers and maintenance/service personnel at all times.
- All driveways and circulation paths to remain open and available to Owner, or Contractor to provide protected temporary means of egress during necessary phases of construction as required per applicable building codes.

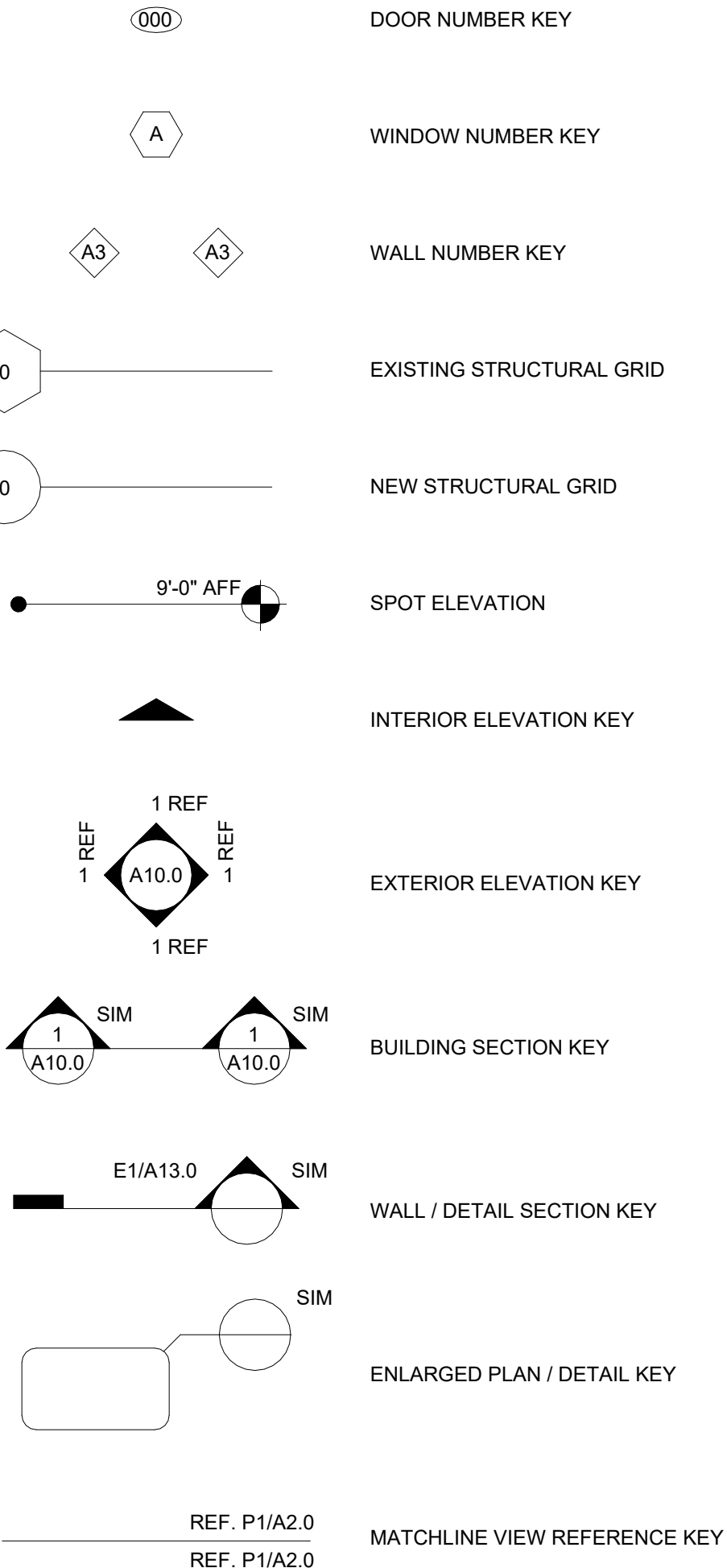
BUILDING DATA

BUILDING:
EXISTING FLOOR AREA 13,075

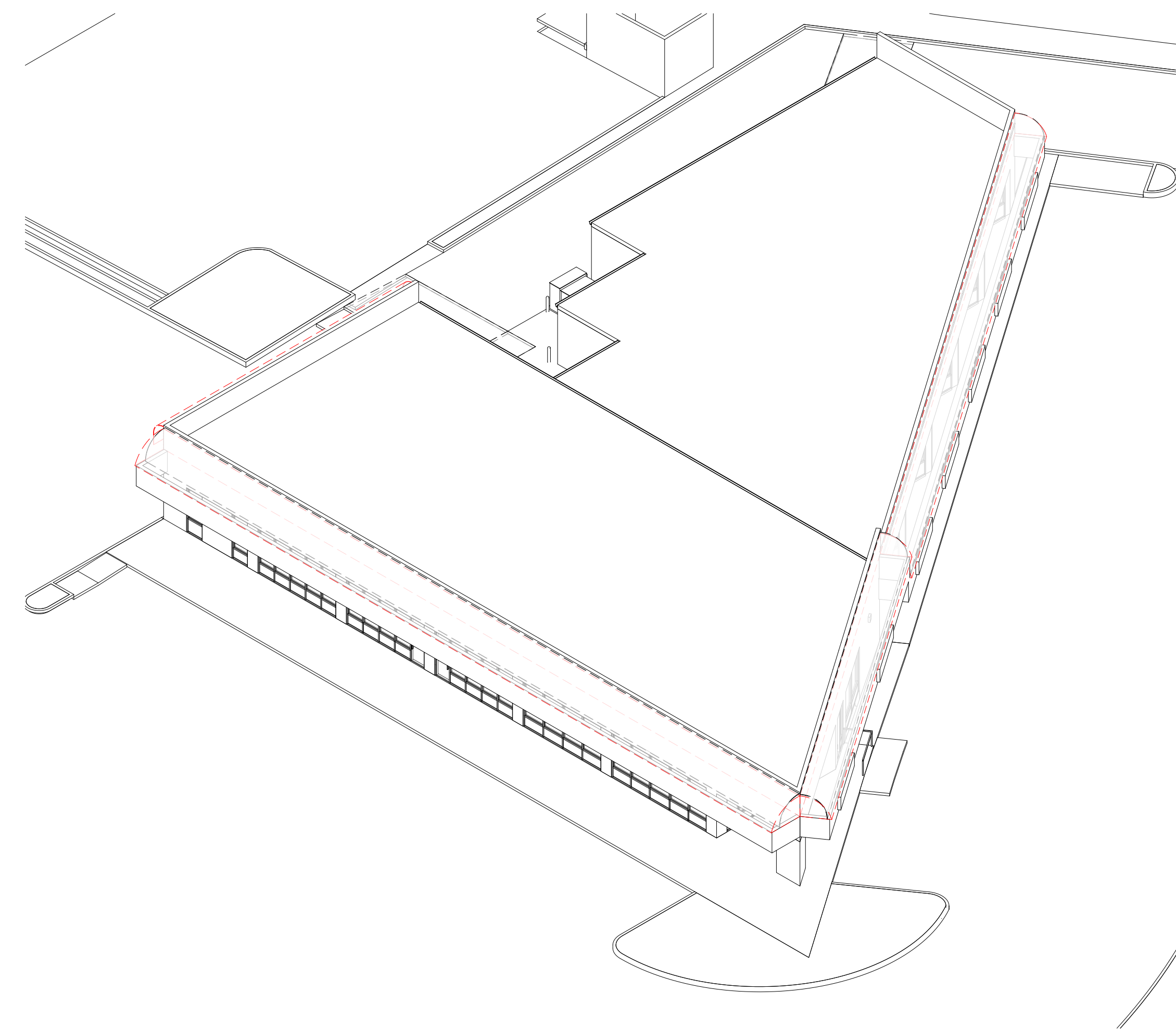
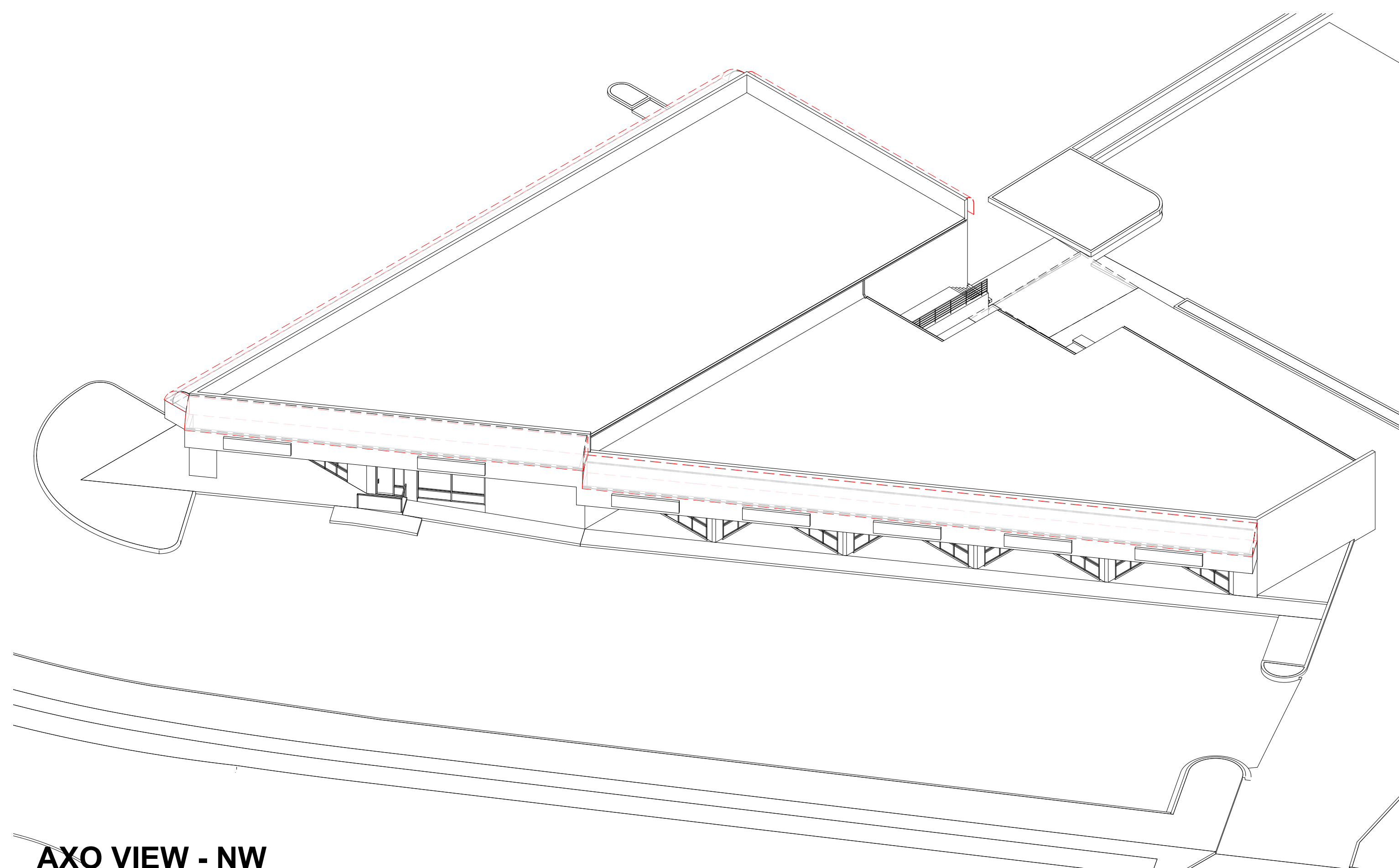
USE & CONSTRUCTION :
OCCUPANCY CLASSIFICATION:
(According to Chapter 3 of
International Building Code 2021)

B

KEY LEGEND

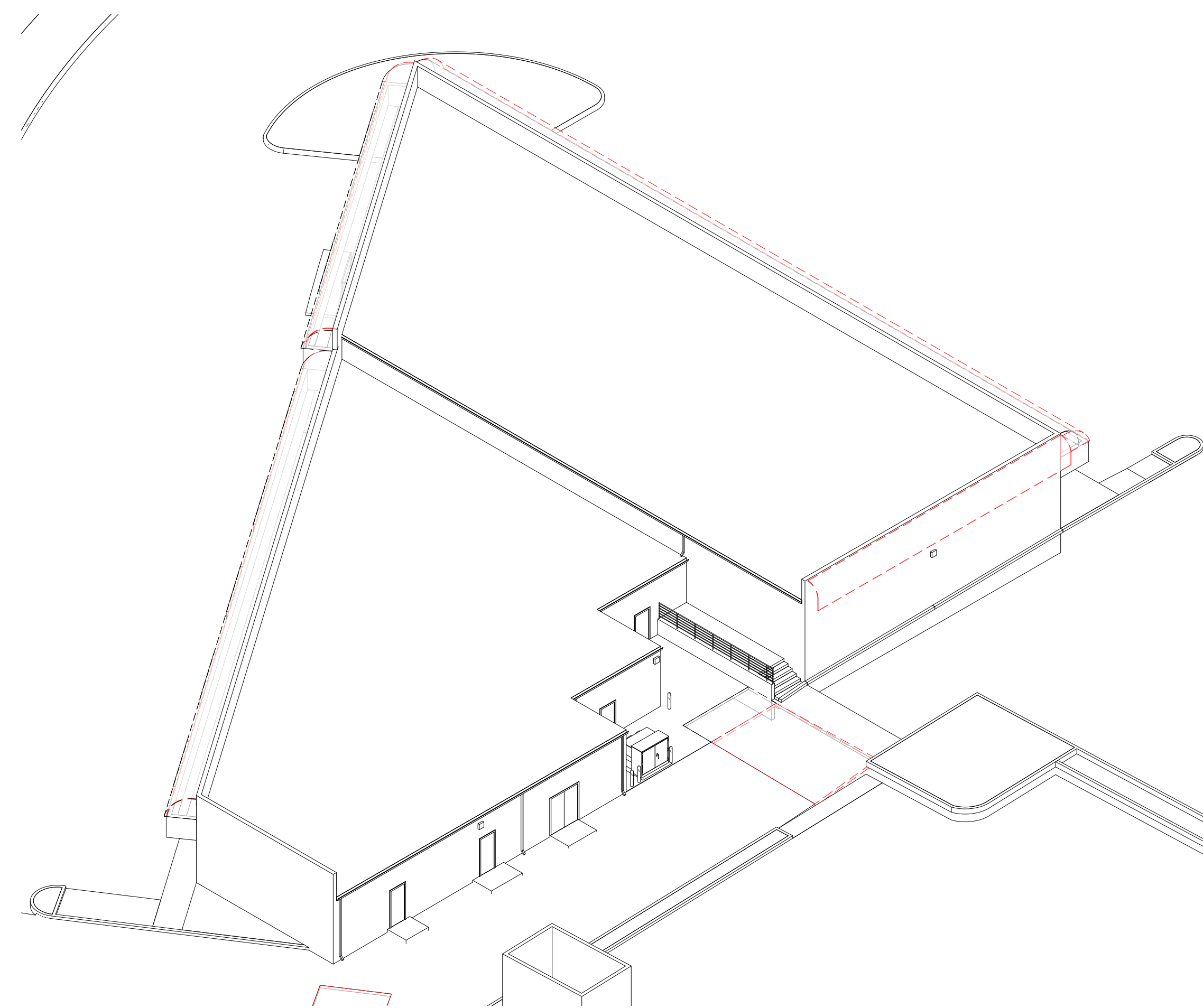




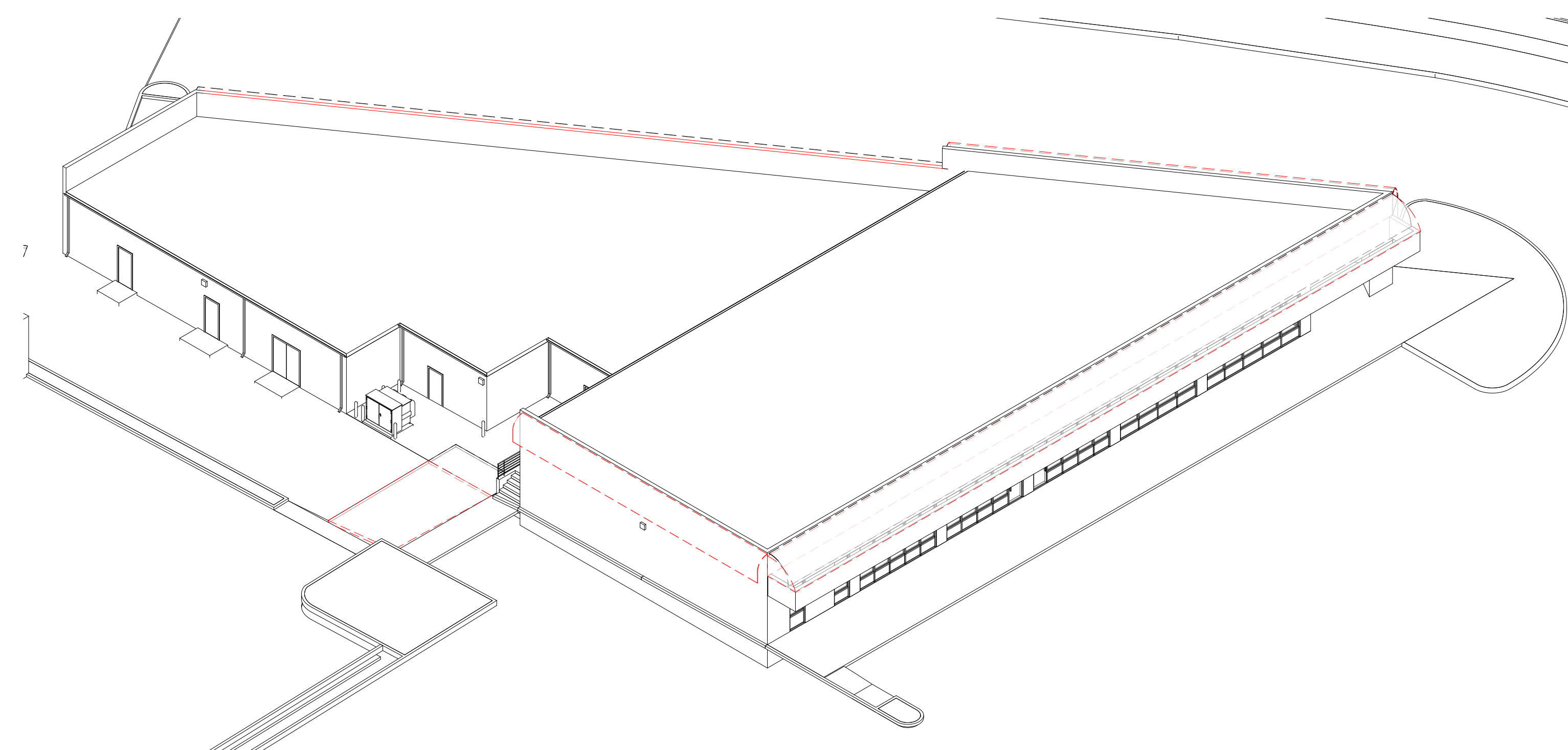


AXO VIEW - NW

AXO VIEW - NE



AXO VIEW - SW



AXO VIEW - SE

PROJECT NAME
BARTLETT SHOPPING
CENTER

LOCATION
8001 BARTLETT CENTER
DRIVE, BARTLETT TN

PROJECT NUMBER
A-00000

DEVELOPER/OWNER
MR. MARTIN CHOW

PROJECT LOGO

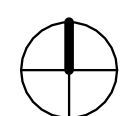
INFORMATION
REVISION ISSUE DATE

SHEET TITLE
DEMO SITE PLAN

DATE
12/13/24

SHEET NUMBER

D1.0



1 DEMO SITE PLAN

1" = 10'-0"

EXISTING DAMAGED AREA OF
CONCRETE PAVEMENT TO BE
REMOVED

EXISTING
DUMPSTER TO BE
RELOCATED

EXISTING AREA OF CONCRETE
PAVEMENT TO BE REMOVED

PROJECT NAME
BARTLETT SHOPPING
CENTER

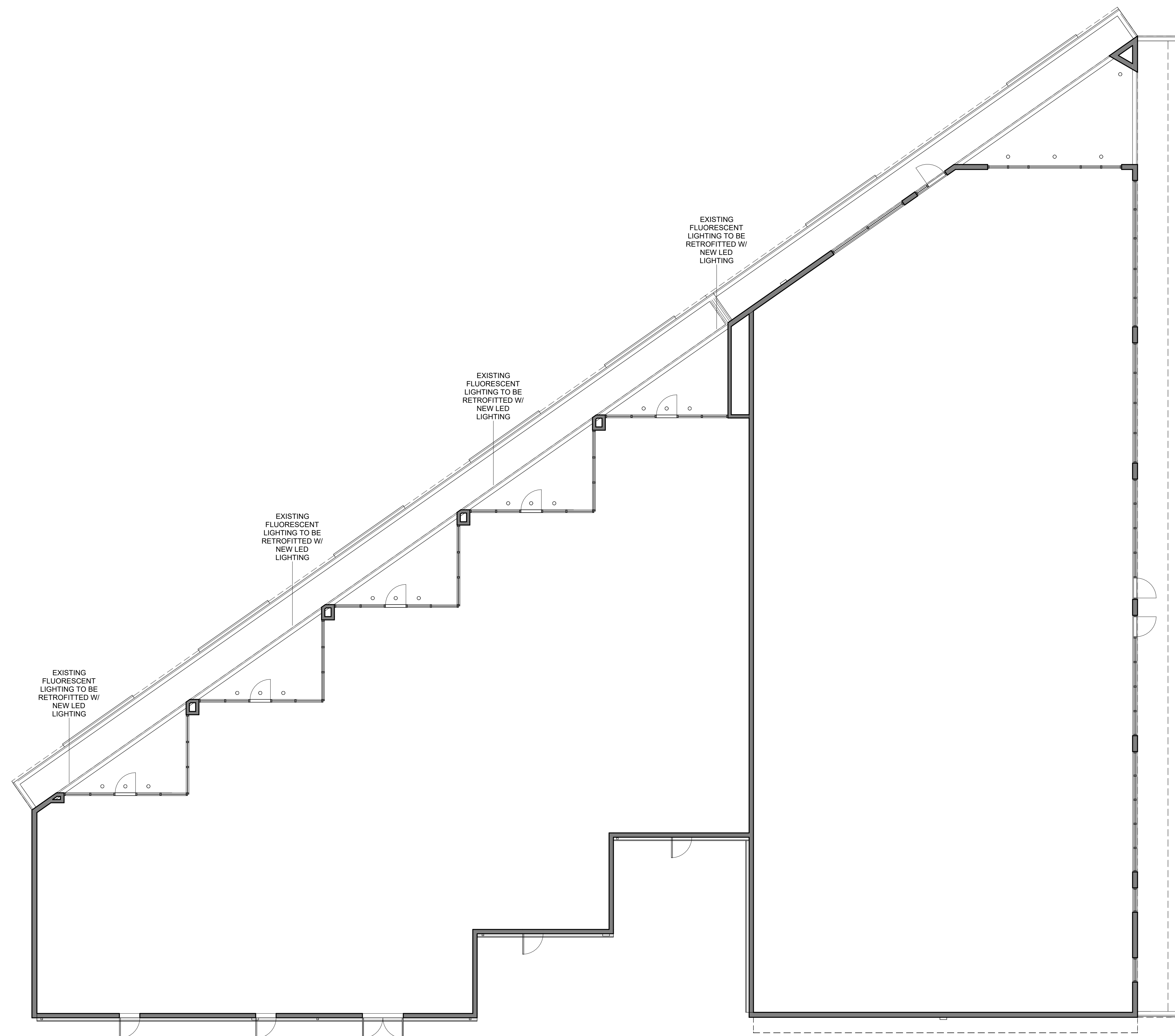
LOCATION
8001 BARTLETT CENTER
DRIVE, BARTLETT TN

PROJECT NUMBER
A-00000

DEVELOPER/OWNER
MR. MARTIN CHOW

PROJECT LOGO

INFORMATION
REVISION ISSUE DATE



SHEET TITLE
DEMO RCP

DATE
12/13/24

SHEET NUMBER

PROJECT NAME

BARTLETT SHOPPING
CENTER

LOCATION

8001 BARTLETT CENTER
DRIVE, BARTLETT TN

PROJECT NUMBER

A-00000

DEVELOPER/OWNER

MR. MARTIN CHOW

PROJECT LOGO

INFORMATION

REVISION ISSUE DATE

SHEET TITLE

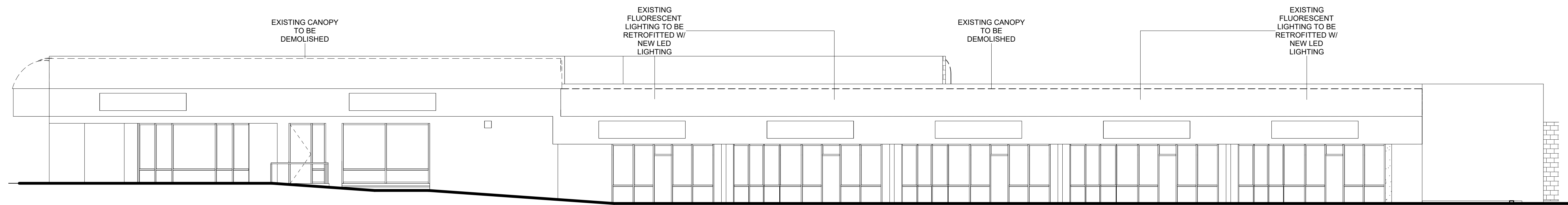
DEMO ELEVATIONS

DATE

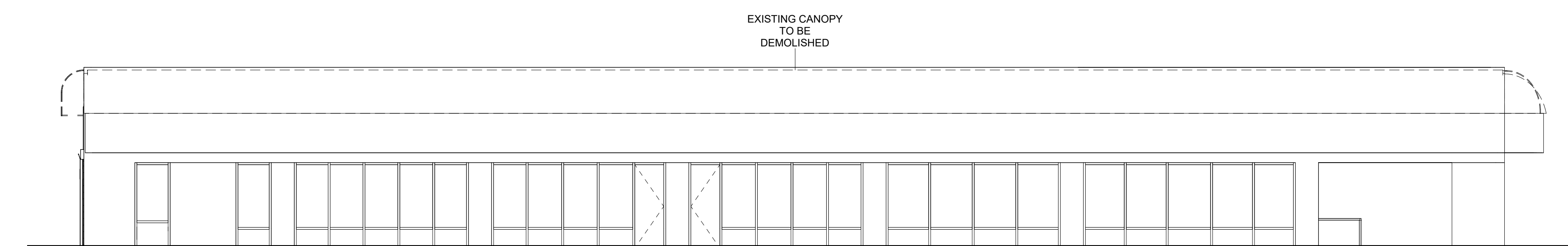
12/13/24

SHEET NUMBER

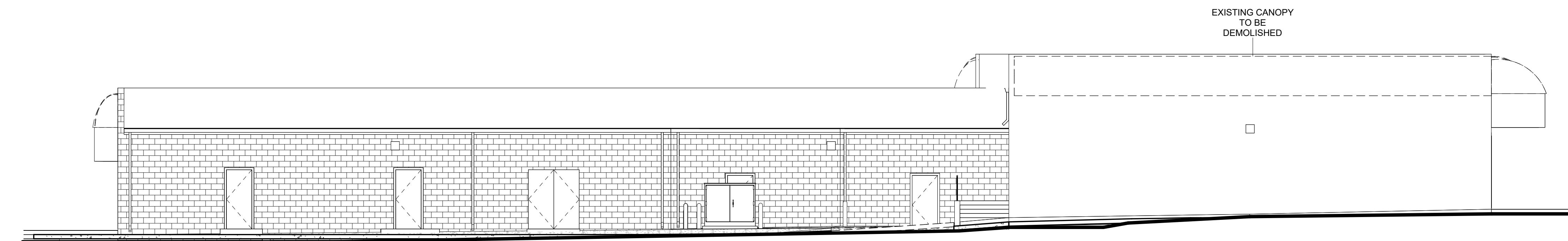
D3.0



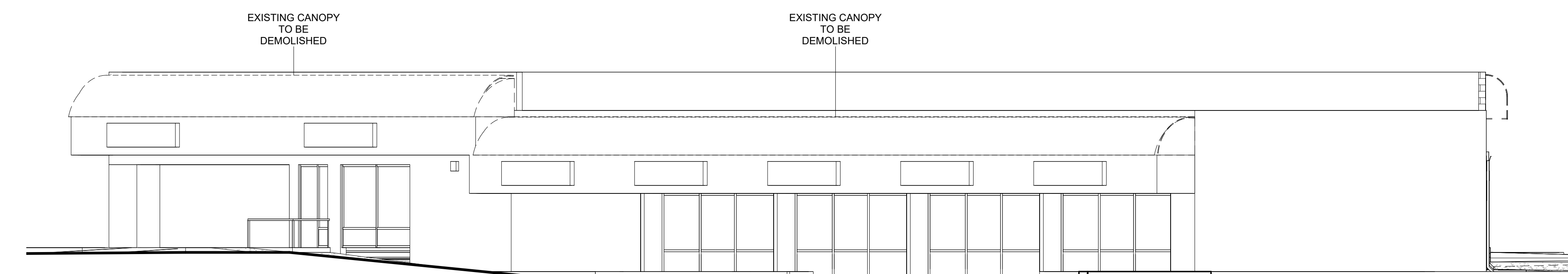
1 DEMO NORTH ELEVATION
1/8" = 1'-0"



2 DEMO EAST ELEVATION
1/8" = 1'-0"



3 DEMO SOUTH ELEVATION
1/8" = 1'-0"

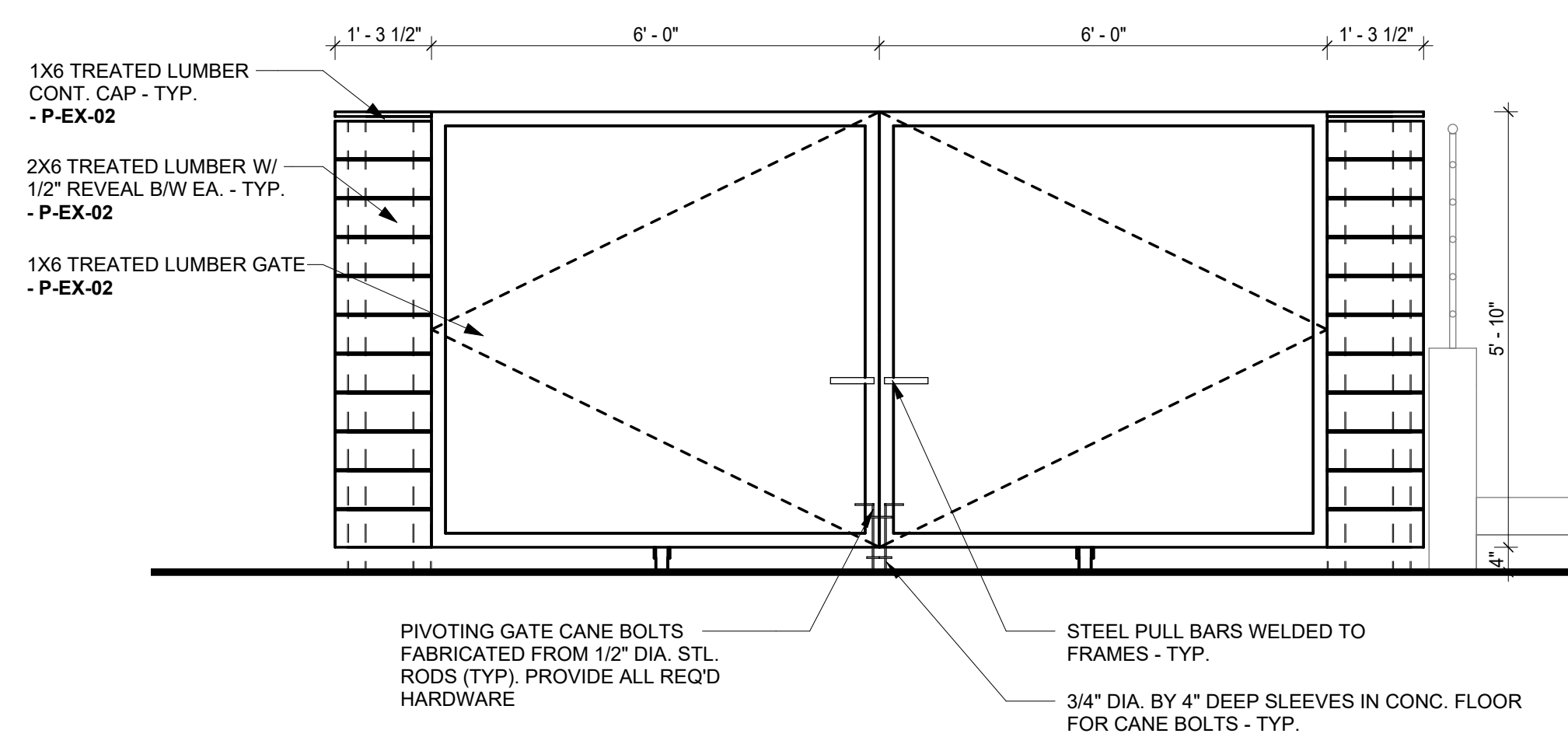


4 DEMO WEST ELEVATION
1/8" = 1'-0"

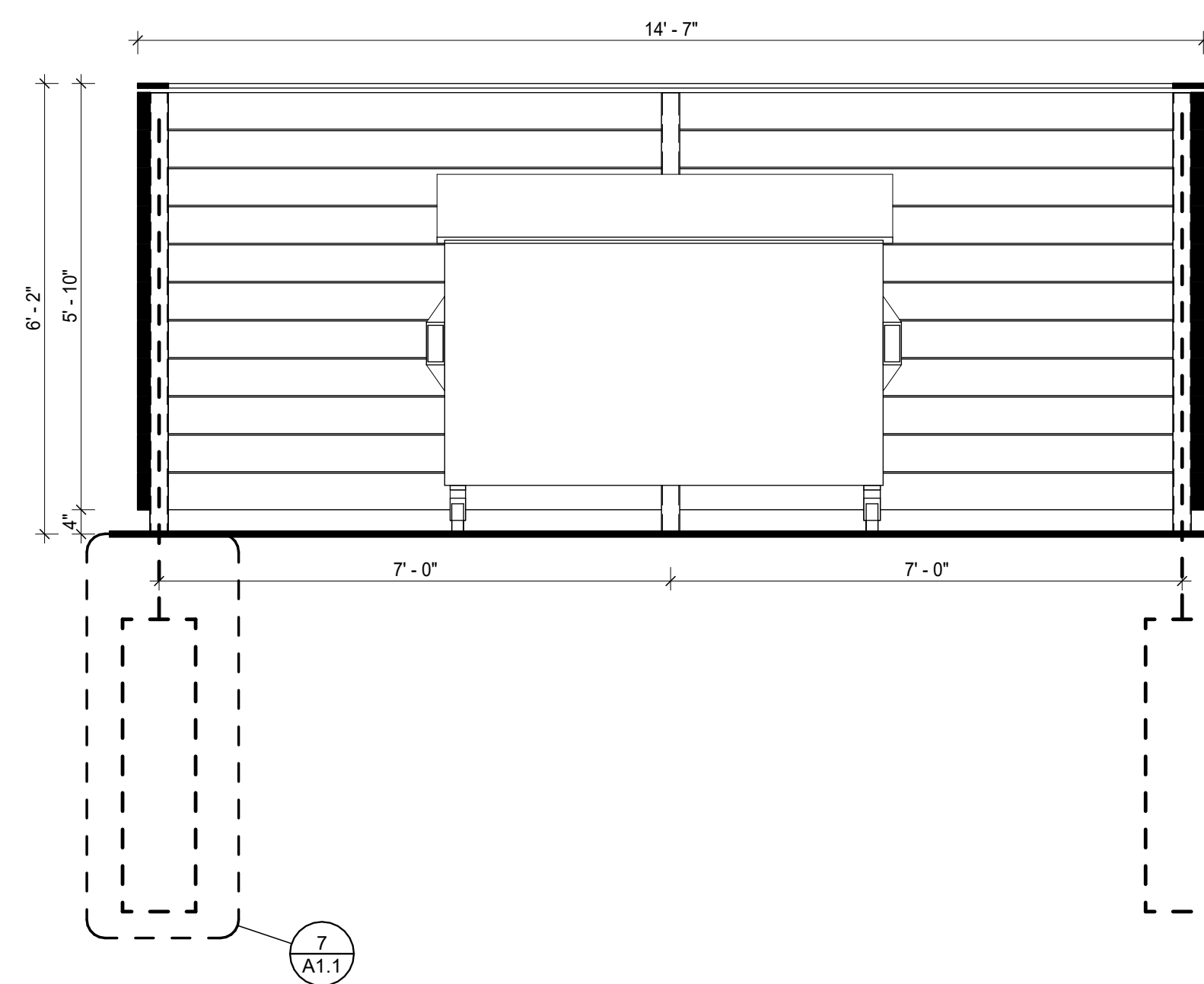
PAINT

P-EX-01
SHERWIN WILLIAMS OFF WHITE - SW1095

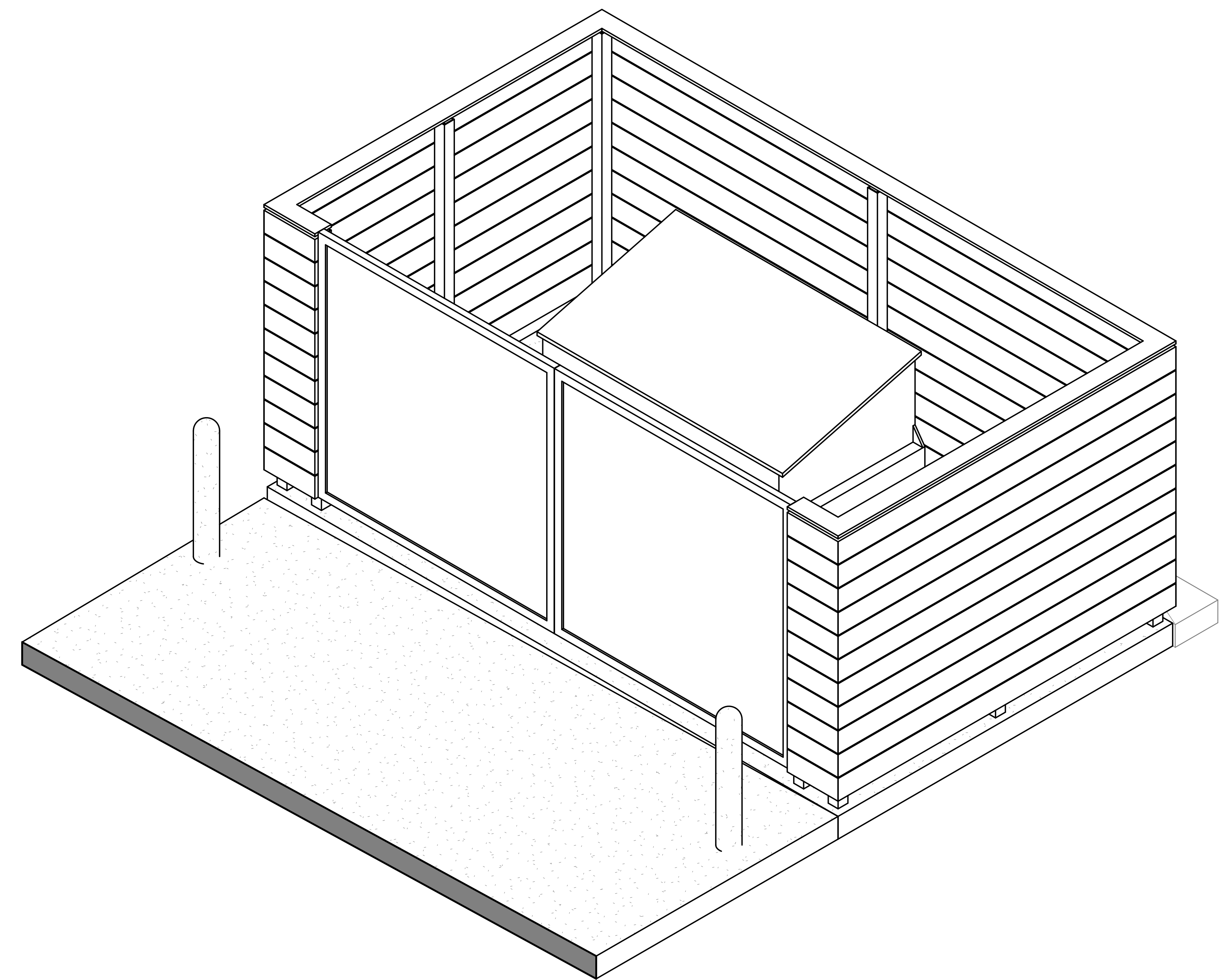
P-EX-02
SHERWIN WILLIAMS PEPPERCORN - SW7674



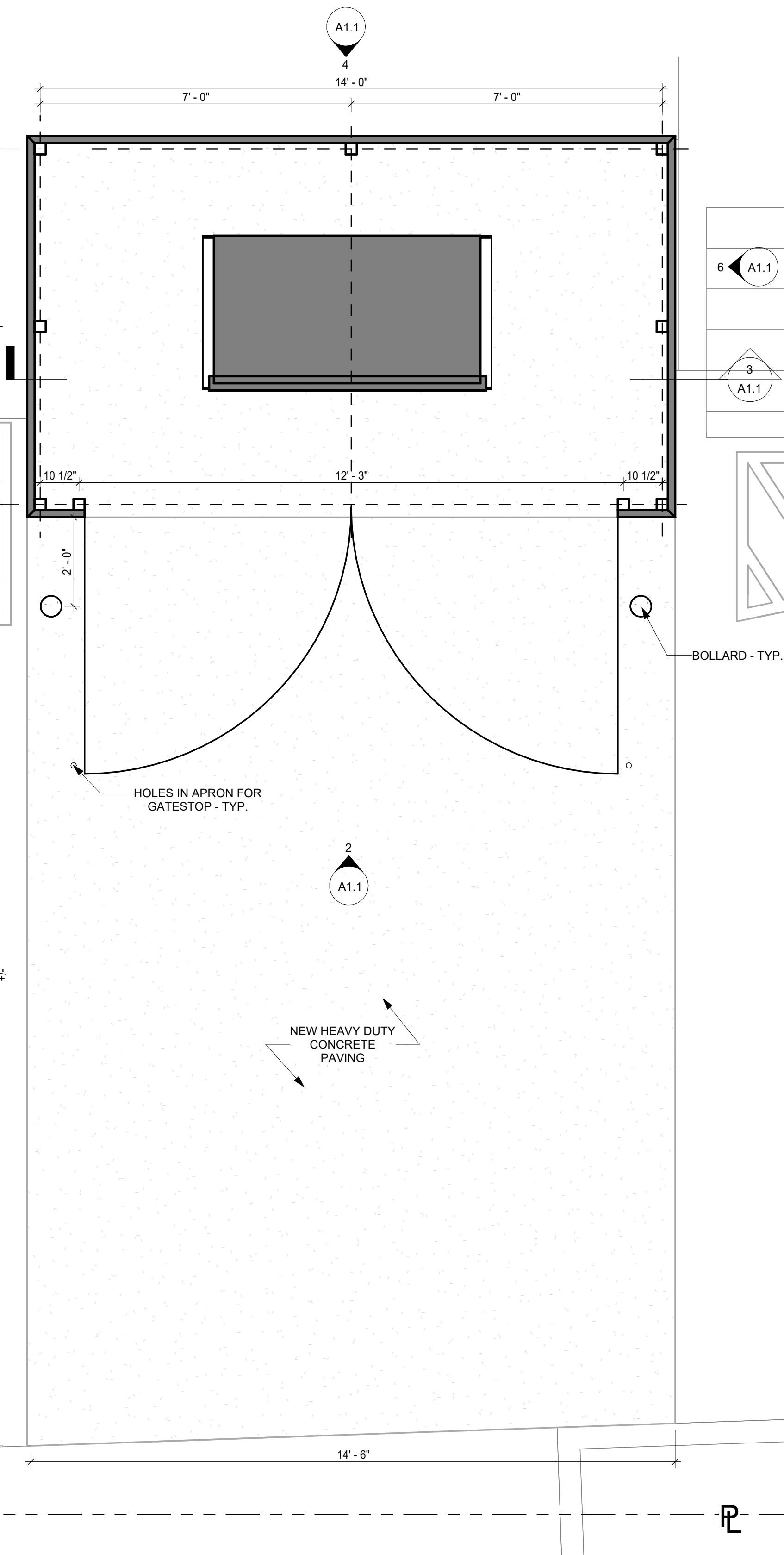
2 SOUTH ELEVATION
1/2" = 1'-0"



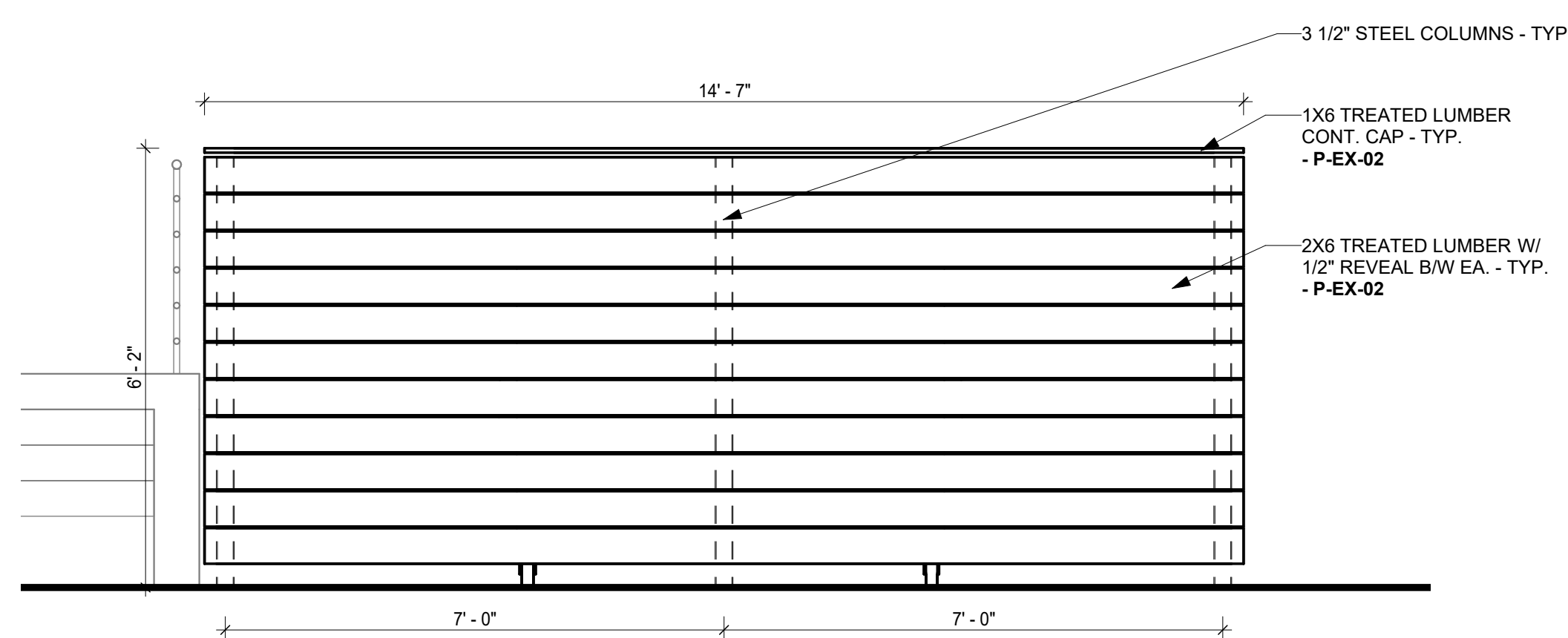
3 SECTION
1/2" = 1'-0"



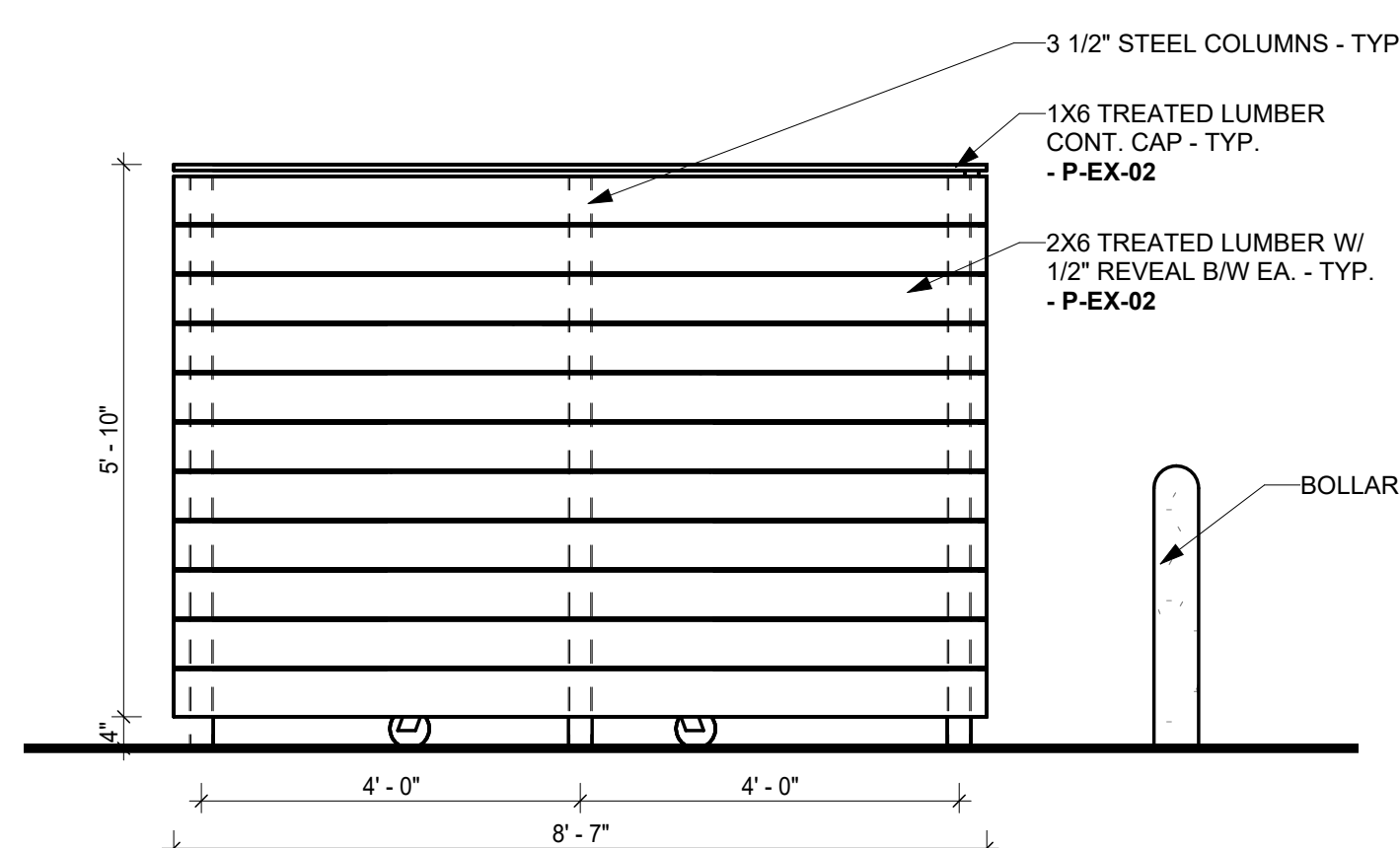
AXONOMETRIC VIEW



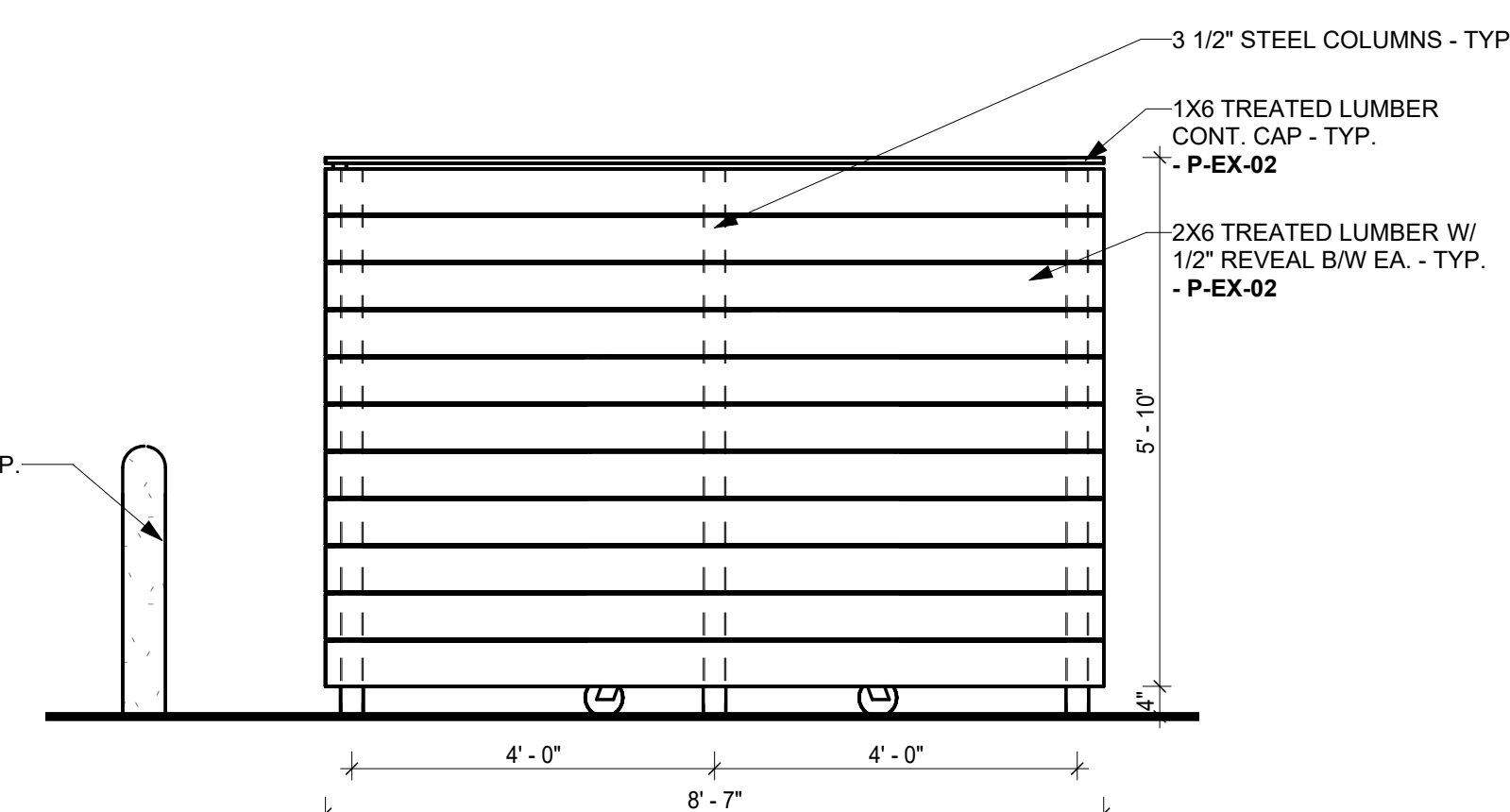
1 ENLARGED PLAN
1/2" = 1'-0"



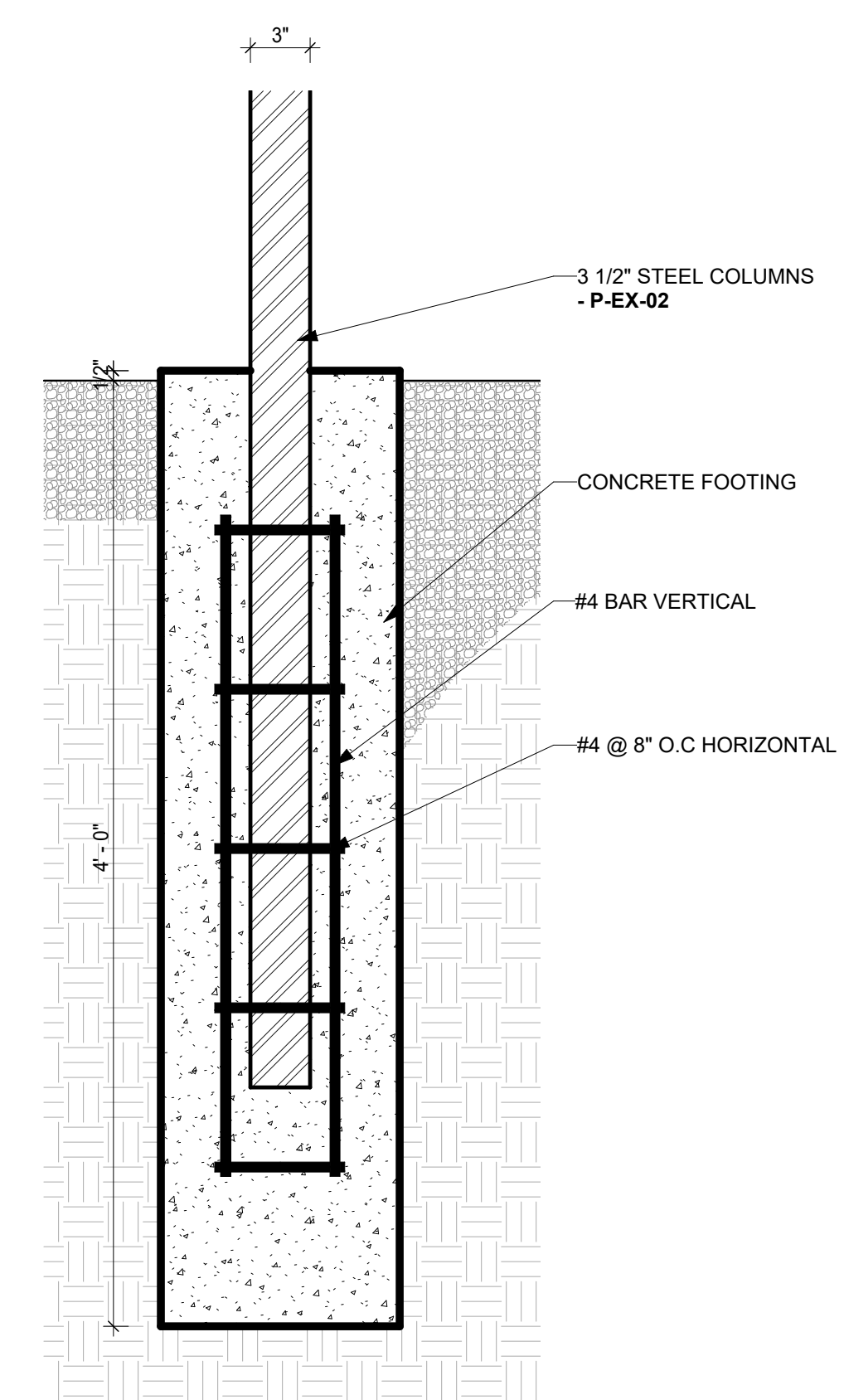
4 NORTH ELEVATION
1/2" = 1'-0"



5 WEST ELEVATION
1/2" = 1'-0"



6 EAST ELEVATION
1/2" = 1'-0"



7 STEEL POST FOUNDATION DETAIL
1 1/2" = 1'-0"

PROJECT NAME
BARTLETT SHOPPING
CENTER

LOCATION
8001 BARTLETT CENTER
DRIVE, BARTLETT TN

PROJECT NUMBER
A-00000

DEVELOPER/OWNER
MR. MARTIN CHOW

PROJECT LOGO

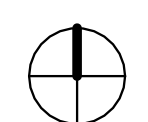
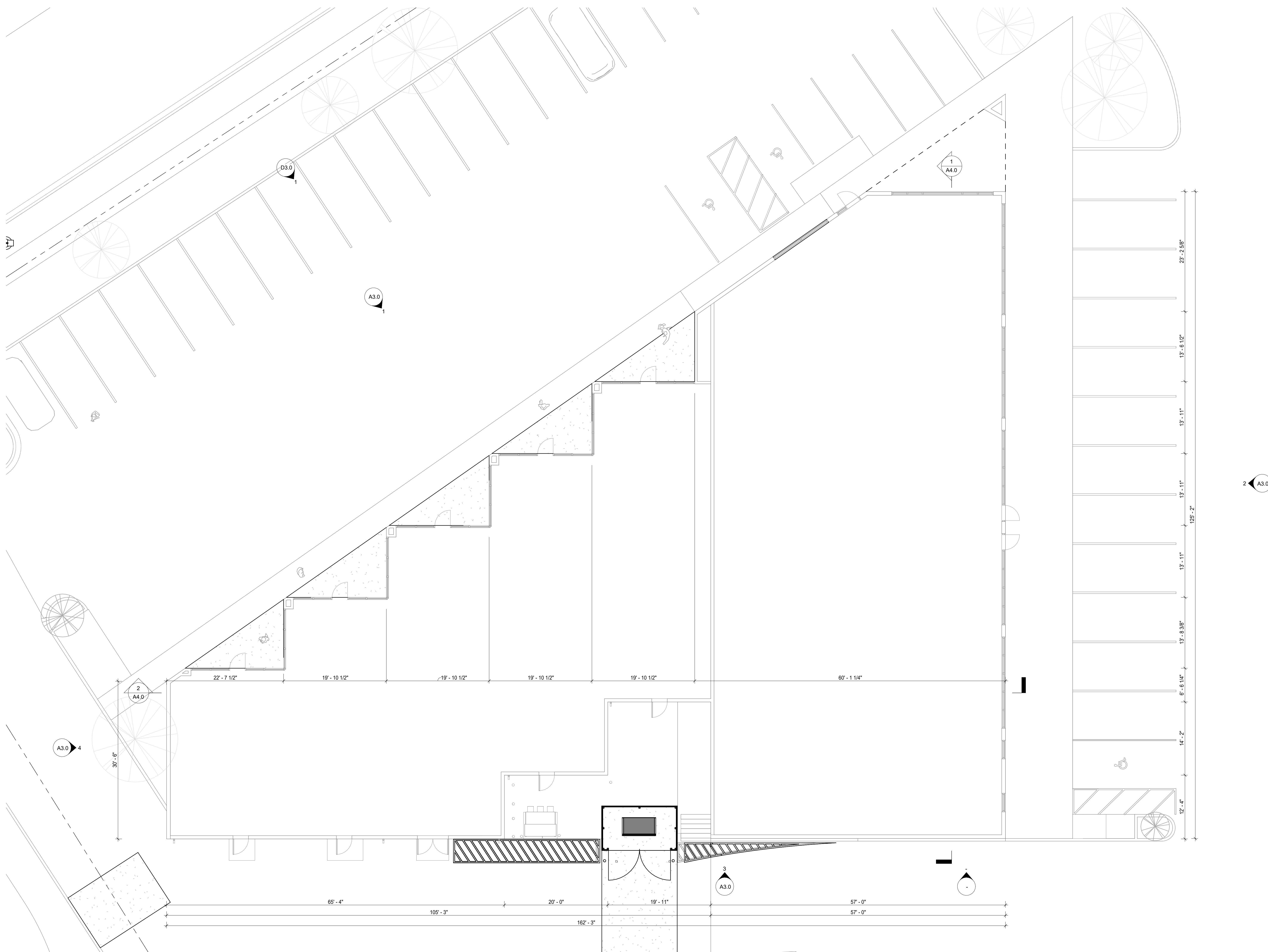
INFORMATION
REVISION ISSUE DATE

SHEET TITLE
FLOOR PLAN

DATE
12/13/24

SHEET NUMBER

A2.0



1 FLOOR PLAN
1/8" = 1'-0"

GENERAL NOTES

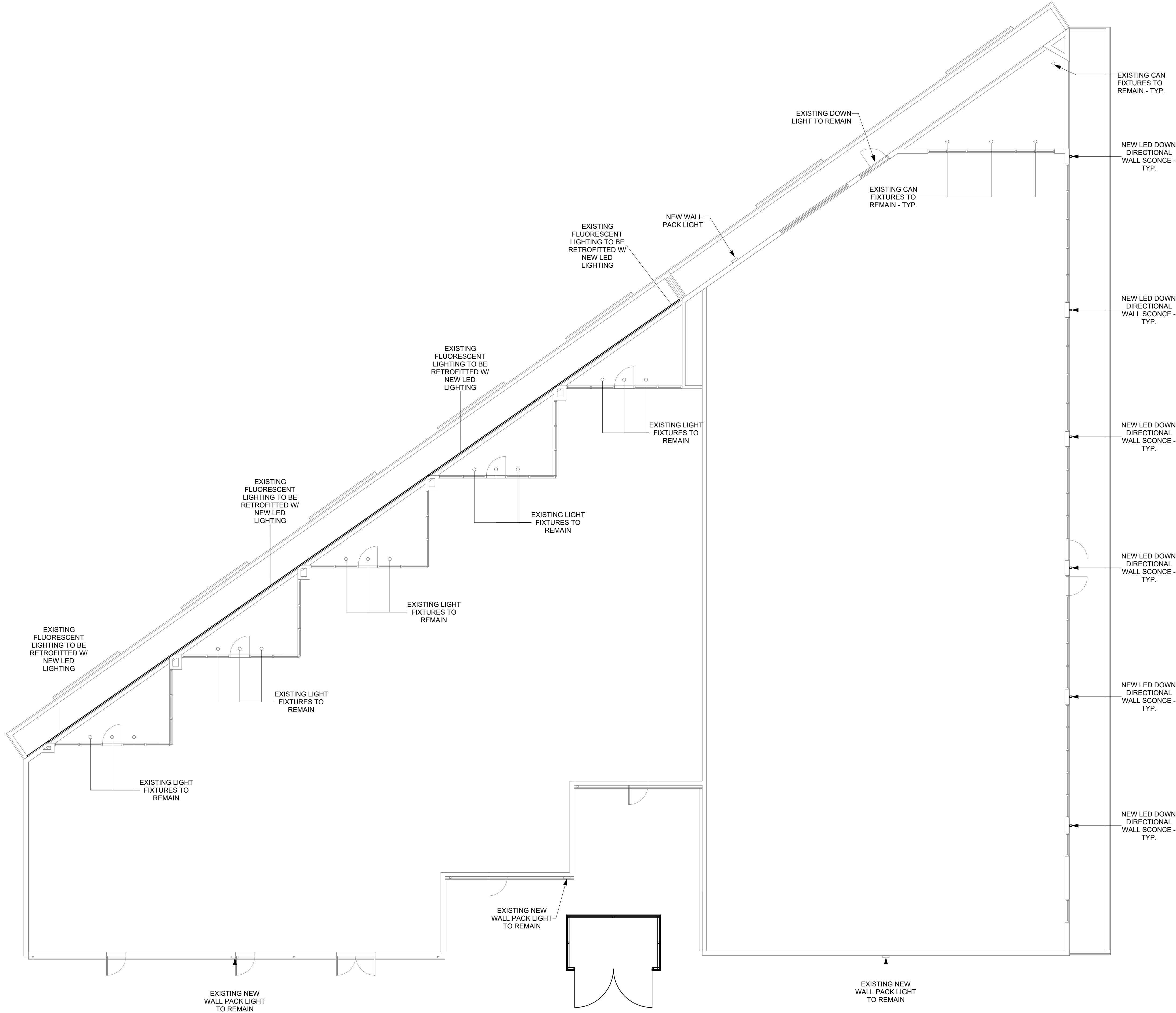
- REFER TO GENERAL NOTES SHEET G0.1 FOR ADDITIONAL INFORMATION.
- REFER TO ELECTRICAL ENGINEERING DWGS FOR LIGHT FIXTURE SPECS.
- ALL GW8 HEADER/ BULK HEAD TO BE PAINTED - COLOR TBD
- CENTER ALL DEVICES ON CEILING TILE UNLESS NOTED OTHERWISE.
- CENTER ALL CEILING TILE SYSTEM IN ROOM UNLESS NOTED OTHERWISE.
- AT ALL PAINTED CEILINGS: PAINT ALL EXPOSED CEILINGS, DUCTWORK, DEVICES, AND EQUIPMENT.
- ALL CEILING TO BE XX-XX" A.F.F. UNLESS NOTED OTHERWISE

CEILING TYPE LEGEND

- REFER TO ELECTRICAL AND MECHANICAL DRAWINGS. REPORT ANY DISCREPANCY TO THE ARCHITECT. CONTRACTOR TO USE THIS SHEET FOR ALL DEVICE & FIXTURE LOCATIONS
- ALL CEILING COMPONENTS INCLUDING PERIMETER TRIM, TRANSITIONS, ETC. TO BE PART OF CEILING MANUFACTURER SYSTEM UNLESS APPROVED BY ARCHITECTURE.
- REFER TO FINISH PLAN FOR PAINT COLOR LOCATIONS. REPORT ANY DISCREPANCY TO THE ARCHITECT.
- SUSPENDED CEILING HEIGHT TO BE AS NOTED ON REFLECTED CEILING PLAN
- WALLS TO EXTEND 12" MINIMUM ABOVE CEILING U.N.O. FIRE RATED AND OR SOUND INSULATED WALLS TO EXTEND TO BOTTOM OF ROOF DECK U.N.O. REFER TO WALL SCHEDULE AND BUIDING SECTIONS.

PROJECT NAME
BARTLETT SHOPPING CENTER
LOCATION
8001 BARTLETT CENTER DRIVE, BARTLETT TN
PROJECT NUMBER
A-00000
DEVELOPER/OWNER
MR. MARTIN CHOW
PROJECT LOGO

INFORMATION
REVISION
ISSUE DATE



PROJECT NAME

BARTLETT SHOPPING
CENTER

LOCATION

8001 BARTLETT CENTER
DRIVE, BARTLETT TN

PROJECT NUMBER

A-00000

DEVELOPER/OWNER

MR. MARTIN CHOW

PROJECT LOGO

INFORMATION

REVISION ISSUE DATE

SHEET TITLE

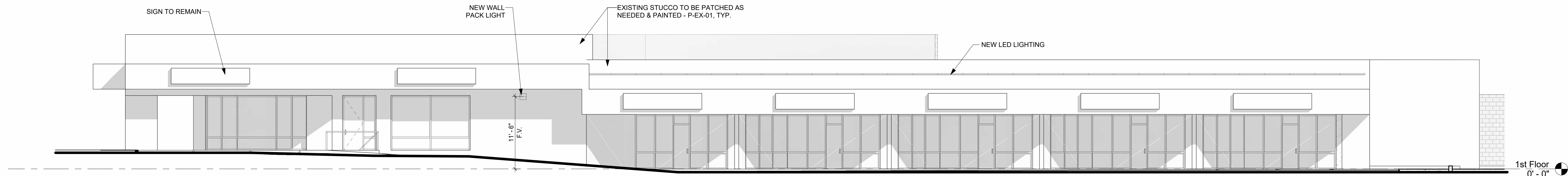
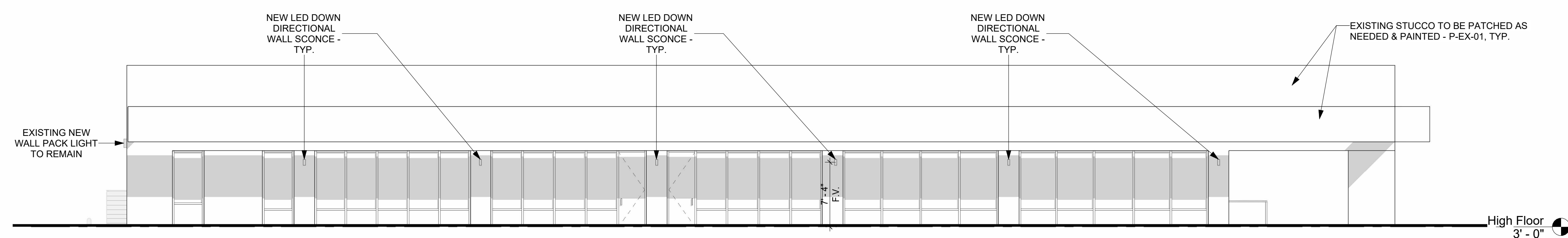
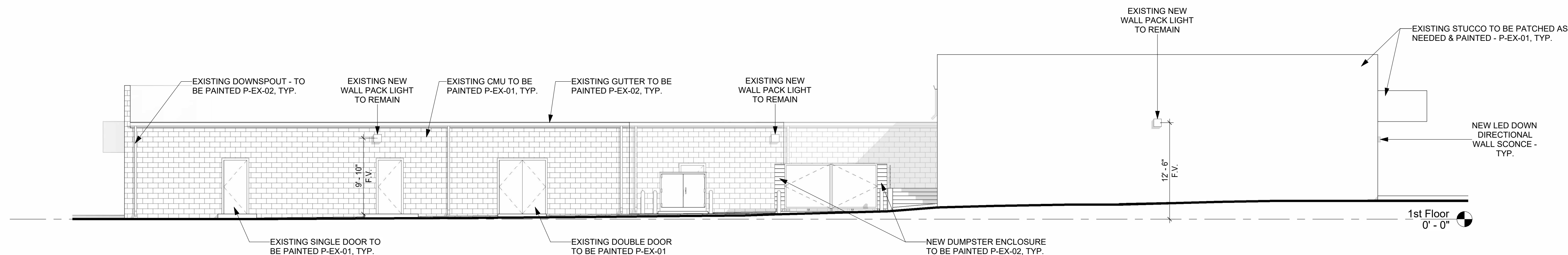
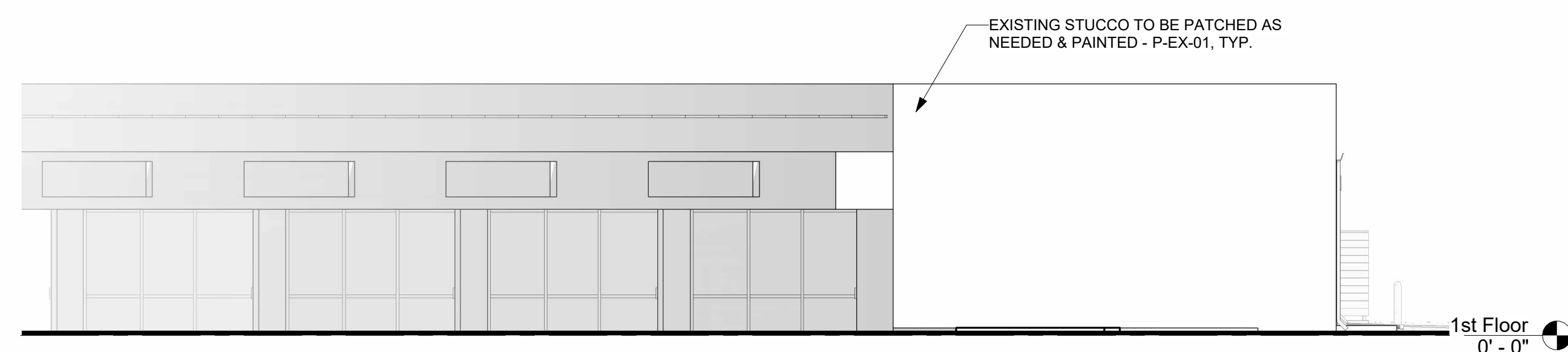
EXTERIOR
ELEVATIONS

DATE

12/13/24

SHEET NUMBER

A3.0

**1 NORTH ELEVATION**
1/8" = 1'-0"**2 EAST ELEVATION**
1/8" = 1'-0"**3 SOUTH ELEVATION**
1/8" = 1'-0"**4 WEST ELEVATION**
1/8" = 1'-0"**PAINT****P-EX-01**
SHERWIN WILLIAMS OFF WHITE - SW1095**P-EX-02**
SHERWIN WILLIAMS PEPPERCORN - SW7674

CALIBER PLUS⁺ ARCHITECTURAL

TYPE "B"

SERIES C73

Decorative LED Cylinder
 77.4-2770 Lummis

APPLICATION

Decorative cylinder is available in a variety of mounting styles and is suitable for indoor or optional outdoor / wet location applications that require the long life and energy saving benefits of LED technology.

FEATURES AND BENEFITS

- Architectural aluminum cylinder housing with powder coat finish.
- Mounting options include Pendant Stem, Wall, Surface, and Cord.
- Wall location listed is available on lensed wall and surface mount models.
- Separate models available for our remote drive platform of iHD and CentraDrive[™] (see below).
- The wall mount option available with glow grating or forward-throw Type 2 applications.
- Primary reflections provide a variety of beam distributions and can be interchanged in the field if necessary.
- Custom colors available.

TECHNICAL DATA

- Input: 120 to 277 VAC, 50-60Hz
- 0.10V 1% forward and forward/reverse pulse (100V) dimming.
- CRI > 80. Available in 90 CRI.
- Available with Radiant[™] Thin[™] high-fidelity human-centric lighting technology.
- Expected lamp life is to 50,000 hours with 70% lumen maintenance when ambient temperatures do not exceed 35°C. Lower ambient temperatures yield longer lamp life.

REMOTE DRIVER OPTIONS (PUBLISHED SEPARATELY)

iHD is the leading Remote Driver[™] features a housing with driver that is recessed in the ceiling and operates a single lighting fixture. Benefits include small 0.25" thick ceiling canopies, emergency EMI options, and longer drive life due to reduced exposure to the heat of the LED arrays. Both new construction and remodel style housings are available.

CentraDrive[™] system features a remote panel that operates multiple lighting fixtures. This remote panel can be installed in an easy-to-access area such as a utility closet. Benefits are the same as our iHD system as well as easy driver replacement.

Lighting fixtures for these remote driver systems are published separately and can be found on our website. Please contact our sales team for more information on these options.

weight 3.5lbs

INTERSEK
 Deep locations
 Optional Wet Location

Related Product

[Click for Remote Driver Version](#)

[i CentraDrive[™]](#)

C73

PATHWAY[™]
 LIGHTING

Pathway Lighting Products, Inc., P.O. Box 91, Elm Creek, CT 06475-0091
 voice 800.342.5592 • fax 800.207.2090 • www.pathwaylighting.com • e-mail sales@pathwaylighting.com

LCB7-0

CALIBER PLUS 
 ARCHITECTURAL

HOW TO ORDER

Catalog # CP301313M302						
Feature Series	Mounting	Delivered Lumens	Thrive™	Color Temp	Beam Distribution	
CP3	A = Cord Mount P = Pinch Mount F = Freedom Mount S = Surface Mount	10 = 1777, 1010, 660 15 = 1980, 1478, 11.4W 20 = 1576, 1000, 16.5W 25 = 1271, 877, 22.8W	I = Three High-Fidelity Tunable-White Channels 92 CRI. Use switching factor of 0.8 to determine delivered lumens. Thrive not available on cord models.	65 = 4500K ¹ 30 = 2700K ² 5 = 2000K ³ W = 44° 4 = 4000K 380 = 3000K 3 = 2000K 27 = 2700K	N = 29° W = 44° Q1 = Wide Beam ⁴ Q2 = Forward Throw Q3 = Wide Beam ⁴ Q4 = Forward Throw Q5 = Wide Beam ⁴	H = Honey Comb Cover ⁵
	Cordless Concept ⁶	9 = 90 CRI				
	CA = Cordless CS = Surface					
Dimming		Dimming	Finish	Options		
Block = No Leds L2 = Color Temperature Glare L3 = Frosted Glass Lens L4 = Soler Thermal Phosporic Glass Lenses Maximum lifetime output of 40,000 hours @ 2000K		DG = 0.1-10V 120-277V [linear] OR forward/reverse phase 120V 0-10V [linear] DT = 1-15.10V [linear] Dimmer DU = 0-10V 1-15 [linear]	Block = Matte White SA = Satin Aluminum B = Matte Black Z = Bronze COLORES [See Last Page]	WL = Wet Location F = Fuse and Full Safety BB = Ballast Box of Ingress Rating FC = Full Covering Ceiling Both available in wet room or wet location models.		
¹ Specify warmest and cold white using "CA" followed by number, e.g. "32" ² 1 = Warm canopy/White cord 5 = Bronze canopy/White cord 9 = Warm canopy/Cher cord ³ 2 = Warm canopy/Black cord 6 = Bronze canopy/Black cord 10 = Black canopy/Cher cord ⁴ 3 = Warm canopy/White cord 7 = Silver canopy/White cord 11 = Silver canopy/Cher cord ⁵ 4 = Black canopy/Black cord 8 = Silver canopy/Black cord 12 = Bronze canopy/Cher cord ⁶ Specify canopy finish using "CP" followed by the letter, e.g. "CP" = White, "B" = White, "B" = Matte Black ⁷ A = Satin Aluminum, 2 = Bronze ⁸ One required for wet location models. Available only for cord mount and surface mount models. Not compatible with cordless concepts. Maximum lifetime designed for wet location models is 30,000 hours @ 2700K, not available in 92 CRI ⁹ 1000K and 2000K are low output and will color shift over time (SOL) ¹⁰ Control cable dependent for remote dimming and color shift (SOL) ¹¹ Control canopy cannot be wet location						

Stems Kit Specification

Quantity 1922454

Pendant Stem	Stem Length	Finish
PK2 = Swivel Pendant For Pendant "P" and Cordless Canopy, "CP"	Stem Length: Specify in increments of 1/16 inches, to be cut to length in the field.	W = Matte White SA = Satin Aluminum B = Matte Black Z = Bronze

See page 4 for more information on mounting styles.

Finish: Type:

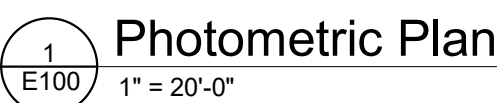
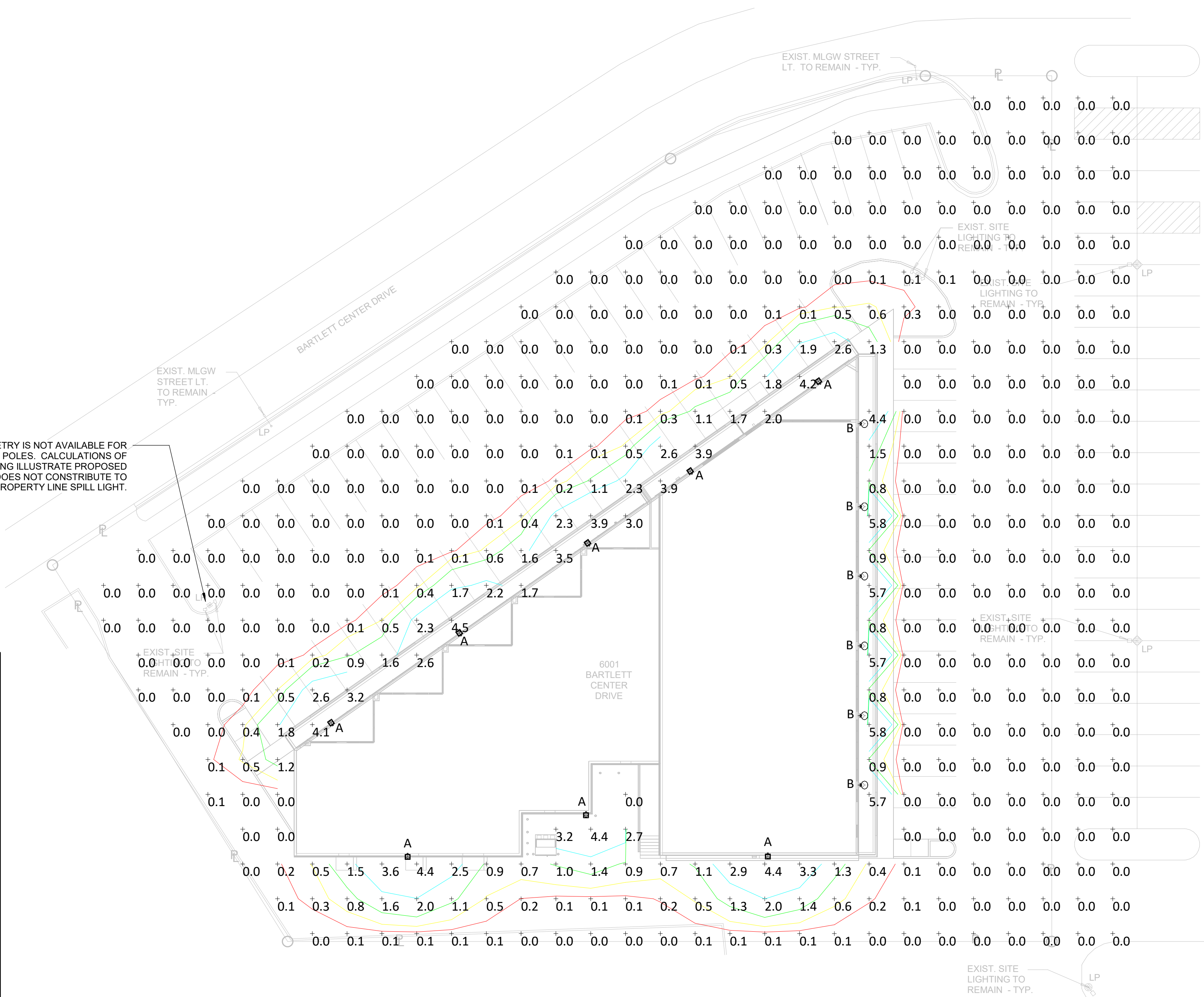
Project:

Thrive™ is a trademark of Adelphi Inc.
 Manufactured and tested to IAP1155/ET52 and CSA standards.
 All Pathway® products meet or exceed requirements as established by the National Electrical Code. Specifications subject to change without notice.



Pathway Lighting Products, Inc., P.O. Box 810, San Clemente, CA 92673-0891
 voice 800.340.0597 fax 800.207.2090 www.pathwaylighting.com e-mail sales@pathwaylighting.com

ICB06-10
 PAGE 2



Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Max/Min
East Side	Illuminance	Fc	3.23	5.8	0.8	7.25
North Side	Illuminance	Fc	3.38	4.5	1.7	2.65

Luminaire Schedule							
Symbol	Qty	Tag	Mounting Height	Lum. Lumens	Lum. Watts	LLF	Description
	8	A	10	2928	16.3	0.900	GWM-A06-740-T2M
	6	B	7	1006	7.8	0.900	C73LB78V1035KM

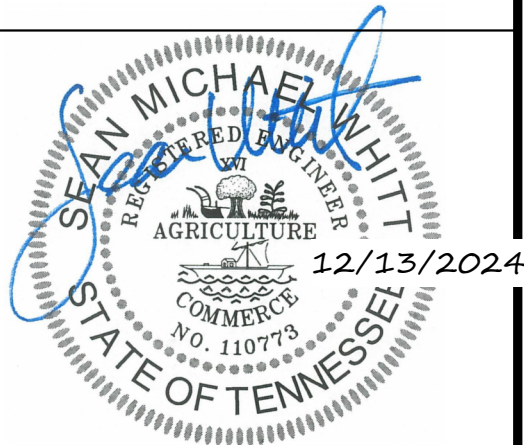
CEANUP
ENGINEERING, INC.
ELECTRICAL ENGINEERING CONSULTANTS
3100 APPLING ROAD * BARTLETT, TENNESSEE 38133
PHONE: (901) 379-9762 * www.ceanupeng.com

© 2024 ARCH 1010

2/20/2025 9:32:13 AM

RENOVATION TO BARTLETT CENTER

MR. MARTIN CHOW
6001 BARTLETT CENTER DRIVE, BARTLETT TN



ARCH 1010

COPYRIGHT 2024

Joshua N. Bellaire
ARCHITECT

[illegible]

PROJECT # 21032

DATE:12/13/2024

DRAWN BY: dpw

Photometric Plan

E100

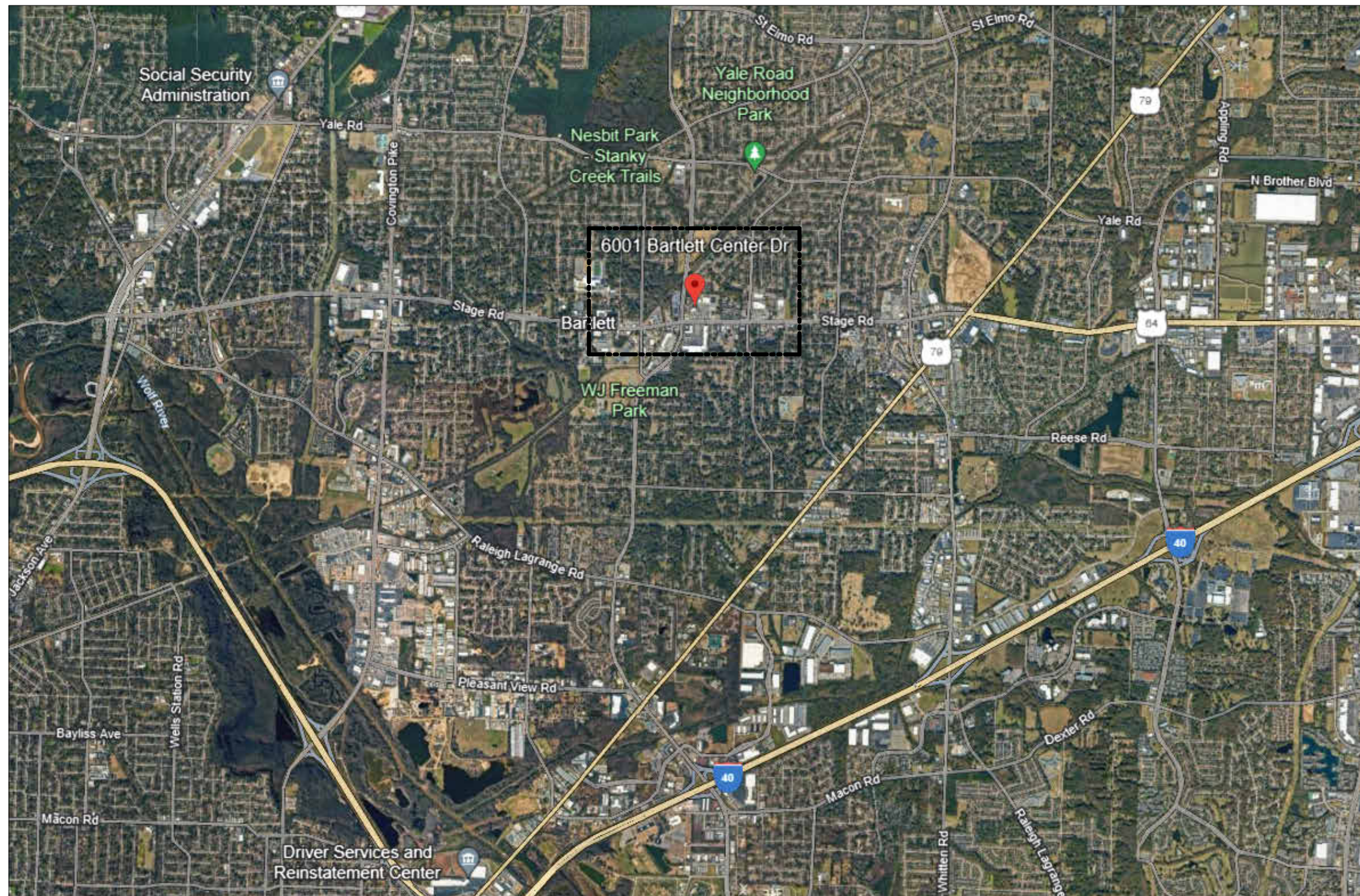
BARTLETT SHOPPING CENTER

6001 BARTLETT CENTER DRIVE, BARTLETT TN

CONSTRUCTION DOCUMENT 12/13/24



VICINITY MAP



DESIGN TEAM

ARCHITECT
ARCH1010
676 Marshall Ave, Suite 101
Memphis, TN 38104
P. (901) 497-6563

INDEX TO DRAWINGS

GENERAL	
T0.0	COVER SHEET
G1.0	GENERAL INFORMATION
ARCHITECTURAL	
D0.0	DEMO AXO VIEWS
D1.0	DEMO SITE PLAN
D2.2	DEMO RCP
D3.0	DEMO ELEVATIONS
A1.0	ARCHITECTURAL SITE PLAN
A1.1	SITE DETAILS
A2.0	FLOOR PLAN
A2.2	REFLECTED CEILING PLAN
A3.0	EXTERIOR ELEVATIONS
ELECTRICAL	
E100	PHOTOMETRIC PLAN

ABBREVIATIONS

ABV.	ABOVE	LARCH.	LANDSCAPE ARCHITECT
AC.	AIR CONDITIONING	LAV.	LAVATORY
ACM.	ALUMINUM COMPOSITE MATERIAL	LKB.	LOCKABLE
ACT.	ACOUSTICAL CEILING TILE	LOW.	LOWER
ADA.	AMERICANS WITH DISABILITIES ACT	LT.	LIGHT
ADJ.	ADJACENT	MAT.	MATERIAL
AFF.	ABOVE FINISHED FLOOR	MAX.	MAXIMUM
AGG.	AGGREGATE	MCH.	MELANINE COATED PARTICLE BOARD
ALT.	ALTERNATE	MECH.	MECHANICAL
ALUM.	ALUMINIUM	MEMB.	MEMBRANE
ANOD.	ANODIZED	MEP.	MECHANICAL, ELECTRICAL & PLUMBING
APPROX.	APPROXIMATE	MFG.	MANUFACTURER
ARCH.	ARCHITECTURAL	MIN.	MINIMUM
BD.	BOARD	MISC.	MISCELLANEOUS
BLDG.	BUILDING	MOD. BIT.	MODIFIED BITUMEN
BLKG.	BLOCKING	M.R.	MOISTURE RESISTANT
B.O.	BOTTOM OF	MTL.	METAL
BOT.	BOTTOM	MULL.	MULLION
BTW.	BETWEEN	NA	NOT AVAILABLE
BYND.	BEYOND	NIC	NOT IN CONTRACT
CDR.	CARD READER	NO.	NUMBER
C.G.	CORNER GUARD	NOM.	NOMINAL
C.J.	CONTROL JOINT	NTS.	NOT TO SCALE
C.L.	CENTER LINE	O.C.	ON CENTER
CLG.	CEILING	O.D.	OUTSIDE DIAMETER
CLR.	CLEAR / CLEARANCE	OFCI	OWNER FURNISHED, CONTRACTOR...
CLSR.	CLOSER	OFOI	OWNER FURNISHED, OWNER INSTALLED
CMU.	CONCRETE MASONRY UNIT	OPG.	OPENING
COL.	COLUMN	OPP.	OPPOSITE
CONC.	CONCRETE	PERF.	PERFORATED
CONN.	CONNECTION	PLAM.	PLASTIC LAMINATE
CONST.	CONSTRUCTION	PLUMB.	PLUMBING
CONT.	CONTINUOUS	PRE-FIN.	PRE-FINISHED
COORD.	COORDINATE	PROG.	PROGRAMMING
CORR.	CORRUGATED	PSF.	POUNDS PER SQUARE FOOT
CORRUG.	CORRUGATED	PSI.	POUNDS PER SQUARE INCH
CPT.	CERAMIC TILE	P.T.	PRESSURE-TREATED
C.T.	CERAMIC TILE	PTD.	PAINTED
CTR.	CENTER	PWD.	PLYWOOD
DBL.	DOUBLE	Q.S.	QUARTZ SURFACE
DEMO.	DEMOLITION	RCP.	REFLECTED CEILING PLAN
D.F.	DRINKING FOUNTAIN	REF.	REFER / REFERENCE
DIA.	DIAMETER	REF.	REFRIGERATOR
DIM.	DIMENSION	REINF.	REINFORCEMENT / REINFORCING
DN.	DOWN	REO'D.	REQUIRED
DS.	DOWN SPOUT	RM.	ROOM
DTL.	DETAIL	RMC.	RIGID METAL CONDUIT
DWG.	DRAWING(S)	R.O.	ROUGH OPENING
E.A.	EACH	RSF.	RESILIENT SHEET FLOORING
EIFS.	EXTERIOR INSULATION FINISH SYSTEM	RTF.	RESILIENT TILE FLOORING
E.J.	EXPANSION JOINT	RWB.	RESILIENT WALL BASE
EL.	ELEVATION	SCHED.	SCHEDULE
ELEC.	ELECTRICAL	SHWR.	SHOWER
ELEV.	ELEVATOR	SIM.	SIMILAR
ENLGD.	ENLARGED	SPEC.	SPECIFICATION
EOS.	EDGE OF SLAB	S.S.	STAINLESS STEEL
EQ.	EQUAL	SSF.	SOLID SURFACE
EQUIP.	EQUIPMENT	STC.	SOUND TRANSMISSION COEFFICIENT
E.W.	EACH WAY	STD.	STANDARD
EXIST.	EXISTING	STL.	STEEL
EXP.	EXPANSION	STRUCT.	STRUCTURE / STRUCTURAL
EXT.	EXTERIOR	SURF.	SURFACE
F.D.	FLOOR DRAIN	SVF.	SHEET VINYL FLOORING
F.E.	FIRE EXTINGUISHER	TEL.	TELEPHONE
FEC.	FIRE EXTINGUISHER CABINET	TEMP.	TEMPERATURE
FFE.	FIXTURES, FURNITURE AND EQUIPMENT	TLT.	TOILET
FIN.	FINISH	T.O.	TOP OF
FLR.	FLOOR	TYP.	TYPICAL
F.O.	FACE OF	U.C.	UNDER COUNTER
F.R.	FIRE-RESISTANT	U.G.	UNDERGROUND
FT.	FOOT / FEET	UNO.	UNLESS NOTED OTHERWISE
FTG.	FOOTING	VAR.	VARIES
FURRG.	FURRING	VCT.	VINYL COMPOSITE TILE
GA.	GAUGE	VERT.	VERTICAL
GYP.	GYP SUM	VIF.	VERIFY IN FIELD
HDW.	HARDWARE	V.T.	VINYL TILE
HDWD.	HARDWOOD	VWC.	VINYL WALL COVERING
H.M.	HOLLOW METAL	W.	WITH
HORIZ.	HORIZONTAL	W.B.	WEATHER BARRIER
HR.	HOUR	W.C.	WATER CLOSET
HSS.	HOLLOW STRUCTURAL SECTION	W/C.	WHEELCHAIR
HT.	HEIGHT	WD.	WOOD
IBC.	INTERNATIONAL BUILDING CODE	WIN.	WINDOW
I.D.	INSIDE DIAMETER	W.H.	WATER HEATER
INSUL.	INSULATION	W/O.	WITHOUT
INT.	INTERIOR	W.P.	WORK POINT
JT.	JOINT	WPPF.	WATERPROOFING
		W.S.	WEATHER STRIPPING

GOVERNING CODES:

BUILDING CODE:	2021 International Building Code with Local Amendments
ELECTRICAL CODE:	2020 National Electric Code with Local Amendments
MECHANICAL CODE:	2021 International Mechanical Code with Local Amendments
PLUMBING CODE:	2021 International Plumbing Code with Local Amendments
GAS CODE:	2021 International Fuel Gas Code with Local Amendments
GENERAL NOTES	

- The General Contractor for this Project shall address the coordination of the entire scope of work, from the beginning of the construction process through final close-out. The scope of work shall include, but is not limited to, preparation of all completion drawings and diagrams, all schedules for completion, and control of site utilization.
- The General Contractor is solely responsible for all procedures necessary for the completion of this Project.
- The General Contractor for this Project shall include all materials and labor necessary for the completion of the entire scope of work. All materials, labor, tools, equipment, machinery, transportation, heat, water, utilities, and other facilities and services required for safe and proper execution are to be furnished and paid for by the General Contractor.
- Information contained in the Contract Documents shall be interpreted by the Architect. The documents show an overview of the work required under this Contract, as well as other requirements or conditions which might impact the Project. The Contract Documents generally indicate the concept and intent of the Project, and are not meant to necessarily show all conditions or details.
- Drawings are furnished to show design intent for construction only and do not show every condition or aspect of construction. Dimensions shown take precedent over graphic representations. Dimensions shown to existing elements are to be field verified by the General Contractor. Drawings are not to be scaled. Larger scale details take precedence over smaller scale details. The General Contractor is to inform the Architect of any discrepancies prior to proceeding with any work.
- The Contract Documents are designed to reflect a particular occupancy type and use for the structure and associated systems and facilities described. Compliance with all codes and regulations concerning the use and occupancy of the structure is intended. All parts of this work shall adhere to any requirements indicated in the Contract Documents.
- Coordination of all Civil, Structural, Mechanical, Electrical, and Plumbing will be the responsibility of the General Contractor.
- Discrepancies between portions of Contract Documents should be clarified by the General Contractor and Architect prior to proceeding with any work in question.
- The General Contractor shall comply with all rules and regulations as defined by the ADA Guidelines.
- Final clean-up of the building and site shall be the responsibility of the General Contractor. Building and site shall be turned over in a clean and new condition to the Owner.

GENERAL DEMOLITION NOTES

- The General Contractor is responsible for obtaining the Owner's requirements prior to beginning work. All work shall be done in accordance with the Owner's requirements and standard operating procedures for demolition activities.
- The General Contractor shall coordinate with local code officials to ensure that demolition operations are conducted in compliance with all applicable codes.
- The General Contractor shall provide and maintain all existing exits, exit lighting, fire protection devices, and alarms to conform to local building requirements.
- Owner to arrange shut-off of utilities when required by the General Contractor. Do not start demolition until utility disconnection and sealing have been completed and verified in writing.
- Throughout all phases of demolition and construction the Contractor shall be responsible for conducting demolition operations to prevent damage to adjacent buildings, structures, and other facilities and injury to persons. Provide sufficient protection within and beyond demolition/construction areas to eliminate any risk to construction personnel and/or other third-party individuals. Erect and maintain dust-proof partitions and temporary enclosures to limit dust migration and to separate areas from fumes and noise as required.
- Maintain structural integrity of the building.
- Provide and maintain interior shoring, bracing, or structural support to preserve stability and prevent movement, settlement, or collapse of items to be selectively demolished and items which are immediately adjacent to those being removed.
- Perform surveys as the work progresses to detect hazards resulting from the selective demolition.
- Demolish and remove existing construction only to extent required by new construction and as indicated. Use methods required to complete work within limitations of governing regulations and as follows:
 - Neatly cut openings and holes plumb, square, and true to dimensions required. Use cutting methods least likely to damage construction to remain or adjoining construction.
 - Cut or drill from the exposed or finished side into concealed surface to avoid marring existing finished surfaces.
 - Do not use cutting torches until work area is cleared of flammable materials. At concealed spaces, verify condition and contents of hidden space before starting flame-cutting operations.
 - Maintain adequate ventilation when using cutting torches.
 - Remove decayed, vermin-infested or otherwise dangerous and/or unsuitable materials and promptly dispose of off-site.
 - Locate demolition equipment throughout the structure and remove debris and material so as not to impose excessive loads on supporting structure.
 - Burning of materials on site is not permitted.
- Debris resulting from demolition and construction shall be removed daily from the construction site to a waste area provided by the Contractor in coordination with the Owner and Building Manager.
- Limit use of the premises to construction activities in areas indicated in the scope of the project. Allow Owner occupancy and use by building's drivers and maintenance/service personnel at all times.
- All driveways and circulation paths to remain open and available to Owner, or Contractor to provide protected temporary means of egress during necessary phases of construction as required per applicable building codes.

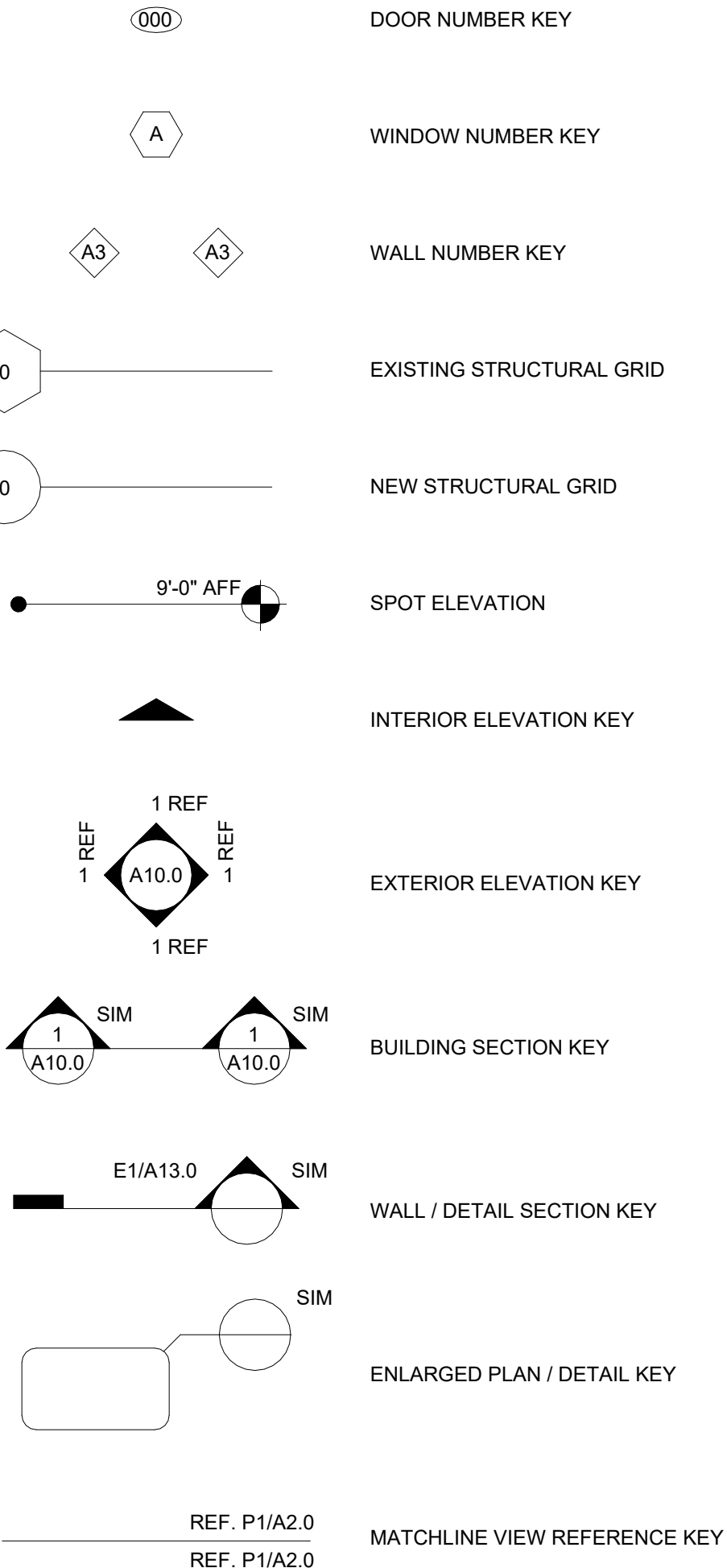
BUILDING DATA

BUILDING:
EXISTING FLOOR AREA 13,075

USE & CONSTRUCTION :
OCCUPANCY CLASSIFICATION:
(According to Chapter 3 of International Building Code 2021)

B

KEY LEGEND



PROJECT NAME
BARTLETT SHOPPING
CENTER

LOCATION
8001 BARTLETT CENTER
DRIVE, BARTLETT TN

PROJECT NUMBER
A-00000

DEVELOPER/OWNER
MR. MARTIN CHOW

PROJECT LOGO

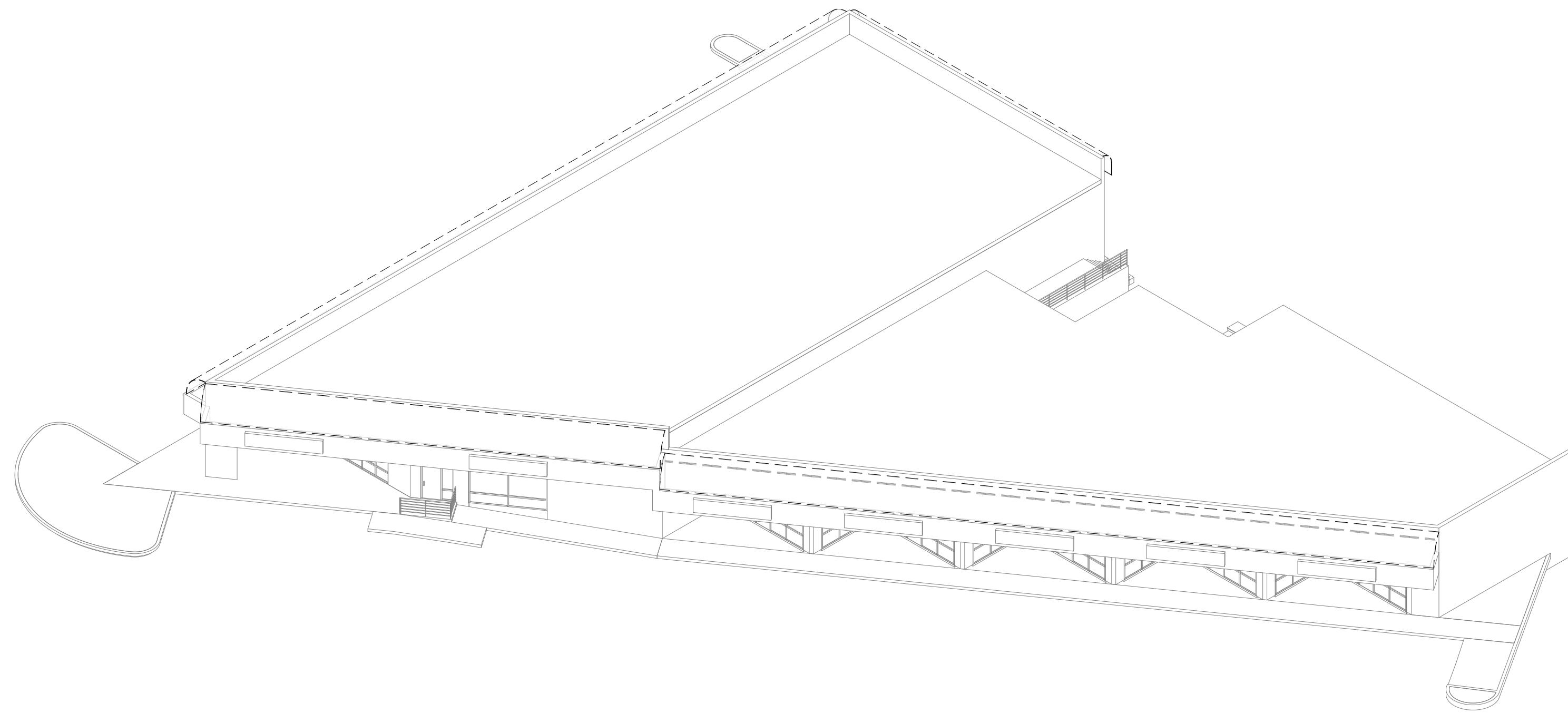
INFORMATION
REVISION ISSUE DATE

SHEET TITLE
DEMO AXO VIEWS

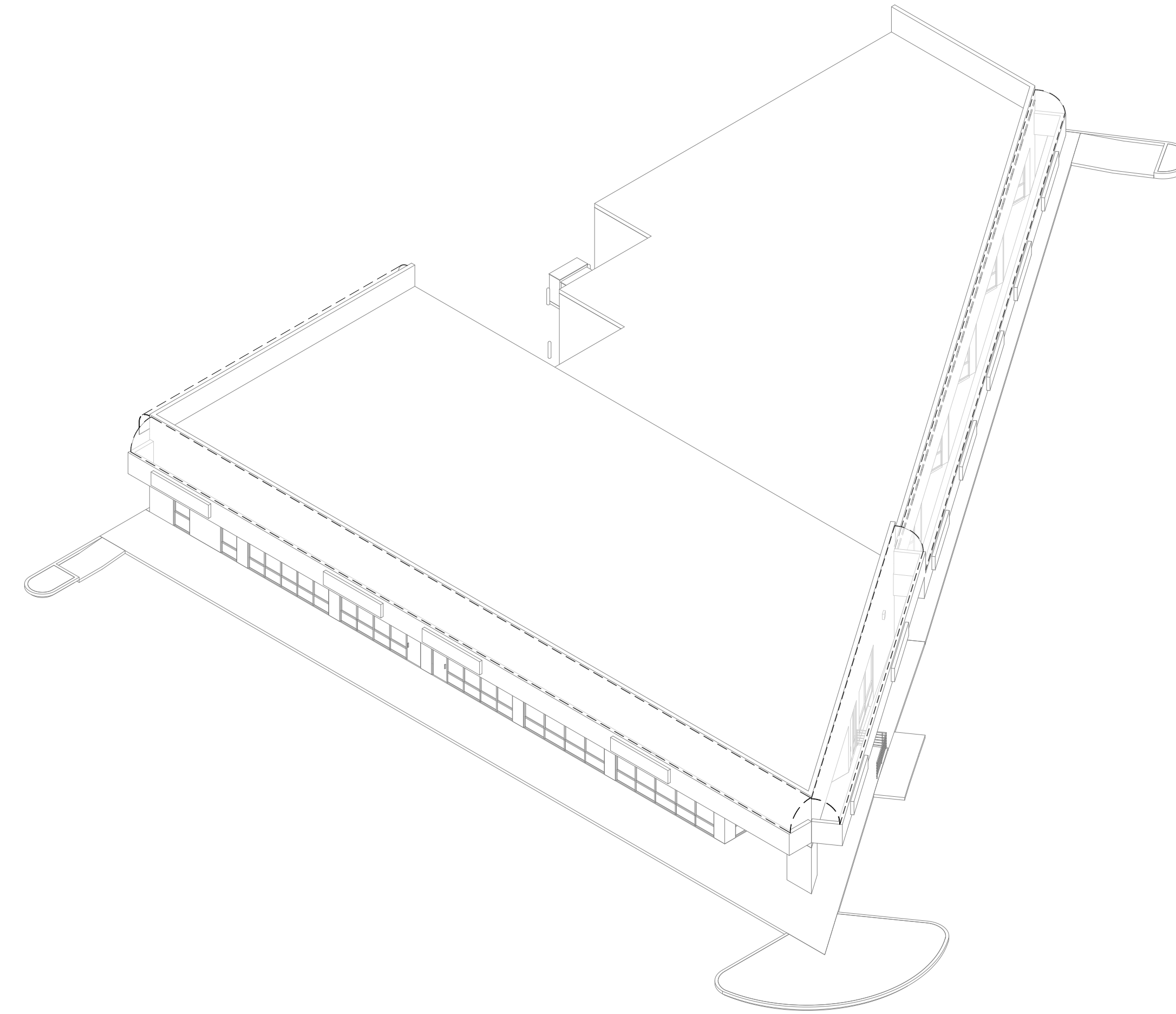
DATE
12/13/24

SHEET NUMBER

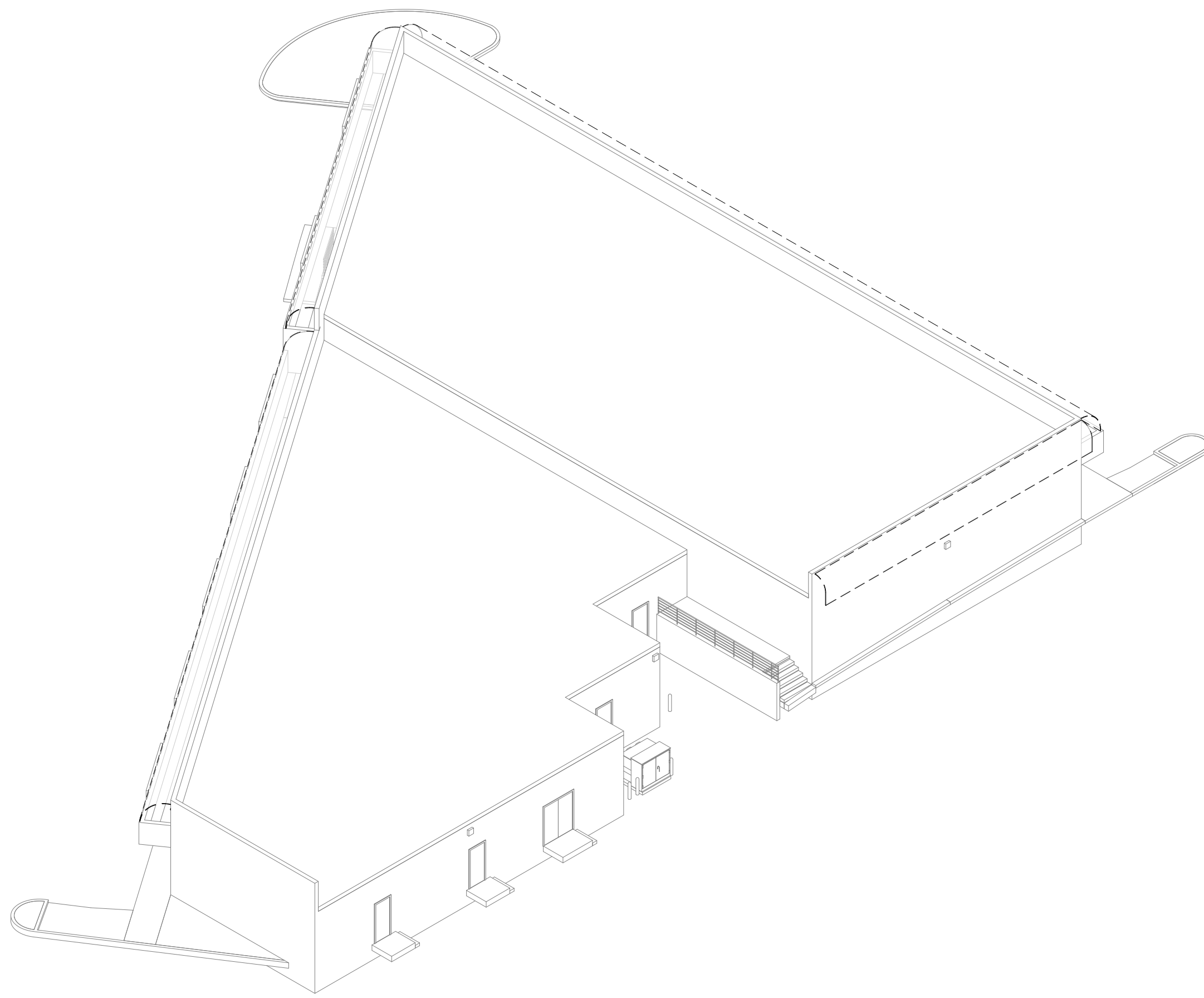
D0.0



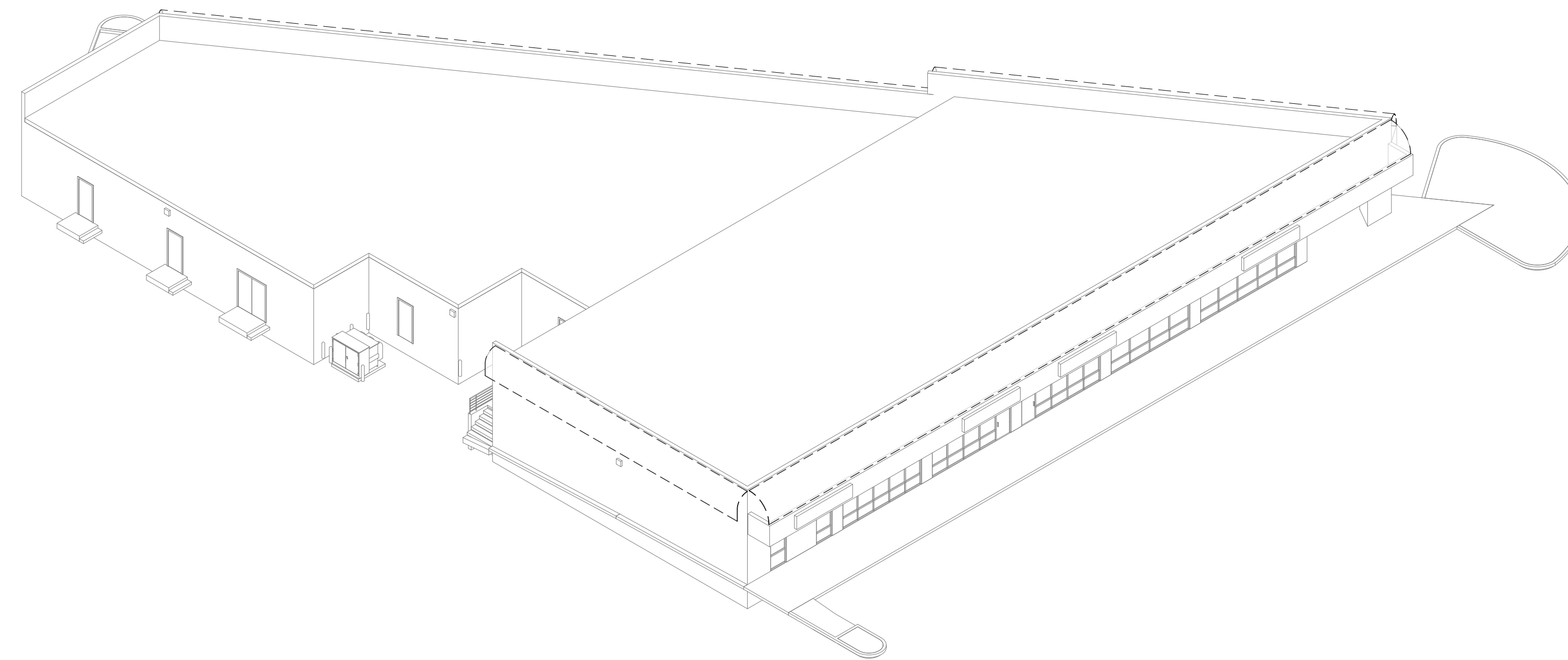
AXO VIEW - NW



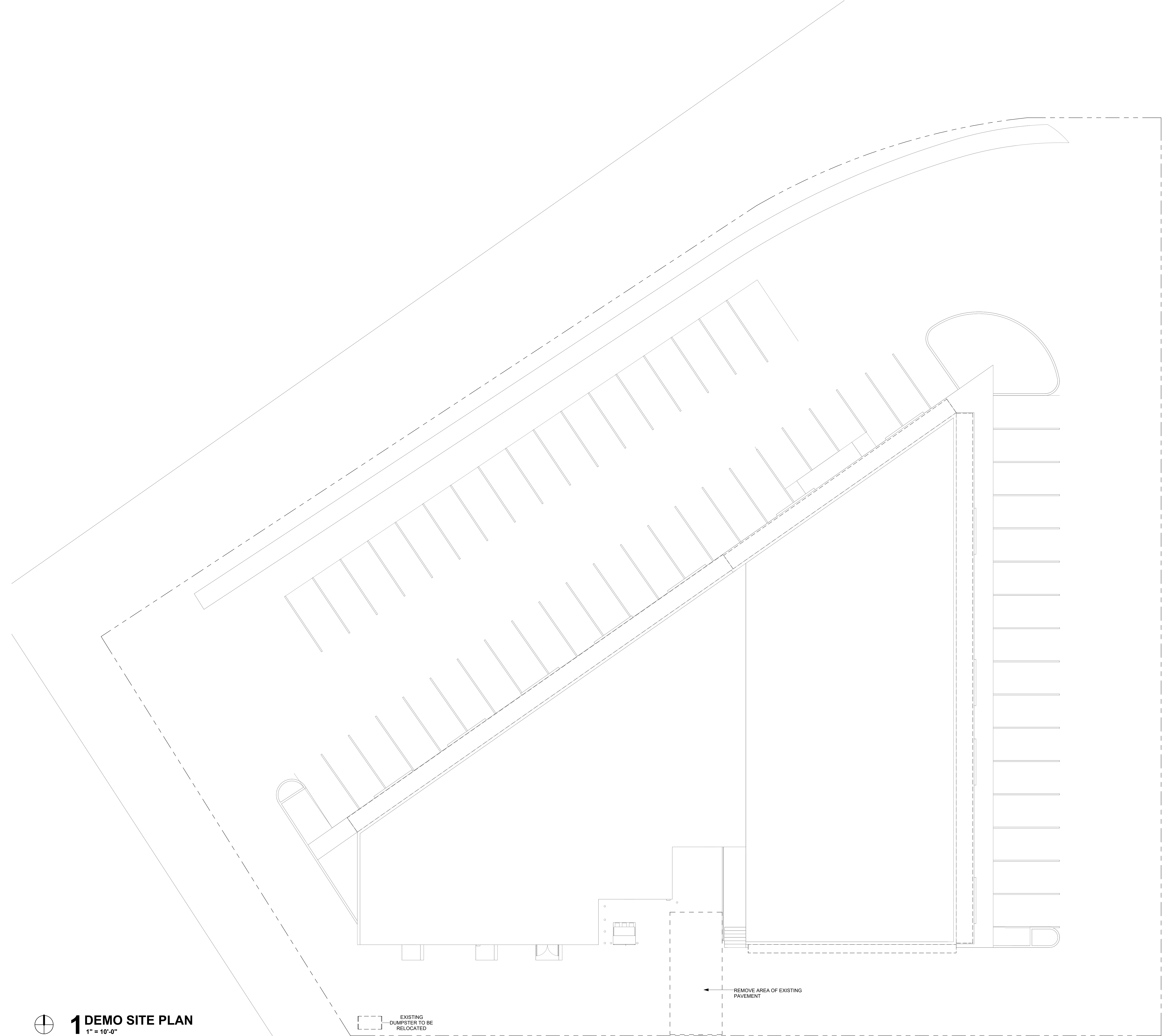
AXO VIEW - NE

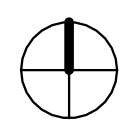


AXO VIEW - SW



AXO VIEW - SE



 **1 DEMO SITE PLAN**
1" = 10'-0"

PROJECT NAME
BARTLETT SHOPPING
CENTER

LOCATION
8001 BARTLETT CENTER
DRIVE, BARTLETT TN

PROJECT NUMBER
A-00000

DEVELOPER/OWNER
MR. MARTIN CHOW

PROJECT LOGO

INFORMATION
REVISION ISSUE DATE

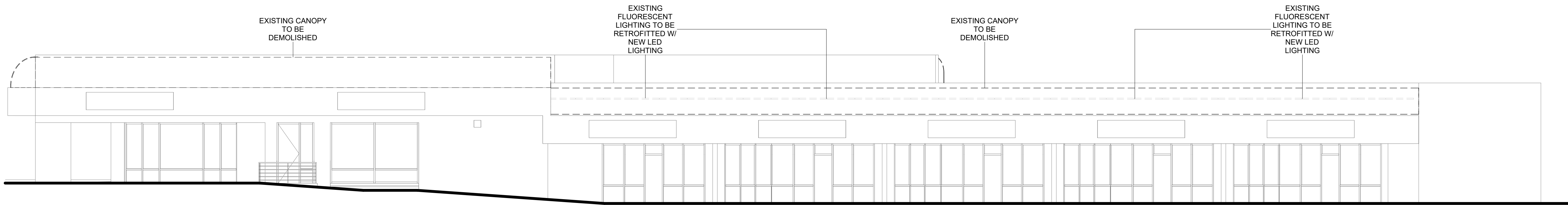
SHEET TITLE
DEMO RCP

DATE
12/13/24

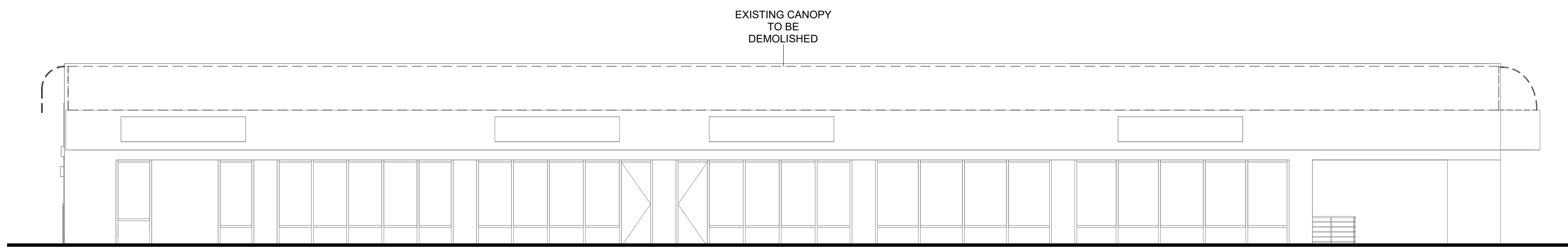
SHEET NUMBER

D2.2

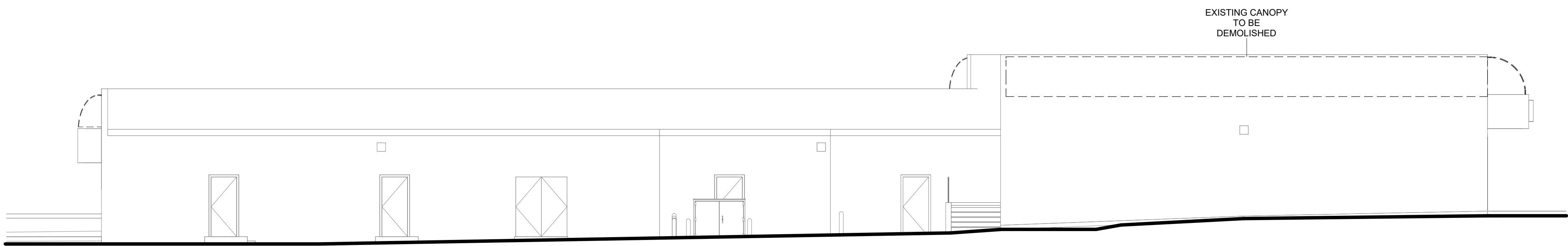




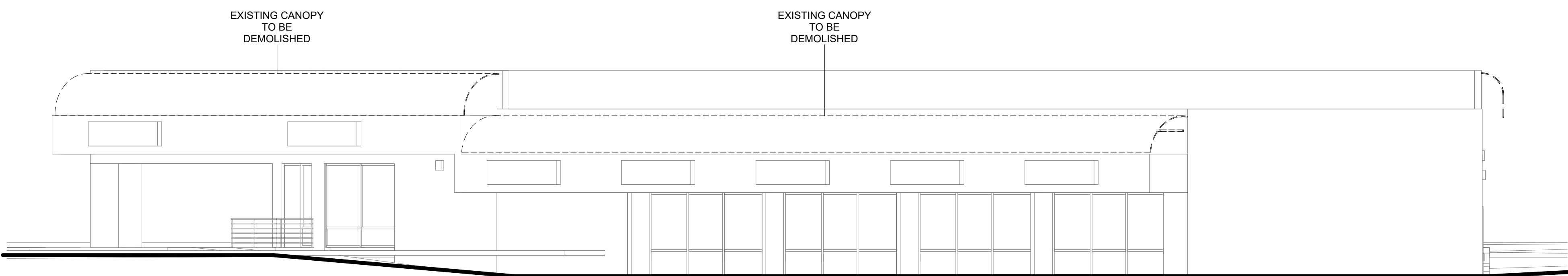
1 DEMO NORTH ELEVATION
1/8" = 1'-0"



2 DEMO EAST ELEVATION
1/8" = 1'-0"



3 DEMO SOUTH ELEVATION
1/8" = 1'-0"



4 DEMO WEST ELEVATION
1/8" = 1'-0"

PROJECT NAME
BARTLETT SHOPPING
CENTER

LOCATION
6001 BARTLETT CENTER
DRIVE, BARTLETT TN

PROJECT NUMBER
A-00000

DEVELOPER/OWNER
MR. MARTIN CHOW

PROJECT LOGO

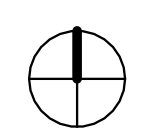
INFORMATION
REVISION ISSUE DATE

SHEET TITLE
ARCHITECTURAL SITE
PLAN

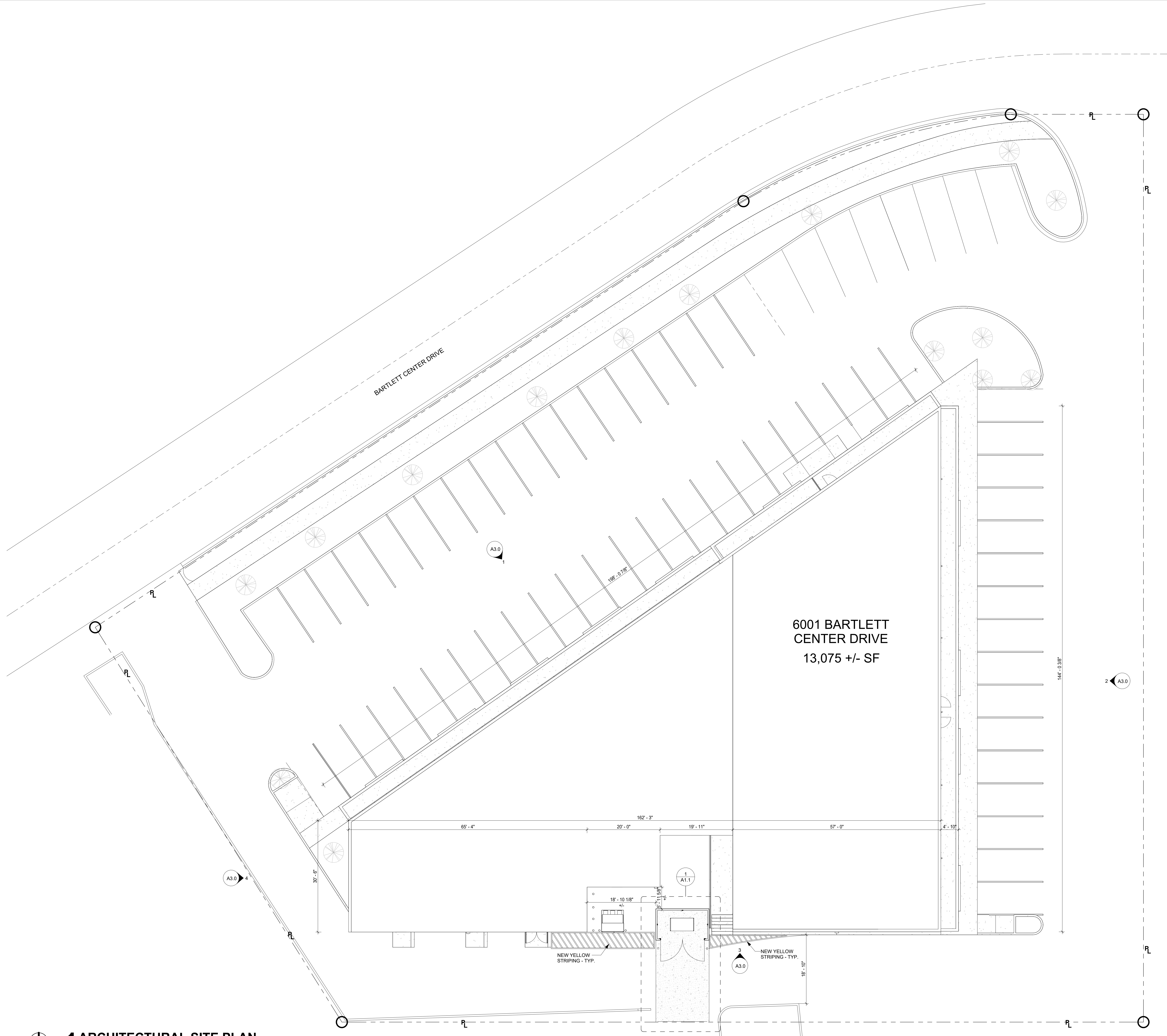
DATE
12/13/24

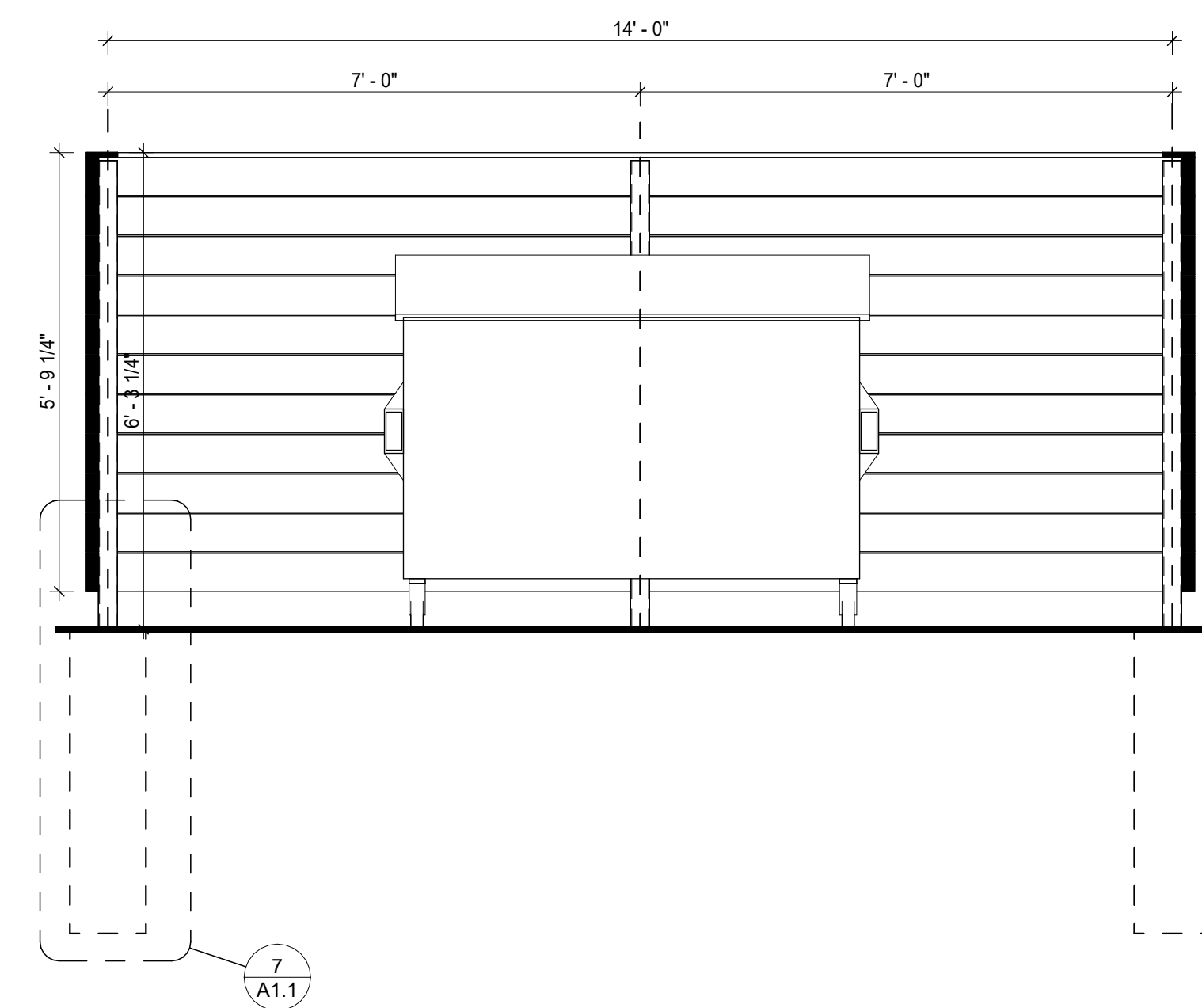
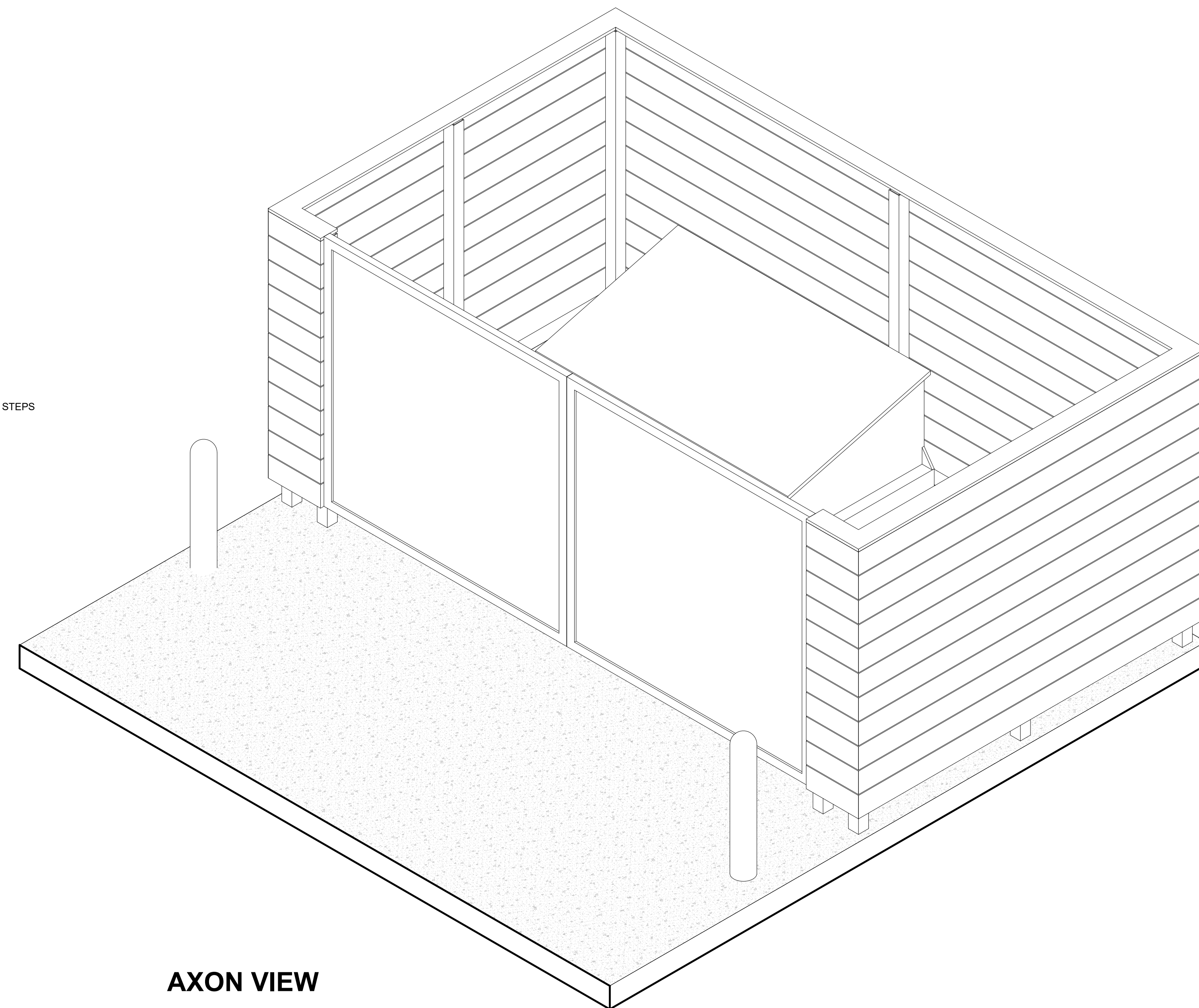
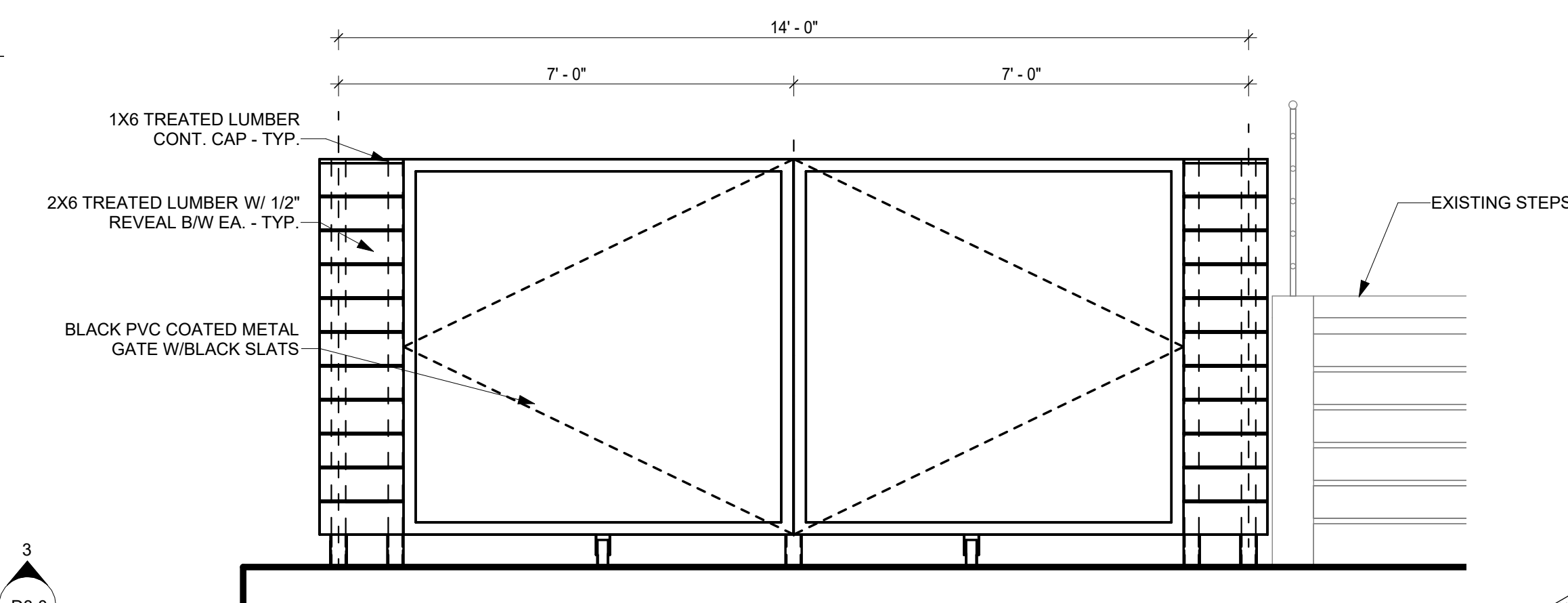
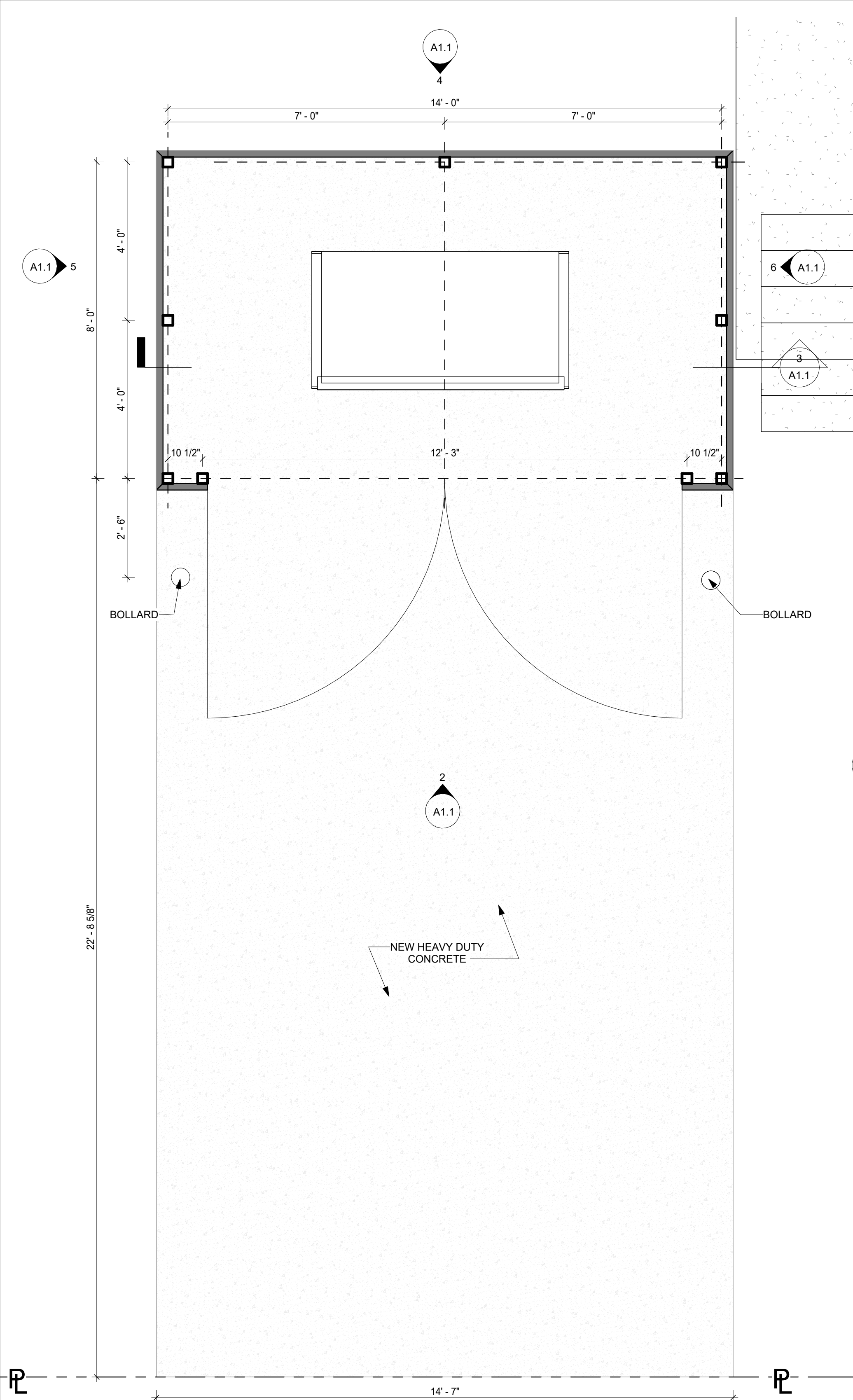
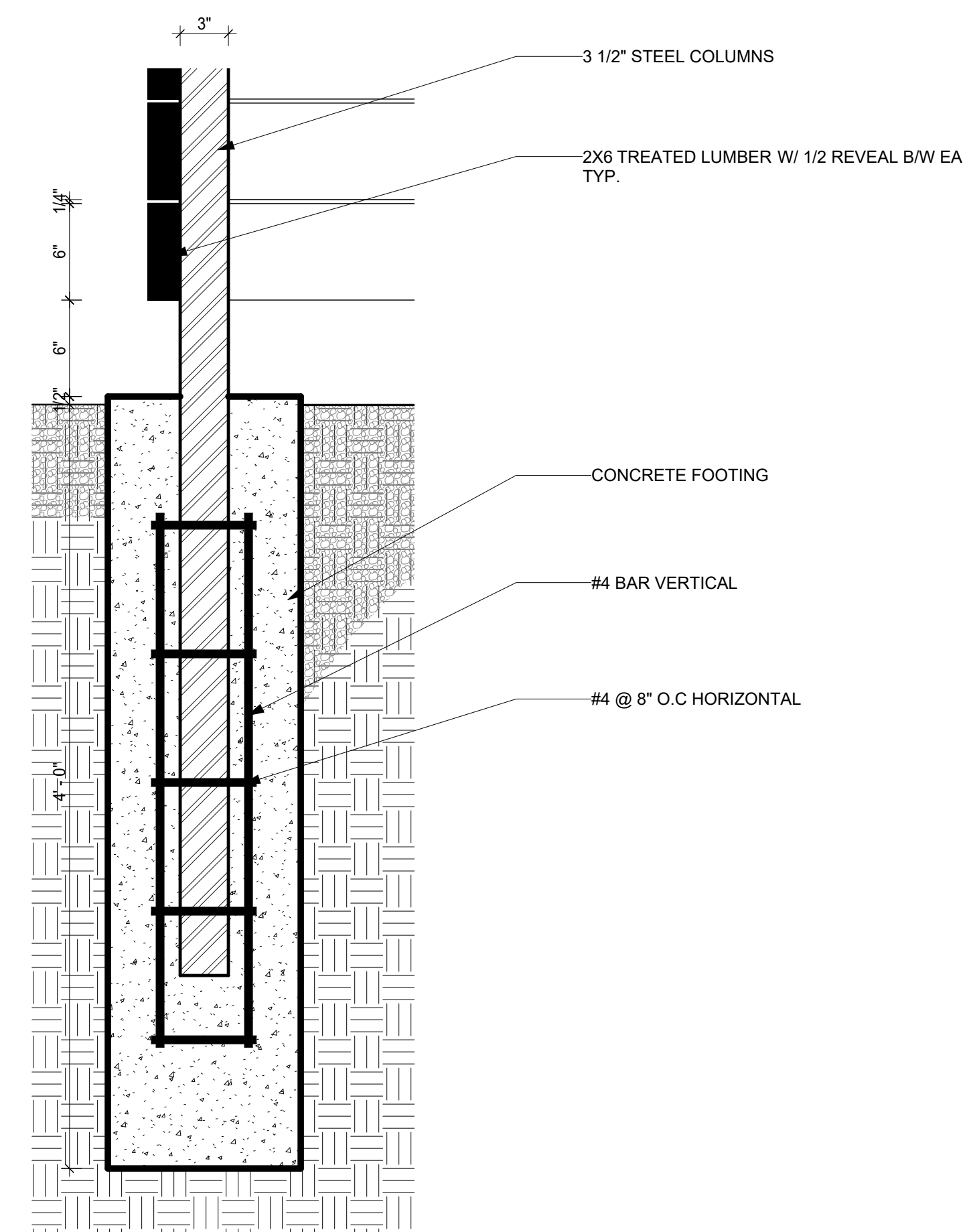
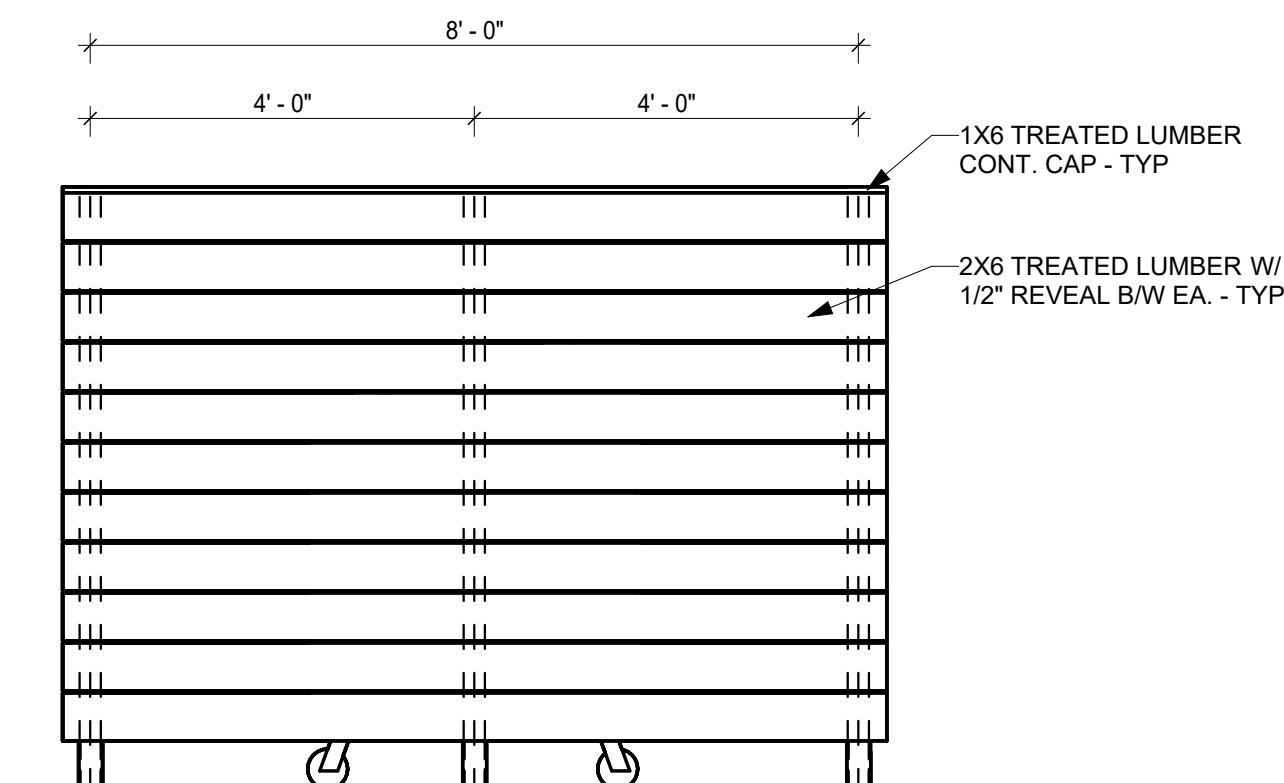
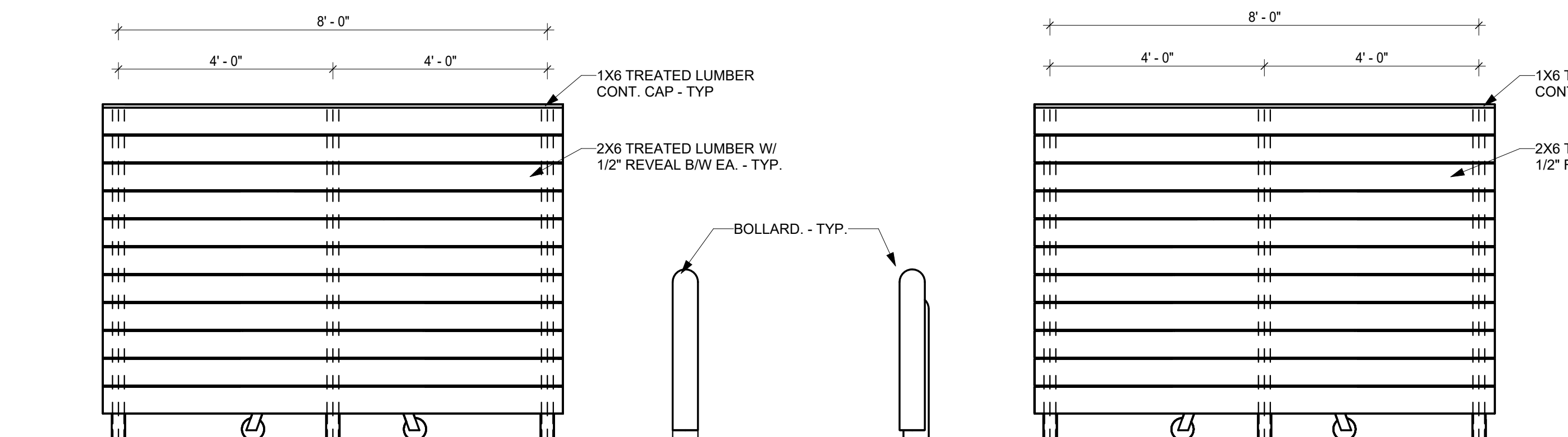
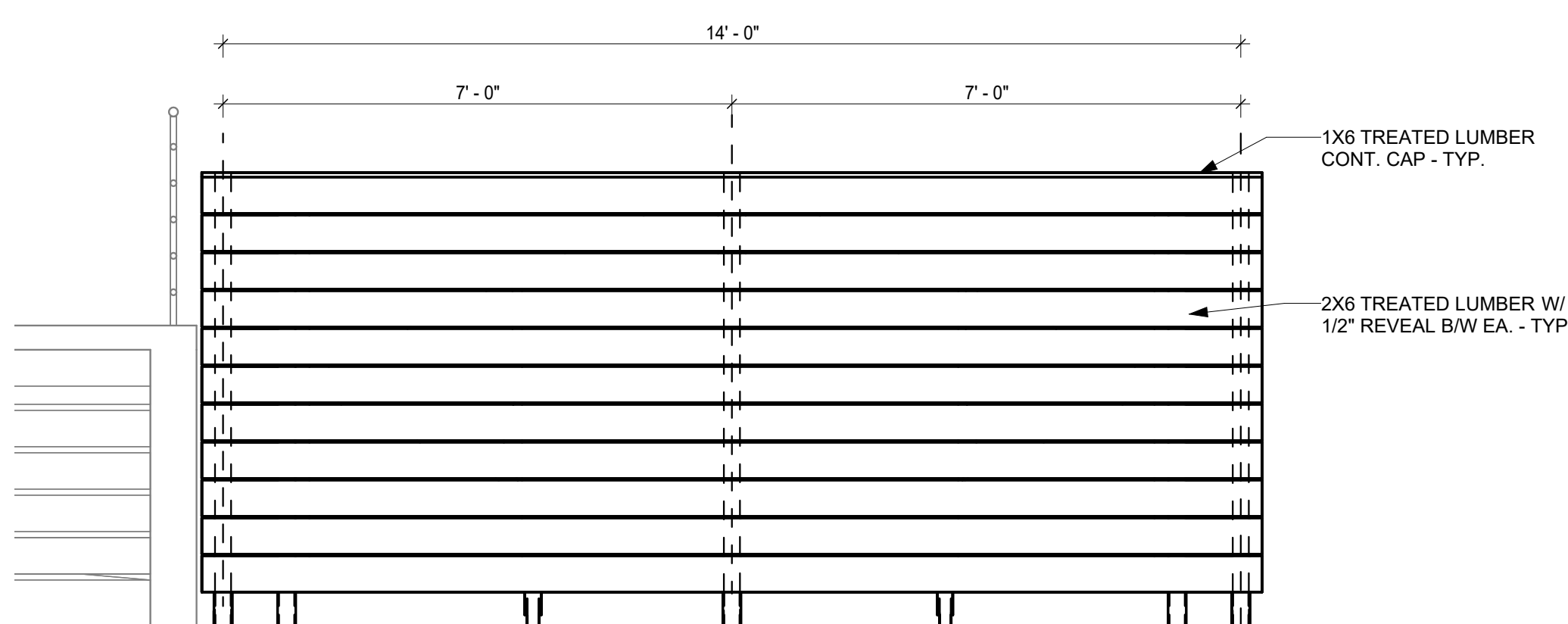
SHEET NUMBER

A1.0



1 ARCHITECTURAL SITE PLAN
1" = 10'-0"



1 ENLARGED PLAN
1/2" = 1'-0"4 NORTH ELEVATION
1/2" = 1'-0"5 WEST ELEVATION
1/2" = 1'-0"6 EAST ELEVATION
1/2" = 1'-0"7 STEEL POST FOUNDATION DETAIL
1 1/2" = 1'-0"

PROJECT NAME
BARTLETT SHOPPING
CENTER

LOCATION
8001 BARTLETT CENTER
DRIVE, BARTLETT TN

PROJECT NUMBER
A-00000

DEVELOPER/OWNER
MR. MARTIN CHOW

PROJECT LOGO

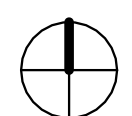
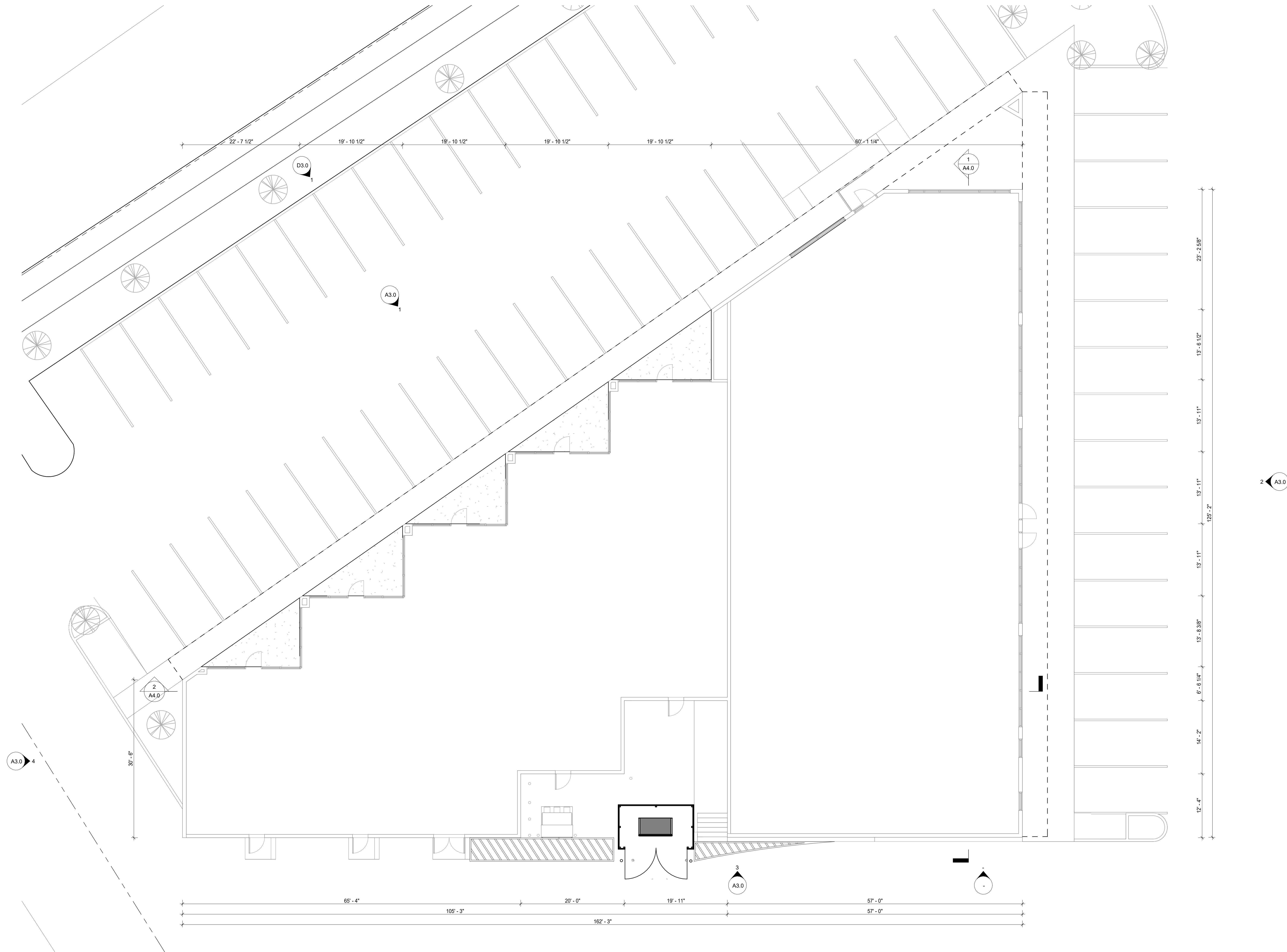
INFORMATION
REVISION ISSUE DATE

SHEET TITLE
FLOOR PLAN

DATE
12/13/24

SHEET NUMBER

A2.0



1 FLOOR PLAN
1/8" = 1'-0"

GENERAL NOTES

- REFER TO GENERAL NOTES SHEET G0.1 FOR ADDITIONAL INFORMATION.
- REFER TO ELECTRICAL ENGINEERING DWGS FOR LIGHT FIXTURE SPECS.
- ALL GWB HEADER/ BULK HEAD TO BE PAINTED - COLOR TBD
- CENTER ALL DEVICES ON CEILING TILE UNLESS NOTED OTHERWISE.
- CENTER ALL CEILING TILE SYSTEM IN ROOM UNLESS NOTED OTHERWISE.
- AT ALL PAINTED CEILINGS: PAINT ALL EXPOSED CEILINGS, DUCTWORK, DEVICES, AND EQUIPMENT.
- ALL CEILING TO BE XX-XX" A.F.F. UNLESS NOTED OTHERWISE

CEILING TYPE LEGEND

- REFER TO ELECTRICAL AND MECHANICAL DRAWINGS. REPORT ANY DISCREPANCY TO THE ARCHITECT. CONTRACTOR TO USE THIS SHEET FOR ALL DEVICE & FIXTURE LOCATIONS
- ALL CEILING COMPONENTS INCLUDING PERIMETER TRIM, TRANSITIONS, ETC. TO BE PART OF CEILING MANUFACTURER SYSTEM UNLESS APPROVED BY ARCHITECTURE.
- REFER TO FINISH PLAN FOR PAINT COLOR LOCATIONS. REPORT ANY DISCREPANCY TO THE ARCHITECT.
- CEILING PANEL SIZE TO BE AS SHOWN IN REFLECTED CEILING PLAN. PANELS SHOWN ARE 2'x2'
- SUSPENDED CEILING HEIGHT TO BE AS NOTED ON REFLECTED CEILING PLAN
- WALLS TO EXTEND 12" MINIMUM ABOVE CEILING U.N.O. FIRE RATED AND OR SOUND INSULATED WALLS TO EXTEND TO BOTTOM OF ROOF DECK U.N.O. REFER TO WALL SCHEDULE AND BUIDING SECTIONS.

PROJECT NAME
BARTLETT SHOPPING CENTER

LOCATION
8001 BARTLETT CENTER DRIVE, BARTLETT TN

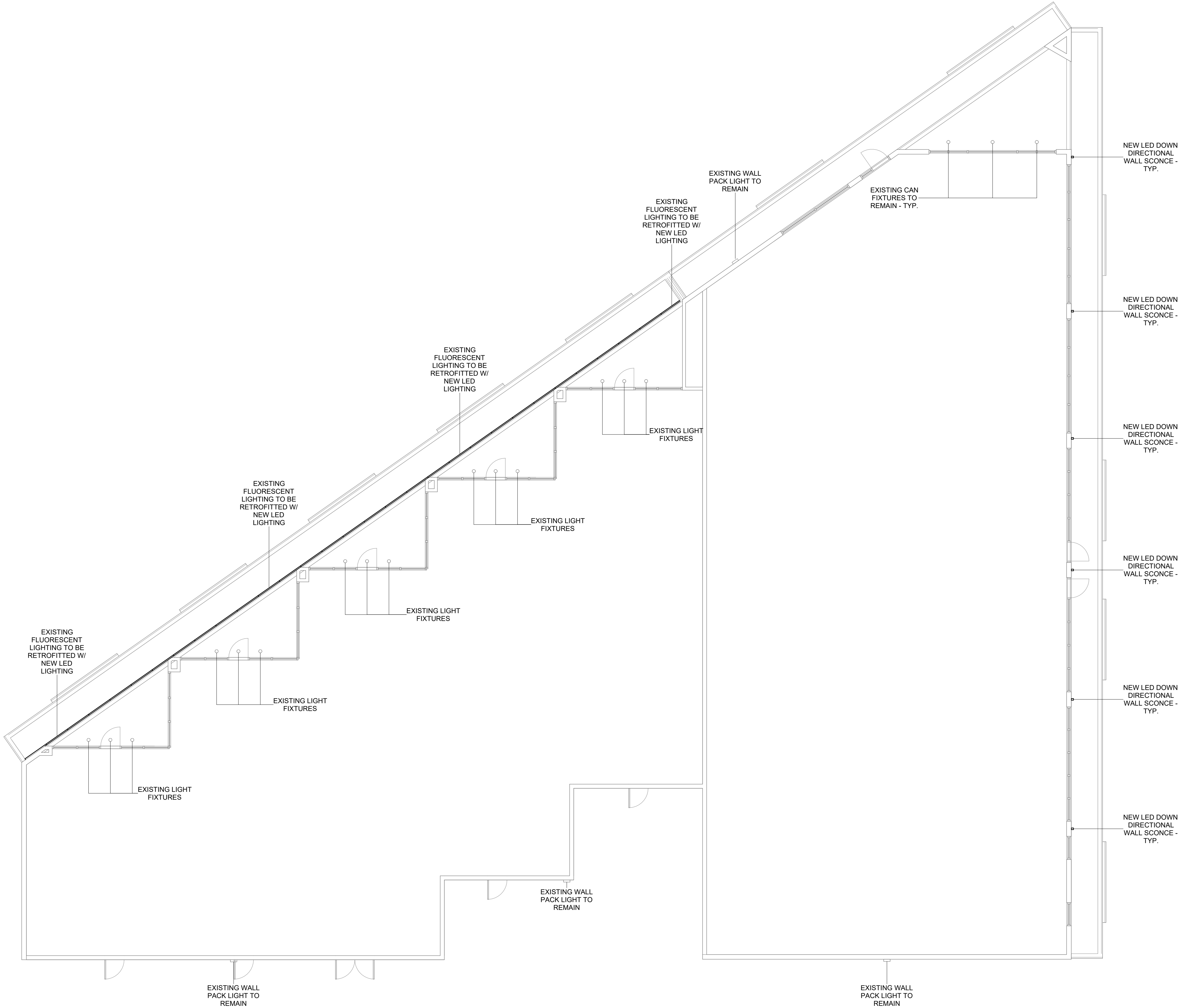
PROJECT NUMBER
A-00000

DEVELOPER/OWNER
MR. MARTIN CHOW

PROJECT LOGO

INFORMATION

REVISION	ISSUE DATE
----------	------------



PROJECT NAME

BARTLETT SHOPPING
CENTER

LOCATION

8001 BARTLETT CENTER
DRIVE, BARTLETT TN

PROJECT NUMBER

A-00000

DEVELOPER/OWNER

MR. MARTIN CHOW

PROJECT LOGO

INFORMATION

REVISION ISSUE DATE

SHEET TITLE

EXTERIOR
ELEVATIONS

DATE

12/13/24

SHEET NUMBER

A3.0

EXISTING WALL
PACK LIGHT TO
REMAIN11'-8"
F.V.1st Floor
0' - 0"

1 NORTH ELEVATION

1/8" = 1'-0"

NEW LED DOWN
DIRECTIONAL
WALL SCONCE -
TYP.NEW LED DOWN
DIRECTIONAL
WALL SCONCE -
TYP.NEW LED DOWN
DIRECTIONAL
WALL SCONCE -
TYP.EXISTING WALL
PACK LIGHT TO
REMAIN7'-4"
F.V.Floor
3' - 0"

2 EAST ELEVATION

1/8" = 1'-0"

EXISTING WALL
PACK LIGHT TO
REMAIN10'-8"
F.V.EXISTING WALL
PACK LIGHT TO
REMAIN12'-8"
F.V.NEW LED DOWN
DIRECTIONAL
WALL SCONCE -
TYP.1st Floor
0' - 0"

3 SOUTH ELEVATION

1/8" = 1'-0"

1st Floor
0' - 0"

4 WEST ELEVATION

1/8" = 1'-0"



FEATURES & SPECIFICATIONS

INTENDED USE — Ideal for damp/wet locations such as outdoor venues, campers and locker rooms. Not for use or installation in direct outdoor sunlight. Must be installed under canopy or covered setting. For direct sunlight installation, please refer to the LED product family. **Certain airborne contaminants can diminish integrity of acrylic and/or polycarbonate.** [Click here for Acrylic Polycarbonate Compatibility table for available uses.](#)

Certain airborne contaminants may adversely affect the functioning of LEDs and other electronic components, depending on various factors such as concentrations of the contaminants, ventilation, and temperature of the end-user location. [Click here for a list of substances that may be suitable for interaction with LEDs and other electronic components.](#)

CONSTRUCTION

- Light Gray Polycarbonate housing
- Frosted Polycarbonate lens
- Powdered aluminum housing gasket
- Polycarbonate Latches, optional stainless steel latches available.
- Standard 1/2" wet location fitting

ELECTRICAL

- High Efficiency LED meet DLC Standard
- MVOLT 120-277V 6-347V
- 0-10V Dimming standard
- Luminaire Surge Protection Level: Designed to withstand up to 2,500V 750A per ANSI C82.77-5-2015. For applications requiring higher level of protection additional surge protection must be provided.

INSTALLATION

- Surface (wall, ceiling) using standard brackets
- Suspended (chain, cable) using standard brackets

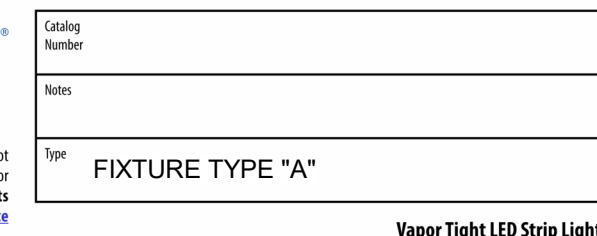
LISTINGS

- CSA Certified to UL & C-UL Standards for wet location
- 90% Efficiency per ENEC/CEC
- ENEC Table 42, Part 15 Subpart B compliant
- 2,500V 750A Surge Rated per ANSI C82.77-5-2015
- CSA Ambient Listing on Page 2
- Lumen Maintenance Listed on Page 3

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org/DLC](#) to confirm which versions are qualified.

WARRANTY — 5-year limited warranty. Complete warranty terms located at: [www.lithonia.com/support/warranty-terms-and-conditions](#)

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

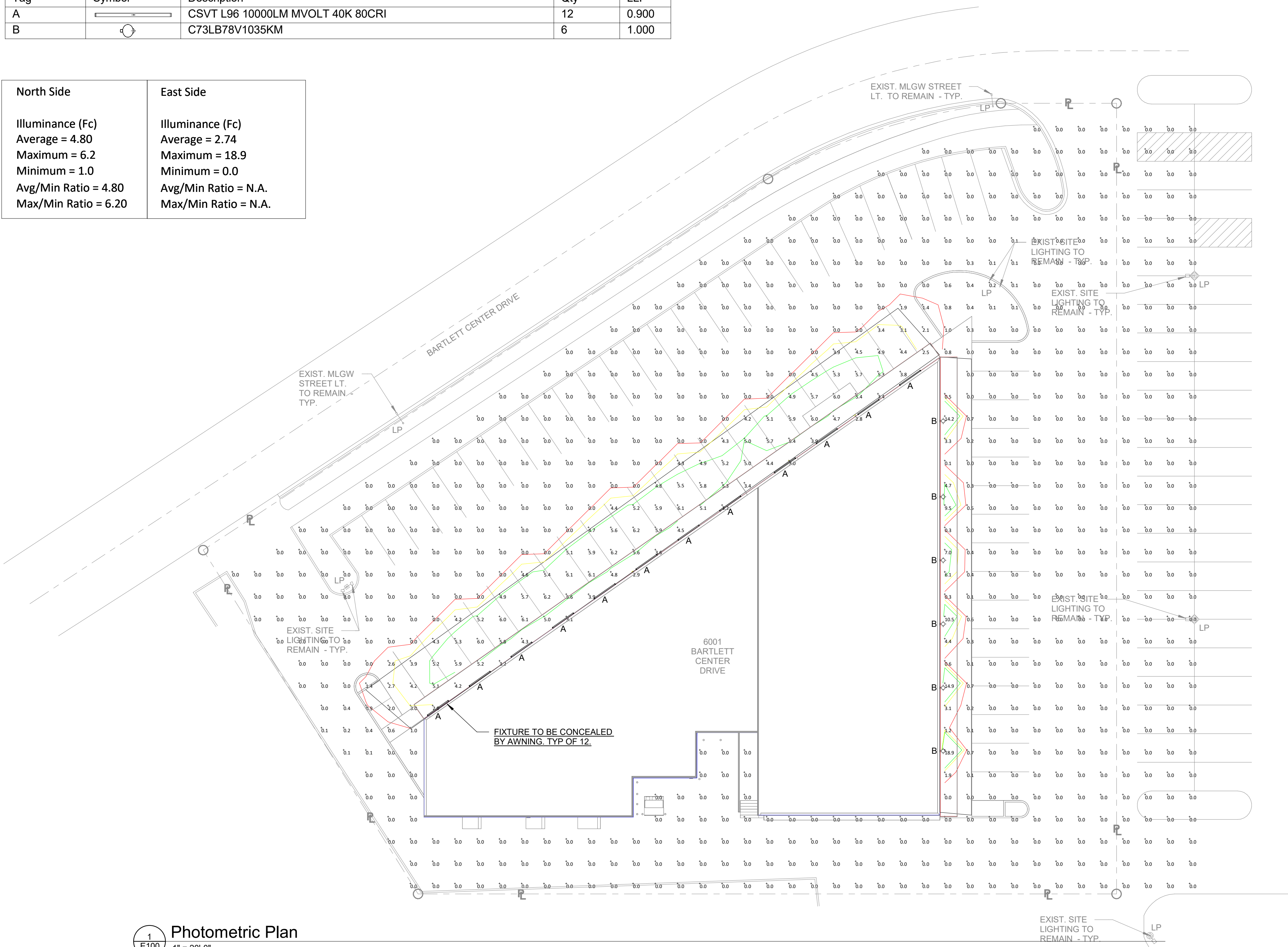


CSVT



Luminaire Schedule				
Tag	Symbol	Description	Qty	LLF
A		CSVT L96 10000LM MVOLT 40K 80CRI	12	0.900
B		C73LB78V1035KM	6	1.000

North Side	East Side
Illuminance (Fc) Average = 4.80 Maximum = 6.82 Minimum = 1.0 Avg/Min Ratio = 4.80 Max/Min Ratio = 6.20	Illuminance (Fc) Average = 2.74 Maximum = 18.9 Minimum = 0.0 Avg/Min Ratio = N.A. Max/Min Ratio = N.A.



1
E100
Photometric Plan
1" = 20'-0"

INDUSTRIAL CSVT Page 1 of 3

CALIBER PLUS⁺
ARCHITECTURAL
FIXTURE TYPE "B"

APPLICATION

Decorative cylinder is available in a variety of mounting styles and is suitable for indoor or optional outdoor/wet location applications that require the long lamp life and energy saving benefits of LED technology.

FEATURES AND BENEFITS

- Architectural aluminum cylinder housing with powder coat finish.
- Mounting options include: Pendant Stem, Wall, Surface, and Cord.
- Wet location listed is available on lensed wall and surface mount models.
- Separate models available for our remote driver platforms of IRD and CentralDrive® (see below).
- Wall wash option available for wall grazing or forward-throw (Type 2) applications.
- Primary reflectors provide a variety of beam distributions and can be interchanged in the field if necessary.
- Custom colors available.

TECHNICAL DATA

- Input: 120 to 277 VAC, 50-60Hz
- 0-10V 1% (linear) and forward/reverse phase (120V) dimming
- CRI = 80. Available in 90 CRI.
- Available with Bridgelux Thrive™ high-fidelity human-centric lighting technology.
- Expected lamp life to be 50,000 hours with 70% lumen maintenance when ambient temperatures do not exceed 35 °C. Lower ambient temperatures yield longer lamp life.

REMOTE DRIVER OPTIONS (PUBLISHED SEPARATELY)

IRD (In-ceiling Remote Driver) features a housing with driver that is recessed in the ceiling and operates a single lighting fixture. Benefits include small 0.25" thick ceiling canopies, emergency (EM) options, and longer driver life due to reduced exposure to the heat of the LED engine. Both new construction and remodel style housings are available.

CentralDrive® system features a remote panel that operates multiple lighting fixtures. This remote panel can be installed in an easy-to-access area such as a utility closet. Benefits are the same as our IRD system as well as easy driver replacement.

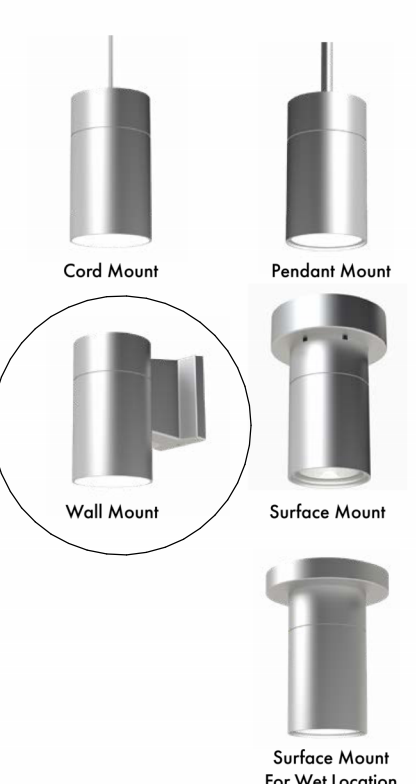
Lighting fixtures for these remote driver systems are published separately and can be found on our website. Please contact our sales team for more information on these options.



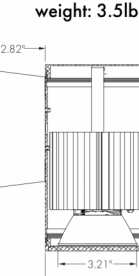
Related Product
Click for Remote Driver Version
Central Drive® IRD

SERIES C73

Decorative LED Cylinders
774-2770 Lumens



weight: 3.5lbs



Related Product



Click for Remote Driver Version



RENOVATION TO BARTLETT CENTER

MR. MARTIN CHOW
6001 BARTLETT CENTER DRIVE, BARTLETT TN



COPYRIGHT 2024

Joshua N. Bellaire
ARCHITECT

Revisions		
Number	Date	Description

PROJECT # 21032
DATE: 10/18/2024
DRAWN BY: dpw

Photometric Plan

E100