



City of Bartlett
David Parsons, Mayor

DESIGN REVIEW COMMISSION AGENDA

Tuesday, May 20, 2025 – 6:30 P.M.
Bartlett City Hall Assembly Chamber

Opening Prayer

****Official Business of the Day****

Minutes of the Thursday, April 15, 2025 Meeting

Continued
Site Plan

1. Bartlett Village Shopping Center, 5989 Bartlett Center Drive (Jesus Duarte, ARCH1010)

Open Discussion

The public shall be provided an opportunity to address the Board or Commission during an Open Discussion period at the end of each regular and special meeting of the governing body. Prior to the start of the meeting, individuals will be required to complete and present to the Clerk the Open Discussion Citizen form provided at each meeting. The Open Discussion period for regular and special meetings of the Board or Commission shall be limited to twenty (20) minutes. Individuals shall be allowed to speak for up to three (3) minutes each. Open Discussion periods will not be held for any meeting where there are no actionable items on the agenda or meetings where the governing body is conducting a disciplinary hearing for a member of the governing body or a person whose profession or activities fall within the jurisdiction of the governing body.

Adjourn

March 18, 2025
BARTLETT DESIGN REVIEW COMMISSION MINUTES

The Design Review Commission (DRC) met in the Bartlett City Hall Assembly Chamber on Tuesday, March 18, 2025 at 6:30 p.m. for a regularly scheduled meeting.

Members Present:

Ed Brooks
Jason Payne
Keith Whaley
Tyler Canup
Alderman Jack Young, Chairman
Steve Hodgkins

Members Absent:

Greg Evans, Vice Chairman
Nick Taylor
Stan Burton

The following advisors were present: Kim Taylor, Director of Planning; Leslie Brock, Planner; Melissa McAfee, Administrative Secretary; Ed McKenney, City Attorney; Trey Arthur, Director of Code Enforcement

Alderman Jack Young led the meeting.

Alderman Young led the Commission in prayer and the Pledge of Allegiance.

Alderman requested any changes to the minutes of the February 27, 2025 meeting.

The DRC noted a typo in the motion and second of last month's first agenda item.

A motion was made by Keith Whaley to approve the Minutes of the February 27, 2025 meeting with corrections. Tyler Canup seconded the motion. Voice Vote: All members present voted Yes. Motion carries. Minutes were approved with corrections.

NEW BUSINESS

Site Plan

- 1. Bartlett Village Shopping Center, 5989 Bartlett Center Drive (Jesus Duarte, Arch 1010)**

INTRODUCTION: Mr. Jesus Duarte, with Arch 1010, is requesting Design Review Commission approval of a revised site plan for the Bartlett Village Shopping Center. The subject property is located at 5989 Bartlett Center Drive, and it is within the "CG-MS" General Business with a Main Street Overlay Zoning District.

BACKGROUND: On June 7, 1986, the DRC approved the site plan for the Bartlett Village Shopping Center. The owner/applicant has received multiple Code Compliance, Notices of Violation dating back to June 25, 2018, concerning property maintenance or lack thereof.

DISCUSSION: The specific request by the applicant is for DRC approval of building elevations, lighting details, and dumpster enclosure. The specifics of the site plan are as follows:

Elevations: The Bartlett Village Center has two front elevations, the east and north elevation. A fabric awning originally covered the storefronts of these two elevations and a portion of the south elevation. The awnings fell into disrepair and were partially removed. The remainder of the awnings will be demolished and the EFIS will be patched. With the removal of the awnings, a structural overhang which held the awning frame will remain. All four elevations will be painted Sherwin Williams "Off White" (SW1095). The gutters and downspouts will be painted Sherwin Williams "Peppercorn" (SW7674). All double and single personnel doors will be painted Sherwin Williams "Off White" (SW1095).

Lighting: The proposed changes to the lighting are as follows: existing recessed lighting at the store entrances along the north elevation and the existing pole lights will remain. The existing fluorescent lighting along the north elevation will be removed and replaced with 5 Guardco 4K LED black down-facing wall sconces. The existing lighting on the east elevation will be removed and replaced with 6 Caliber Plus C73 Series 3.5K LED black down facing wall sconces. The existing lighting on the south elevation will be replaced with 3 Guardco 4K LED black down facing wall sconces. The foot candles for the north elevation will be 3.23 FC. The average foot candles for the east elevation is 3.23 FC.

Dumpster Enclosure: The existing dumpster will be moved from the current spot in the drive aisle on the southwest corner of the property. The new dumpster enclosure will be located in a loading area on the south side of the building. The dumpster enclosure will consist of treated lumber pickets attached to a steel frame with a treated lumber cap. The gate will feature treated lumber attached to a steel frame with two drop pins. The dumpster enclosure will be painted Sherwin Williams "Peppercorn" (SW7674).

Recommendation: Approval with conditions.

Planning Conditions:

1. The applicant shall make certain the site plan is consistent throughout the plans and match the lighting plan.
2. The applicant shall properly patch and repair the parking lot before coating the asphalt and restriping.
3. The applicant shall remove the existing fluorescent lighting strips on the north elevation as they are not UL Certified.
4. The applicant shall paint the building coping cap Sherwin Williams "Peppercorn" (SW7674).
5. The applicant shall replace the removed awnings with either fabric or metal awnings.
6. The applicant shall remove the plywood and replace the windows in the east storefront in compliance with the original site plan.
7. The applicant shall patch or fully repair all damaged EFIS with like materials.
8. The applicant shall reposition the rodent traps on the front of the building more hidden locations. However, well-kept landscaping and better kept grounds will go a long way in rodent control.
9. Irrigation and maintenance are required for all planting on the landscape plan indefinitely. Applicant shall replace missing or dead plants listed in the landscaping plan approved June, 1986. Bartlett Zoning Ordinance Article VI, Section 17 states, "Should the property owner fail to maintain these landscape screens and landscape areas in accordance with approvals of the Planning Commission and the Design Review Commission, it will be deemed a violation of this Ordinance."
10. All proposed signage shall be submitted on a separate application to the Design Review Commission.
11. The owner/applicant shall identify all utilities on site by contacting Tennessee One Call at 811 before commencing any site work.
12. The owner/applicant shall be present at the meeting in order to make decisions relative to any changes that may be suggested by the Design Review Commission.

Engineering Conditions: None.

Ms. Brock noted that the subject property has many active violations that have been there for several years now.

Martin Chow, building owner, stepped forward.

Mr. Chow stated that he is in agreement with most staff conditions, but not Planning Condition #5. He would prefer to exclude awnings from the building

ogive it a cleaner look. He also would like clarification on Planning Conditions #6 and #9.

Ms. Brock stated that staff prefer awnings are replaced, not excluded. The eastern building elevation does not provide any shield from rain to patrons entering tenant spaces on that side. Awnings would allow shielding from rain and prevent rain from leaking into tenant spaces each time a door is opening during a storm.

Mr. Chow stated that Planning Condition #9 requires irrigation and landscaping to match the plan approved in 1986, but he does not know what was on this plan since he did not own the building back then.

Planning Director Kim Taylor stated that staff can provide the approved 1986 DRC Site Plan for him to reference. Staff is okay with updated plant species replacing dead or missing plants since the optimal plant species of today is likely different than whatever is on the 1986 plan. Irrigation is required still.

Alderman Young asked why Mr. Chow has been out of compliance with property maintenance requirements for so many years.

Mr. Chow stated that tonight's plan should address all code compliance issues. He was under the impression that a DRC Site Plan had to be re-approved in order for him to make any exterior repairs to the building.

Alderman Young stated that DRC approval is not needed to make repairs to a building if those repairs are bringing the building back to the condition it was in prior to damage.

After several minutes of back and forth between Mr. Chow and the DRC, multiple DRC members concluded that the conditions Mr. Chow is in agreement with and the submitted plans do not align with what is being proposed tonight. They would like to see these changes reflected in the plans.

Ed Brooks made motion to defer the DRC Site Plan for Bartlett Village Shopping Center at 5989 Bartlett Center Drive until staff and Mr. Chow can come to an agreement. The DRC will reconvene at next month's meeting to view revised plans and vote. Keith Whaley seconded the motion. Roll Call Vote: Keith Whaley, Ed Brooks, Jason Payne, Jack Young, and Steve Hodgkins voted yes. Tyler Canup abstained. Motion carries.

Open Discussion

Alderman Young called for further discussion. Hearing none.

Meeting adjourned at 6:51 p.m.

Design Review Commission

Tuesday, May 20, 2025

City Hall 6:30 P.M.

OLD BUSINESS

Continued Site Plan

1. Bartlett Village Shopping Center, 5989 Bartlett Center Drive (Jesus Duarte, Arch 1010)

INTRODUCTION: Mr. Jesus Duarte, with Arch 1010, is requesting Design Review Commission approval of a revised site plan for the Bartlett Village Shopping Center. The subject property is located at 5989 Bartlett Center Drive, and it is within the "CG-MS" General Business with a Main Street Overlay Zoning District.

BACKGROUND: On March 14, 2024, the DRC continued the Site Plan for Bartlett Village Shopping Center until the submitted Site Plan and items proposed by the applicant are in agreement. On March 30, 2025, Staff met with the applicant to work out the details of the property maintenance issues and the Site Plan.

DISCUSSION: The specific request by the applicant is for DRC approval of building elevations, lighting details, and dumpster enclosure. The specifics of the site plan are as follows:

Elevations: The Bartlett Village Center has two front elevations, the east and north elevation. A fabric awning originally covered the storefronts of these two elevations and a portion of the south elevation. The awnings fell into disrepair and were partially removed. The remainder of the awnings will be demolished, and new awnings will be installed on the east and a portion of the north elevation. The fire-resistant fabric awnings will be black.

Once the EIFS is repaired and patched, all four elevations will be painted Sherwin Williams "Shoji White" (SW7042). The gutters and downspouts will be painted Sherwin Williams "Peppercorn" (SW7674). All double and single personnel doors will be painted Sherwin Williams "Shoji White" (SW7042).

Lighting: The proposed changes to the lighting are as follows: existing recessed lighting at the store entrances along the north elevation and the existing pole lights will remain. The existing fluorescent lighting along the north elevation will be removed and replaced with 5 Tucana III 4K LED black, down facing wall packs. The existing lighting on the east elevation will be removed and replaced with 6 Caliber Plus C73 Series 3.5K LED black down facing wall sconces. The existing lighting on the south elevation will be replaced with 3 Tucana III 4K LED

black, down facing wall packs. The foot candles for the north elevation will be 3.23 FC. The average foot candles for the east elevation is 3.23 FC.

Dumpster Enclosure: The existing dumpster will be moved from the current spot in the drive aisle on the southwest corner of the property. The new dumpster enclosure will be located in a loading area on the south side of the building. The dumpster enclosure will consist of treated lumber pickets attached to a steel frame with a treated lumber cap. The gate will feature treated lumber attached to a steel frame with two drop pins. The dumpster enclosure will be painted Sherwin Williams "Peppercorn" (SW7674).

Recommendation: Approval with conditions.

Planning Comments:

1. On March 30, 2024, the dumpster enclosure was approved by staff and applicant received his building permit.
2. The applicant agreed to repair the missing windows by properly repairing with a wall.
3. The applicant has agreed to replacing the awnings with new sleeker design, fabric awnings.
4. The applicant has agreed to replace all dead or missing landscaping from the landscape plan approved June 1986. He will cut back overgrown trees and agrees to maintain the landscaping plan indefinitely.

Planning Conditions:

1. The applicant shall make certain the site plan is consistent throughout the plans and match the lighting plan.
2. The applicant shall properly patch and repair the parking lot before coating the asphalt and restriping.
3. The applicant shall remove the existing fluorescent lighting strips on the north elevation as they are not UL Certified.
4. The applicant shall repaint the parking lot pole light with a similar paint color or Sherwin Williams "Peppercorn" (SW7674)
5. The applicant shall paint the building coping cap Sherwin Williams "Peppercorn" (SW7674).
6. The applicant shall patch or fully repair all damaged EIFS with like materials.
7. The applicant shall reposition the rodent traps on the front of the building more hidden locations.
8. Irrigation and maintenance are required for all planting on the landscape plan indefinitely.
9. All proposed signage shall be submitted on a separate application to the Design Review Commission.
10. The owner/applicant shall identify all utilities on site by contacting Tennessee One Call at 811 before commencing any site work.

11. The owner/applicant shall be present at the meeting in order to make decisions relative to any changes that may be suggested by the Design Review Commission.

MR. MARTIN CHOW BARTLETT SHOPPING CENTER

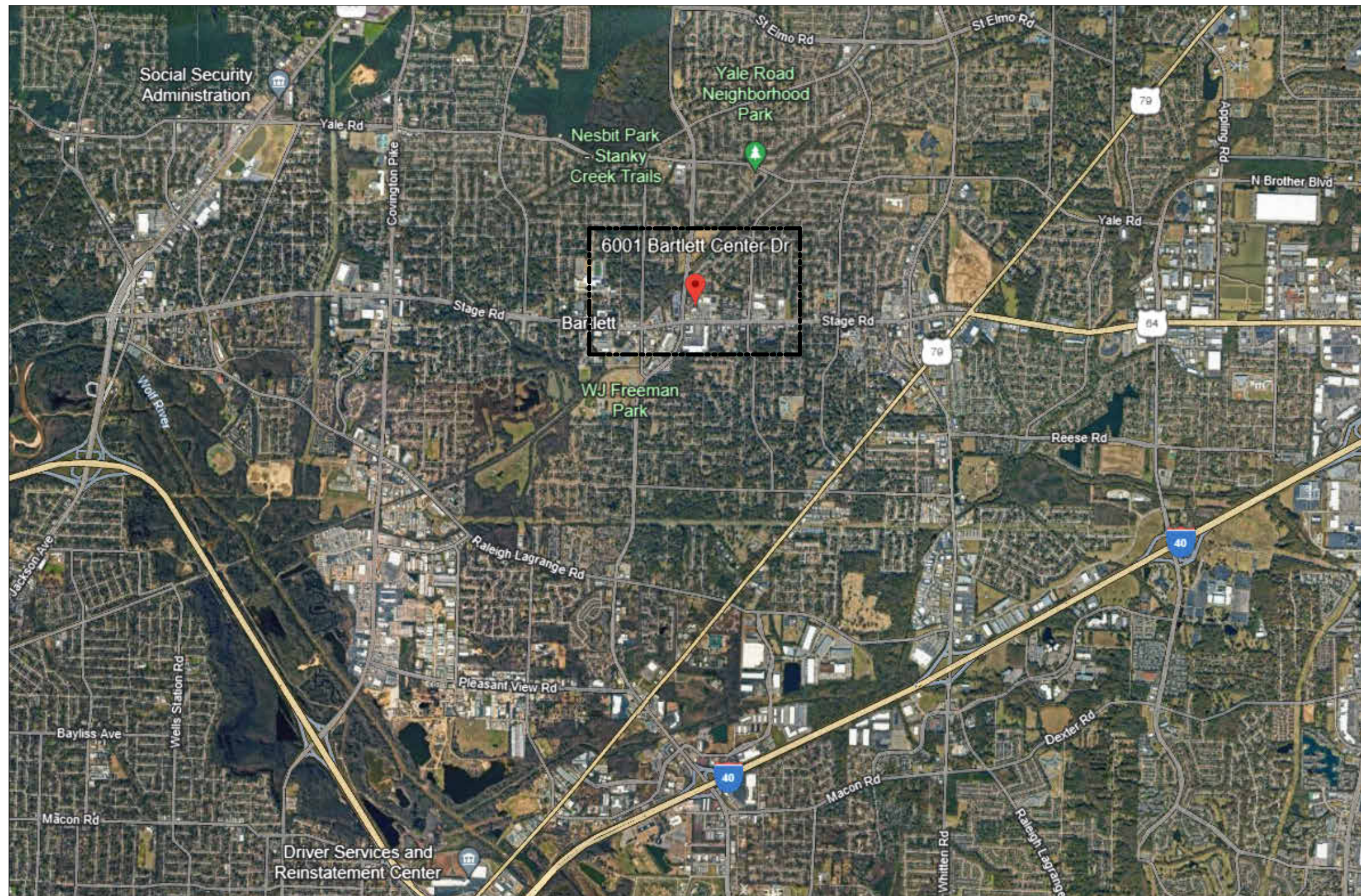
6001 BARTLETT CENTER DRIVE, BARTLETT TN

CONSTRUCTION DOCUMENTS

05.12.2025



VICINITY MAP



DESIGN TEAM

ARCHITECT
ARCH1010
676 Marshall Ave, Suite 101
Memphis, TN 38104
P. (901) 497-6563

INDEX TO DRAWINGS

GENERAL	
T0.0	COVER SHEET
G1.0	GENERAL INFORMATION
G1.3	EXT. RENDERINGS
ARCHITECTURAL	
D0.0	DEMO AXO VIEWS
D1.0	DEMO SITE PLAN
D2.0	DEMO RCP
D3.0	DEMO ELEVATIONS
A1.0	ARCHITECTURAL SITE PLAN
A1.1	SITE DETAILS
A2.0	FLOOR PLAN
A2.2	REFLECTED CEILING PLAN
A3.0	EXTERIOR ELEVATIONS
ELECTRICAL	
E100	PHOTOMETRIC PLAN

ABBREVIATIONS

ABV.	ABOVE	LARCH.	LANDSCAPE ARCHITECT
AC.	AIR CONDITIONING	LAV.	LAVATORY
ACM.	ALUMINUM COMPOSITE MATERIAL	LKB.	LOCKABLE
ACT.	ACOUSTICAL CEILING TILE	LOW.	LOWER
ADA.	AMERICANS WITH DISABILITIES ACT	LT.	LIGHT
ADJ.	ADJACENT	MAT.	MATERIAL
AFF.	ABOVE FINISHED FLOOR	MAX.	MAXIMUM
AGG.	AGGREGATE	MCP.	MELANINE COATED PARTICLE BOARD
ALT.	ALTERNATE	MECH.	MECHANICAL
ALUM.	ALUMINUM	MEMB.	MEMBRANE
ANOD.	ANODIZED	MEP.	MECHANICAL, ELECTRICAL & PLUMBING
APPROX.	APPROXIMATE	MFG.	MANUFACTURER
ARCH.	ARCHITECTURAL	MIN.	MINIMUM
BD.	BOARD	MISC.	MISCELLANEOUS
BLDG.	BUILDING	MOD. BIT.	MODIFIED BITUMEN
BLKG.	BLOCKING	M.R.	MOISTURE RESISTANT
B.O.	BOTTOM OF	MTL.	METAL
BOT.	BOTTOM	MULL.	MULLION
BTW.	BETWEEN	NA.	NOT AVAILABLE
BYND.	BEYOND	NIC.	NOT IN CONTRACT
CDR.	CARD READER	NO.	NUMBER
C.G.	CORNER GUARD	NOM.	NOMINAL
C.J.	CONTROL JOINT	NTS.	NOT TO SCALE
C.L.	CENTER LINE	O.C.	ON CENTER
CLG.	CEILING	O.D.	OUTSIDE DIAMETER
CLR.	CLEAR / CLEARANCE	OFCI	OWNER FURNISHED, CONTRACTOR...
CLSR.	CLOSER	OFOI	OWNER FURNISHED, OWNER INSTALLED
CMU.	CONCRETE MASONRY UNIT	OPG.	OPENING
COL.	COLUMN	OPP.	OPPOSITE
CONC.	CONCRETE	PERF.	PERFORATED
CONN.	CONNECTION	PLJAM.	PLASTIC LAMINATE
CONST.	CONSTRUCTION	PLUMB.	PLUMBING
CONT.	CONTINUOUS	PRE-FIN.	PRE-FINISHED
COORD.	COORDINATE	PROG.	PROGRAMMING
CORR.	CORRIDOR	PSF.	POUNDS PER SQUARE FOOT
CORRUG.	CORRUGATED	PSI.	POUNDS PER SQUARE INCH
CPT.	CARPET	P.T.	PRESSURE-TREATED
C.T.	CERAMIC TILE	PTD.	PAINTED
CTR.	CENTER	PWD.	PLYWOOD
DBL.	DOUBLE	Q.S.	QUARTZ SURFACE
DEMO.	DEMOLITION	RCP.	REFLECTED CEILING PLAN
D.F.	DRINKING FOUNTAIN	REF.	REFER / REFERENCE
DIA.	DIAMETER	REF.	REFRIGERATOR
DIM.	DIMENSION	REINF.	REINFORCEMENT / REINFORCING
DN.	DOWN	REQ'D.	REQUIRED
DS.	DOWN SPOUT	RM.	ROOM
DTL.	DETAIL	RMC.	RIGID METAL CONDUIT
DWG.	DRAWING(S)	R.O.	ROUGH OPENING
EA.	EACH	RSF.	RESILIENT SHEET FLOORING
EIFS.	EXTERIOR INSULATION FINISH SYSTEM	RTF.	RESILIENT TILE FLOORING
E.J.	EXPANSION JOINT	RWB.	RESILIENT WALL BASE
EL.	ELEVATION	SCHED.	SCHEDULE
ELEC.	ELECTRICAL	SHWR.	SHOWER
ELEV.	ELEVATOR	SIM.	SIMILAR
ENLGD.	ENLARGED	SPEC.	SPECIFICATION
EOS.	EDGE OF SLAB	S.S.	STAINLESS STEEL
EQ.	EQUAL	SSF.	SOLID SURFACE
EQUIP.	EQUIPMENT	STC.	SOUND TRANSMISSION COEFFICIENT
E.W.	EACH WAY	STD.	STANDARD
EXIST.	EXISTING	STL.	STEEL
EXP.	EXPANSION	STRUCT.	STRUCTURE / STRUCTURAL
EXT.	EXTERIOR	SURF.	SURFACE
F.D.	FLOOR DRAIN	SVF.	SHEET VINYL FLOORING
F.E.	FIRE EXTINGUISHER	TEL.	TELEPHONE
FEC.	FIRE EXTINGUISHER CABINET	TEMP.	TEMPERATURE
FFE.	FIXTURES, FURNITURE AND EQUIPMENT	TLT.	TOILET
FIN.	FINISH	T.O.	TOP OF
FLR.	FLOOR	TYP.	TYPICAL
F.O.	FACE OF	U.C.	UNDER COUNTER
F.R.	FIRE-RESISTANT	U.G.	UNDERGROUND
FT.	FOOT / FEET	UNO.	UNLESS NOTED OTHERWISE
FTG.	FOOTING	VAR.	VARIES
FURRG.	FURRING	VCT.	VINYL COMPOSITE TILE
GA.	GAUGE	VERT.	VERTICAL
GYP.	GYPSUM	VIF.	VERIFY IN FIELD
HDW.	HARDWARE	V.T.	VINYL TILE
HDWD.	HARDWOOD	WVC.	VINYL WALL COVERING
H.M.	HOLLOW METAL	W.	WITH
HORIZ.	HORIZONTAL	WB.	WEATHER BARRIER
HR.	HOOR	WC.	WATER CLOSET
HSS.	HOLLOW STRUCTURAL SECTION	WC.	WHEELCHAIR
HT.	HEIGHT	WD.	WOOD
IBC.	INTERNATIONAL BUILDING CODE	WIN.	WINDOW
I.D.	INSIDE DIAMETER	W.H.	WATER HEATER
INSUL.	INSULATION	WO.	WITHOUT
INT.	INTERIOR	W.P.	WORK POINT
JT.	JOINT	WPPF.	WATERPROOFING
		W.S.	WEATHER STRIPPING

GOVERNING CODES:

BUILDING CODE:	2021 International Building Code with Local Amendments
ELECTRICAL CODE:	2020 National Electric Code with Local Amendments
MECHANICAL CODE:	2021 International Mechanical Code with Local Amendments
PLUMBING CODE:	2021 International Plumbing Code with Local Amendments
GAS CODE:	2021 International Fuel Gas Code with Local Amendments

- GENERAL NOTES**
- The General Contractor for this Project shall address the coordination of the entire scope of work, from the beginning of the construction process through final close-out. The scope of work shall include, but is not limited to, preparation of all coordination drawings and diagrams, all schedules for completion, and control of site utilization.
 - The General Contractor is solely responsible for all procedures necessary for the completion of this Project.
 - The General Contractor for this Project shall include all materials and labor necessary for the completion of the entire scope of work. All materials, labor, tools, equipment, machinery, transportation, heat, water, utilities, and other facilities and services required for safe and proper execution are to be furnished and paid for by the General Contractor.
 - Information contained in the Contract Documents shall be interpreted by the Architect. The documents show an overview of the work required under this Contract, as well as other requirements or conditions which might impact the Project. The Contract Documents generally indicate the concept and intent of the Project, and are not meant to necessarily show all conditions or details.
 - Drawings are furnished to show design intent for construction only and do not show every condition or aspect of construction. Dimensions shown take precedent over graphic representations. Dimensions shown to existing elements are to be field verified by the General Contractor. Drawings are not to be scaled. Larger scale details take precedence over smaller scale details. The General Contractor is to inform the Architect of any discrepancies prior to proceeding with any work.
 - The Contract Documents are designed to reflect a particular occupancy type and use for the structure and associated systems and facilities described. Compliance with all codes and regulations concerning the use and occupancy of the structure is intended. All parts of this work shall adhere to any requirements indicated in the Contract Documents.
 - Coordination of all Civil, Structural, Mechanical, Electrical, and Plumbing will be the responsibility of the General Contractor.
 - Discrepancies between portions of Contract Documents should be clarified by the General Contractor and Architect prior to proceeding with any work in question.
 - The General Contractor shall comply with all rules and regulations as defined by the ADA Guidelines.
 - Final clean-up of the building and site shall be the responsibility of the General Contractor. Building and site shall be turned over in a clean and new condition to the Owner.

GENERAL DEMOLITION NOTES

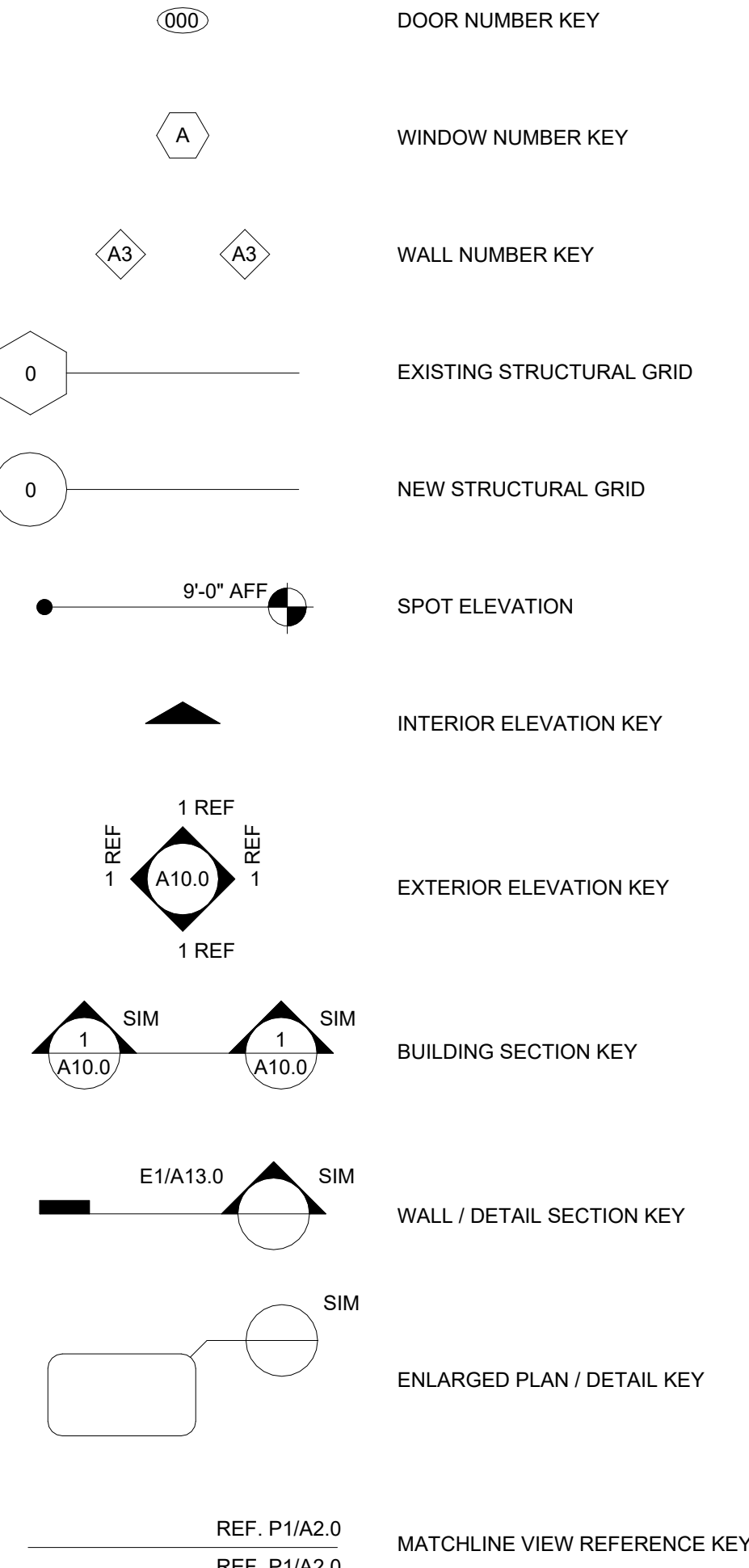
- The General Contractor is responsible for obtaining the Owner's requirements prior to beginning work. All work shall be done in accordance with the Owner's requirements and standard operating procedures for demolition activities.
- The General Contractor shall coordinate with local code officials to ensure that demolition operations are conducted in compliance with all applicable codes.
- The General Contractor shall provide and maintain all existing exits, exit lighting, fire protection devices, and alarms to conform to local building requirements.
- Owner to arrange shut-off of utilities when required by the General Contractor. Do not start demolition until utility disconnection and sealing have been completed and verified in writing.
- Throughout all phases of demolition and construction the Contractor shall be responsible for conducting demolition operations to prevent damage to adjacent buildings, structures, and other facilities and injury to persons. Provide sufficient protection within and beyond demolition/construction areas to eliminate any risk to construction personnel and/or other third-party individuals. Erect and maintain dust-proof partitions and temporary enclosures to limit dust migration and to separate areas from fumes and noise as required.
- Maintain structural integrity of the building.
- Provide and maintain interior shoring, bracing, or structural support to preserve stability and prevent movement, settlement, or collapse of items to be selectively demolished and items which are immediately adjacent to those being removed.
- Perform surveys as the work progresses to detect hazards resulting from the selective demolition.
- Demolish and remove existing construction only to extent required by new construction and as indicated. Use methods required to complete work within limitations of governing regulations and as follows:
 - Neatly cut openings and holes plumb, square, and true to dimensions required. Use cutting methods least likely to damage construction to remain or adjoining construction.
 - Cut or drill from the exposed or finished side into concealed surface to avoid marring existing finished surfaces.
 - Do not use cutting torches until work area is cleared of flammable materials. At concealed spaces, verify condition and contents of hidden space before starting flame-cutting operations.
 - Maintain adequate ventilation when using cutting torches.
 - Remove decayed, vermin-infested or otherwise dangerous and/or unsuitable materials and promptly dispose of off-site.
 - Locate demolition equipment throughout the structure and remove debris and material so as not to impose excessive loads on supporting structure.
 - Burning of materials on site is not permitted.
- Debris resulting from demolition and construction shall be removed daily from the construction site to a waste area provided by the Contractor in coordination with the Owner and Building Manager.
- Limit use of the premises to construction activities in areas indicated in the scope of the project. Allow Owner occupancy and use by building's drivers and maintenance/service personnel at all times.
- All driveways and circulation paths to remain open and available to Owner, or Contractor to provide protected temporary means of egress during necessary phases of construction as required per applicable building codes.

BUILDING DATA

BUILDING:
EXISTING FLOOR AREA 13,075

USE & CONSTRUCTION :
OCCUPANCY CLASSIFICATION:
(According to Chapter 3 of International Building Code 2021)
B

KEY LEGEND





PROJECT NAME
BARTLETT SHOPPING
CENTER

LOCATION
8001 BARTLETT CENTER
DRIVE, BARTLETT TN

PROJECT NUMBER
A-00000

DEVELOPER/OWNER
MR. MARTIN CHOW

PROJECT LOGO

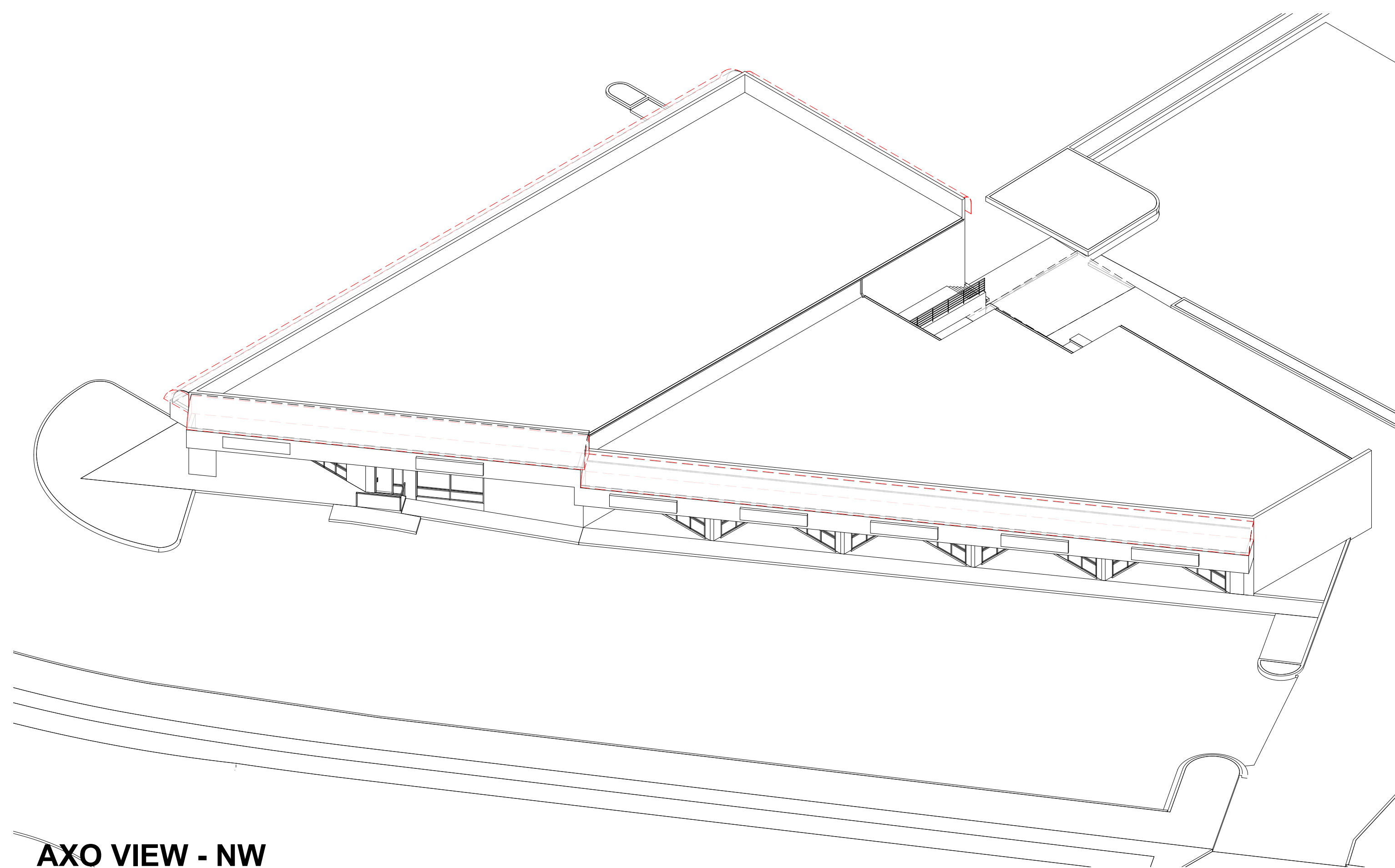
INFORMATION
REVISION ISSUE DATE

SHEET TITLE
DEMO AXO VIEWS

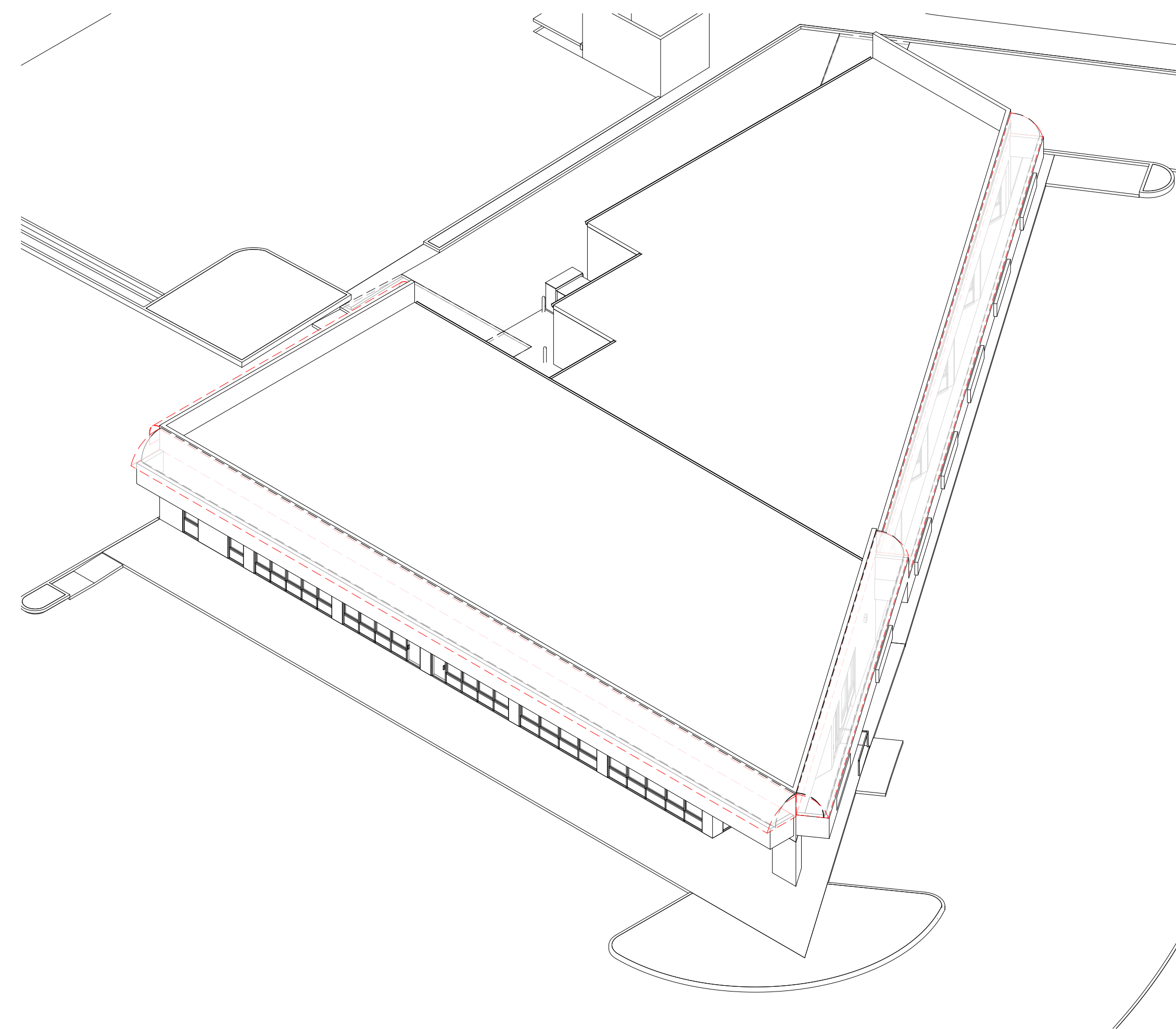
DATE
05.12.2025

SHEET NUMBER

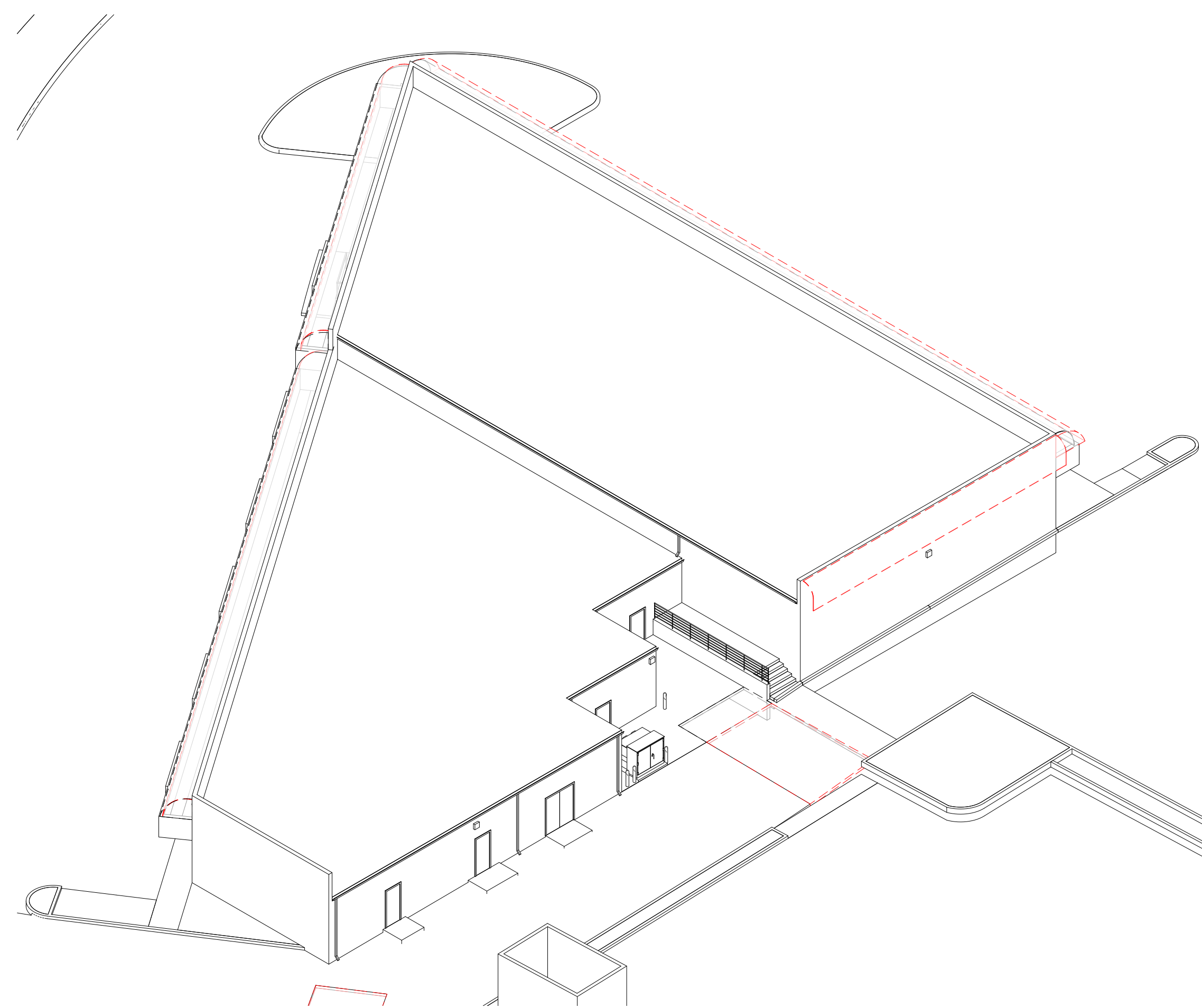
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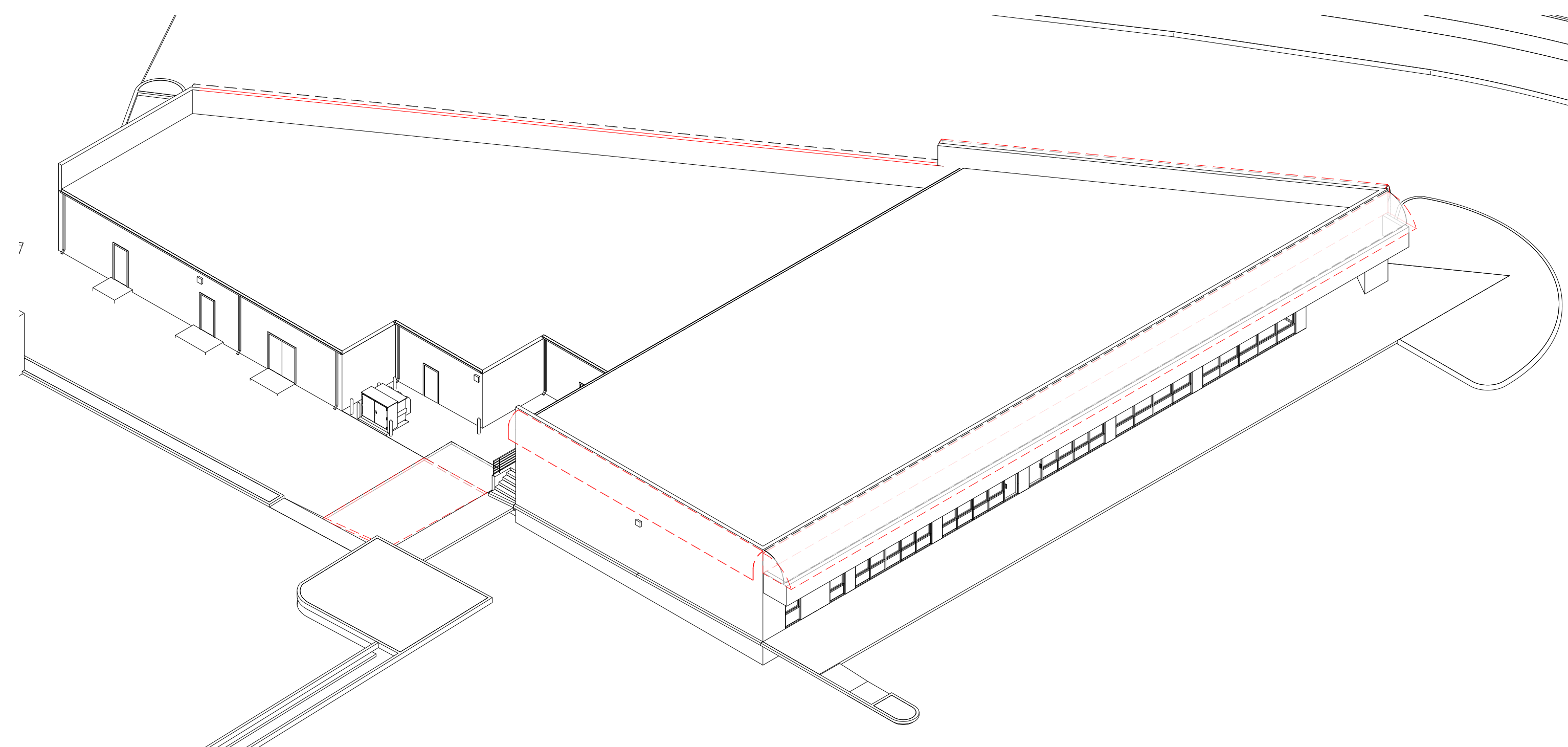
AXO VIEW - NW



AXO VIEW - NE



AXO VIEW - SW



AXO VIEW - SE

PROJECT NAME
BARTLETT SHOPPING
CENTER

LOCATION
8001 BARTLETT CENTER
DRIVE, BARTLETT TN

PROJECT NUMBER
A-00000

DEVELOPER/OWNER
MR. MARTIN CHOW

PROJECT LOGO

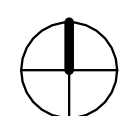
INFORMATION
REVISION ISSUE DATE

SHEET TITLE
DEMO SITE PLAN

DATE
05.12.2025

SHEET NUMBER

D1.0



1 DEMO SITE PLAN

1" = 10'-0"

EXISTING DAMAGED AREA OF
CONCRETE PAVEMENT TO BE
REMOVED

EXISTING
DUMPSTER TO BE
RELOCATED

EXISTING AREA OF CONCRETE
PAVEMENT TO BE REMOVED

PROJECT NAME
BARTLETT SHOPPING
CENTER

LOCATION
8001 BARTLETT CENTER
DRIVE, BARTLETT TN

PROJECT NUMBER
A-00000

DEVELOPER/OWNER
MR. MARTIN CHOW

PROJECT LOGO

INFORMATION

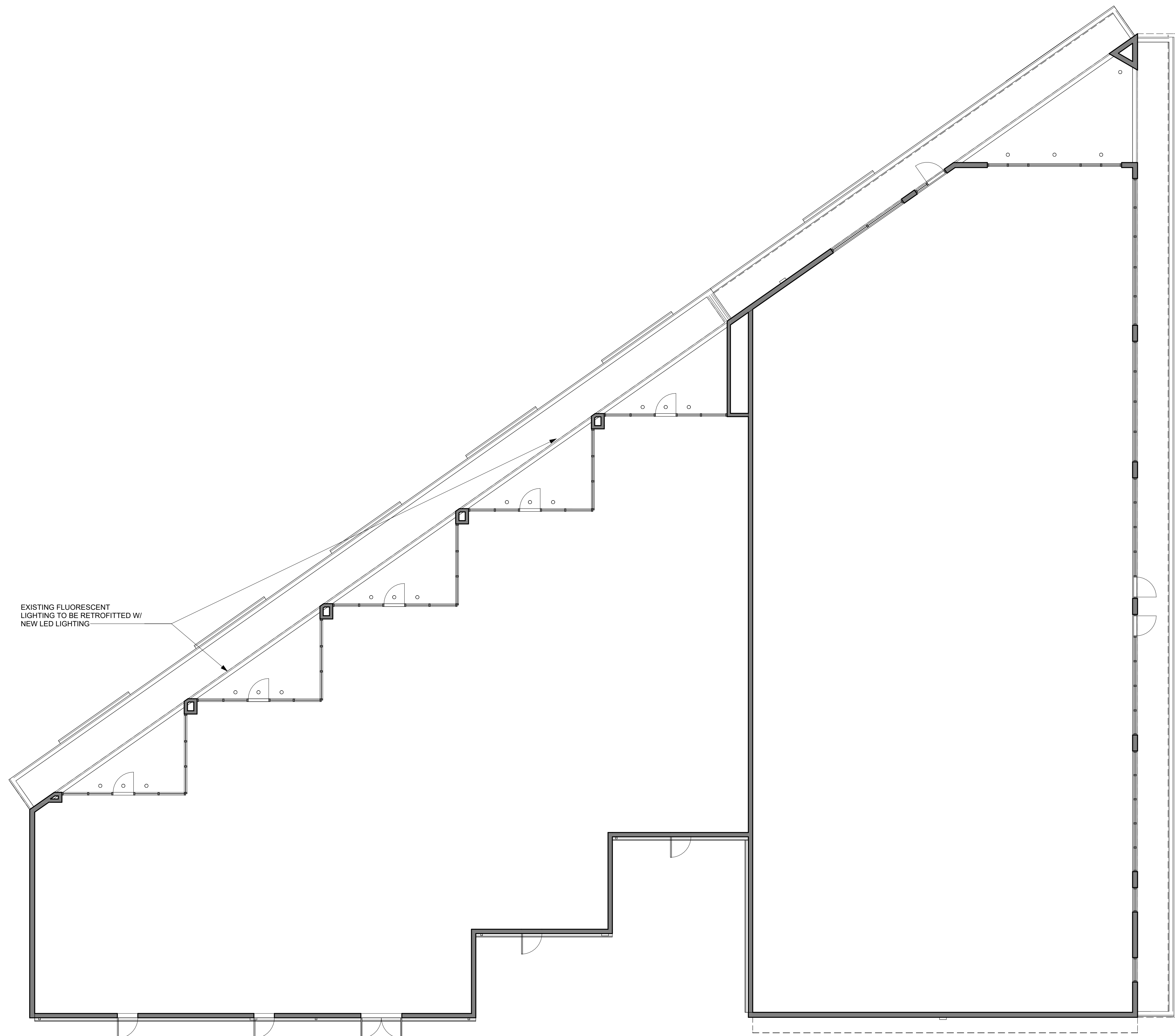
REVISION	ISSUE DATE
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SHEET TITLE
DEMO RCP

DATE
05.12.2025

SHEET NUMBER

D2.0



PROJECT NAME

BARTLETT SHOPPING
CENTER

LOCATION

8001 BARTLETT CENTER
DRIVE, BARTLETT TN

PROJECT NUMBER

A-00000

DEVELOPER/OWNER

MR. MARTIN CHOW

PROJECT LOGO

INFORMATION

REVISION ISSUE DATE

SHEET TITLE

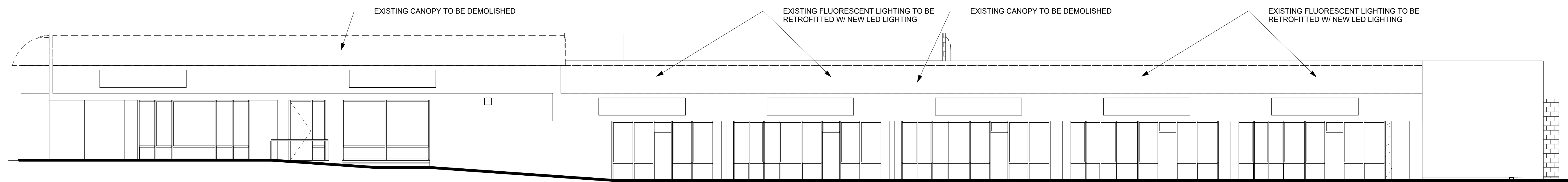
DEMO ELEVATIONS

DATE

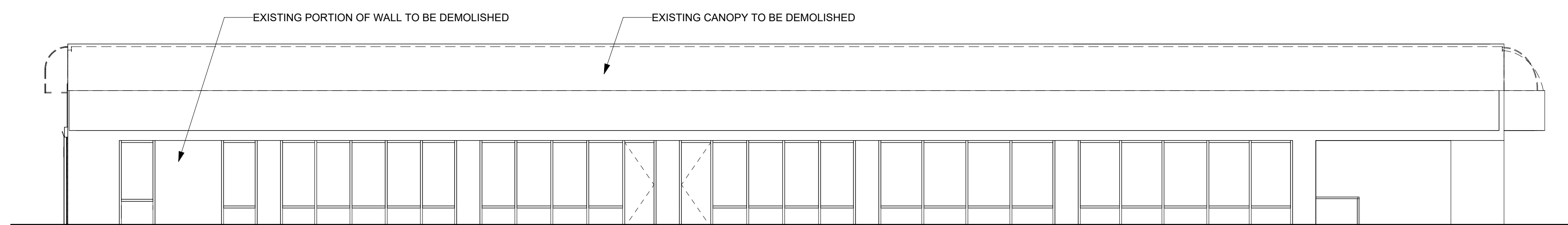
05.12.2025

SHEET NUMBER

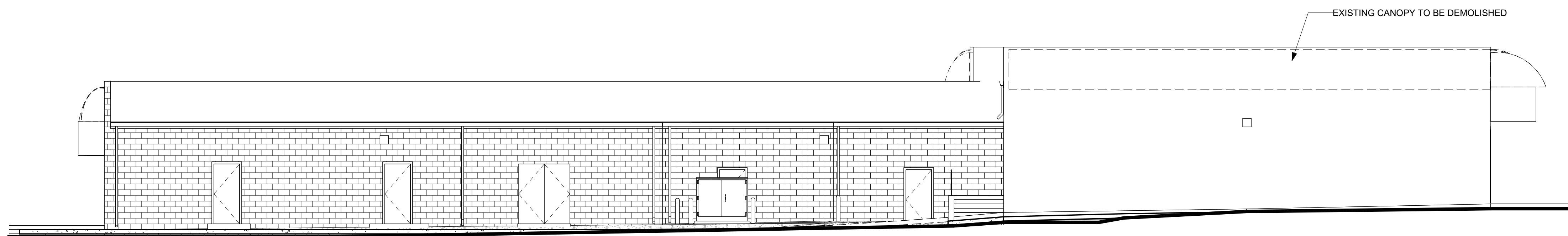
D3.0



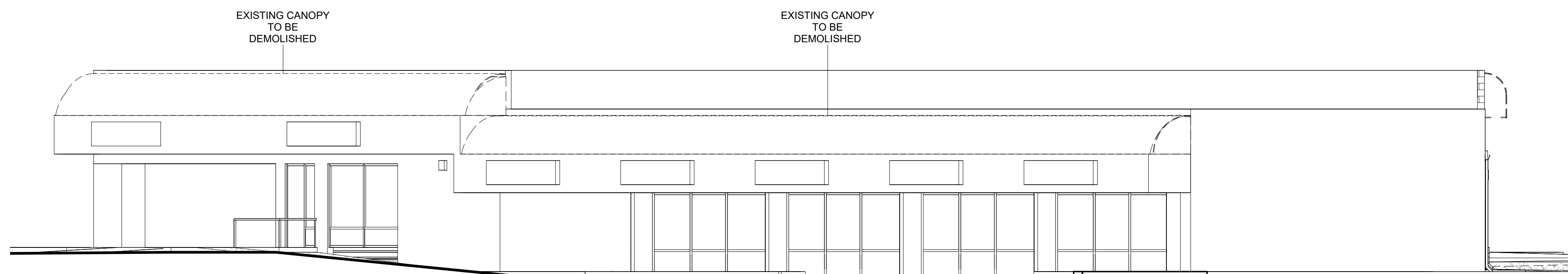
1 DEMO NORTH ELEVATION
1/8" = 1'-0"



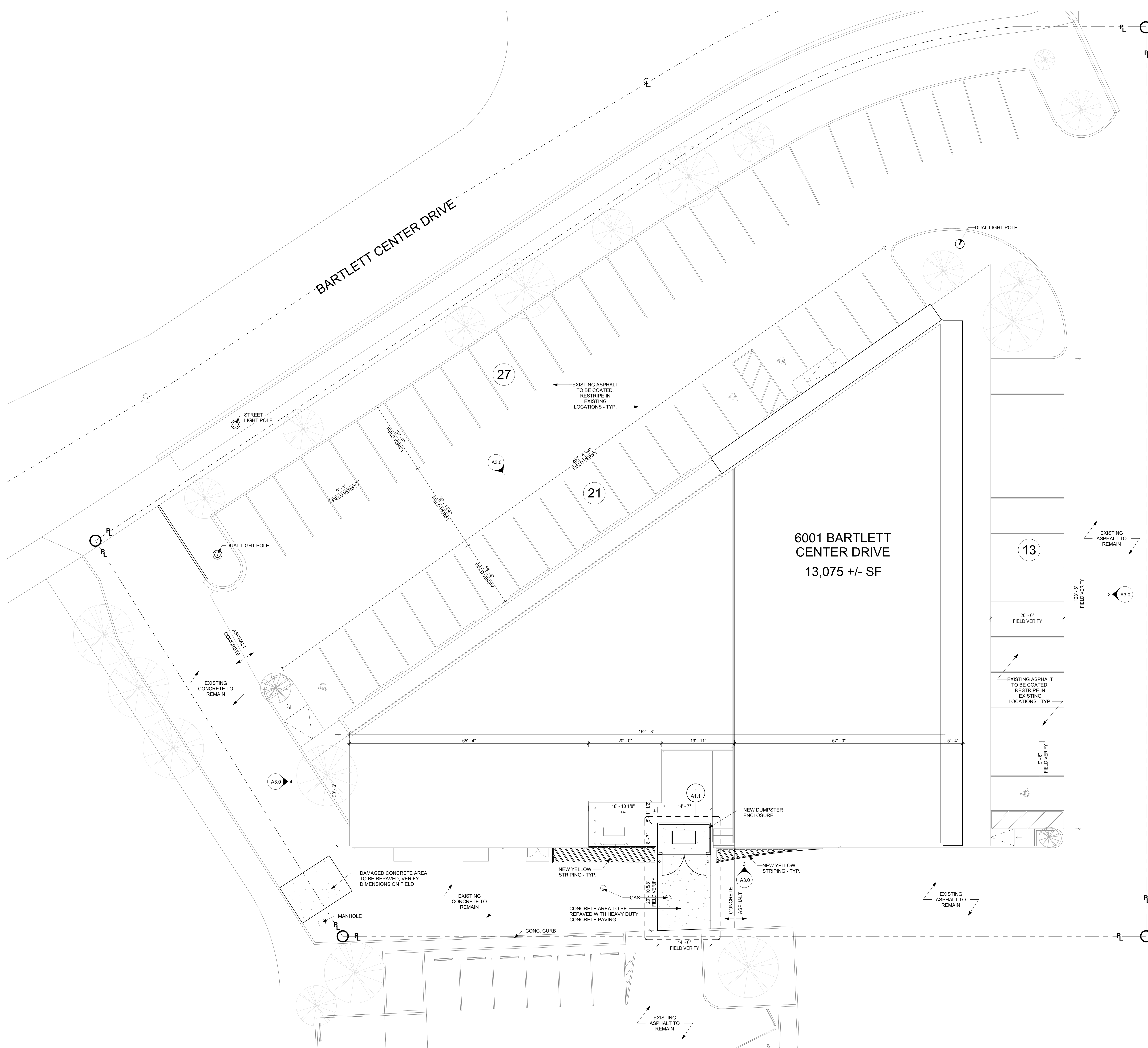
2 DEMO EAST ELEVATION
1/8" = 1'-0"



3 DEMO SOUTH ELEVATION
1/8" = 1'-0"



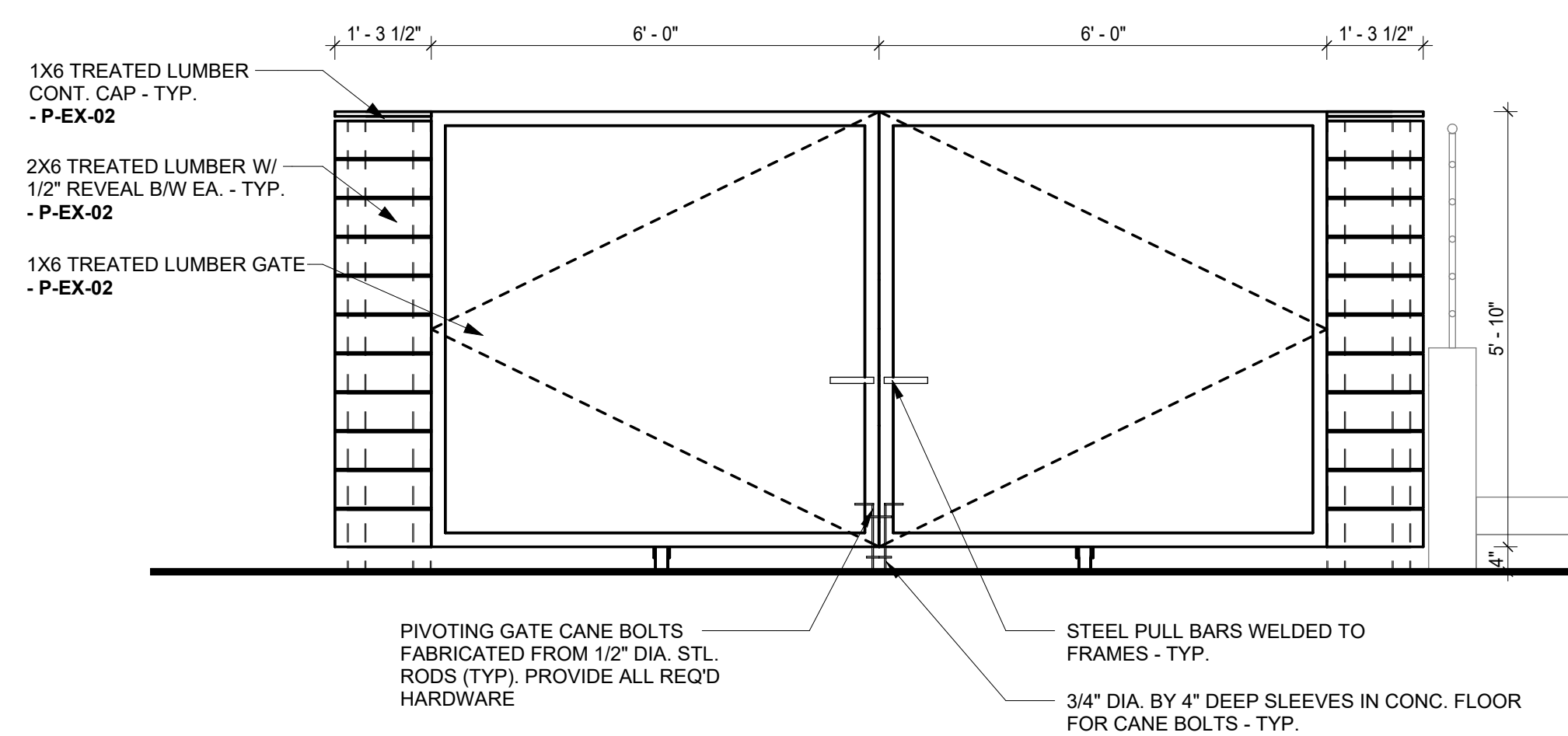
4 DEMO WEST ELEVATION
1/8" = 1'-0"



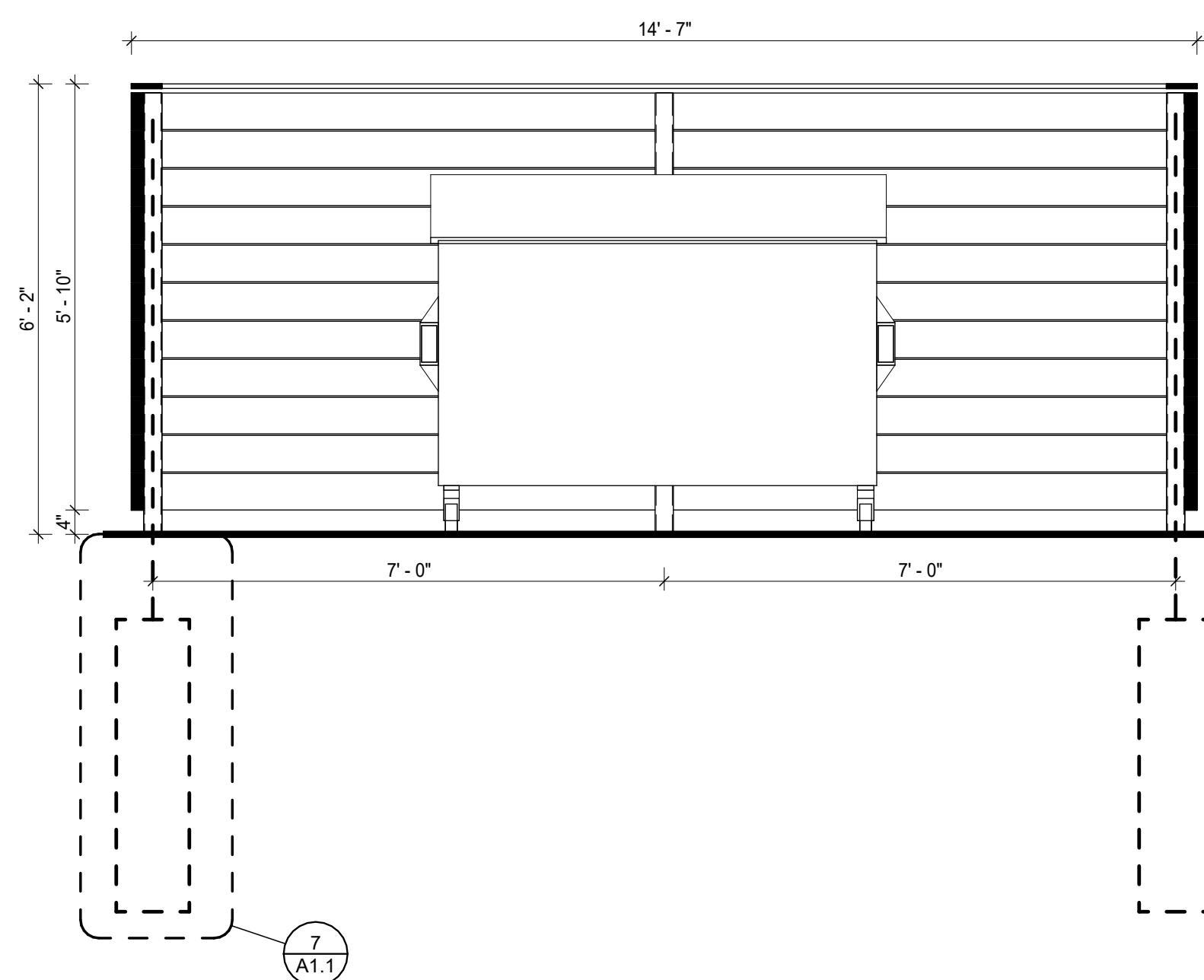
PAINT

P-EX-01
SHERWIN WILLIAMS OFF WHITE - SW1095

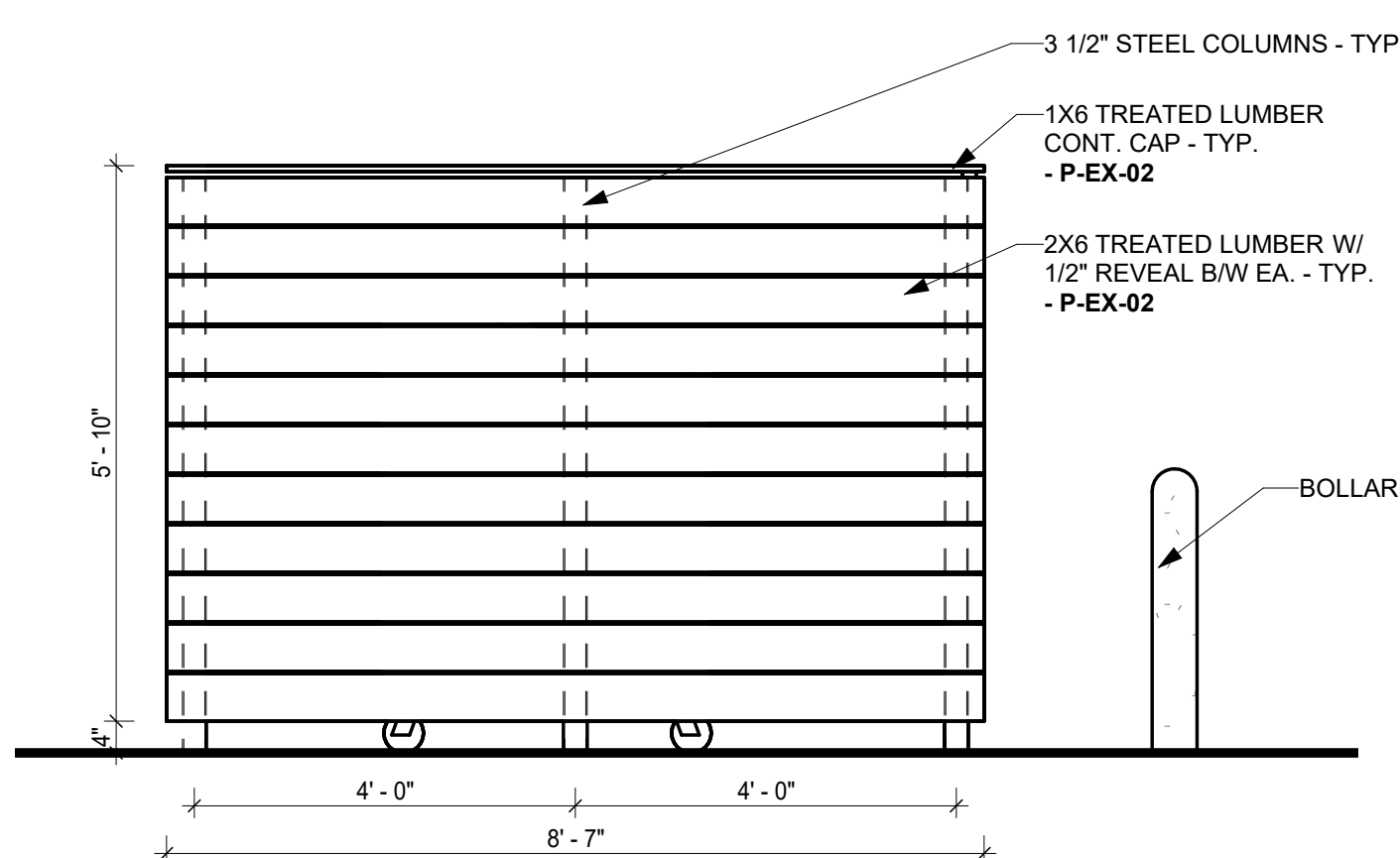
P-EX-02
SHERWIN WILLIAMS PEPPERCORN - SW7674



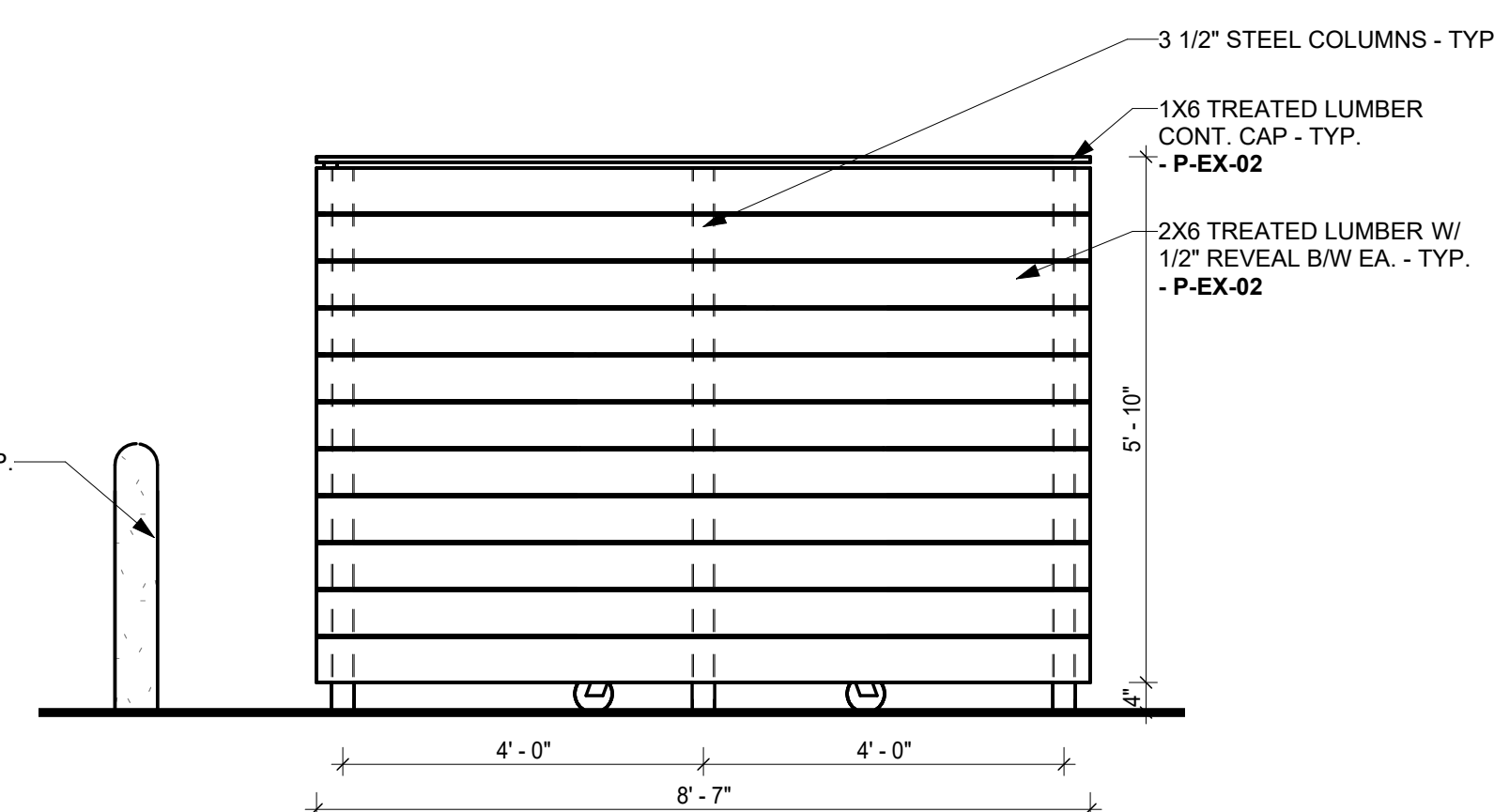
2 SOUTH ELEVATION
1/2" = 1'-0"



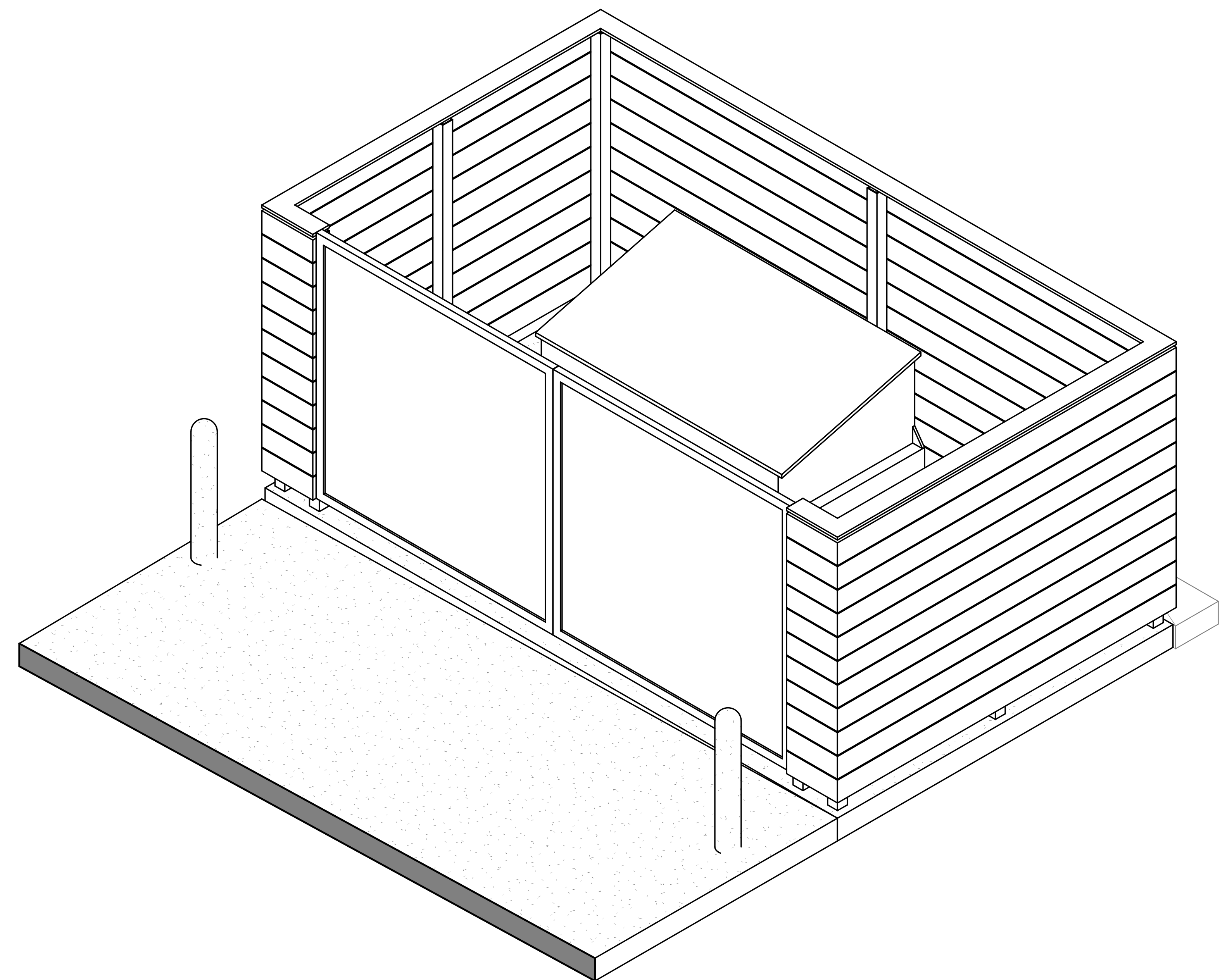
3 SECTION
1/2" = 1'-0"



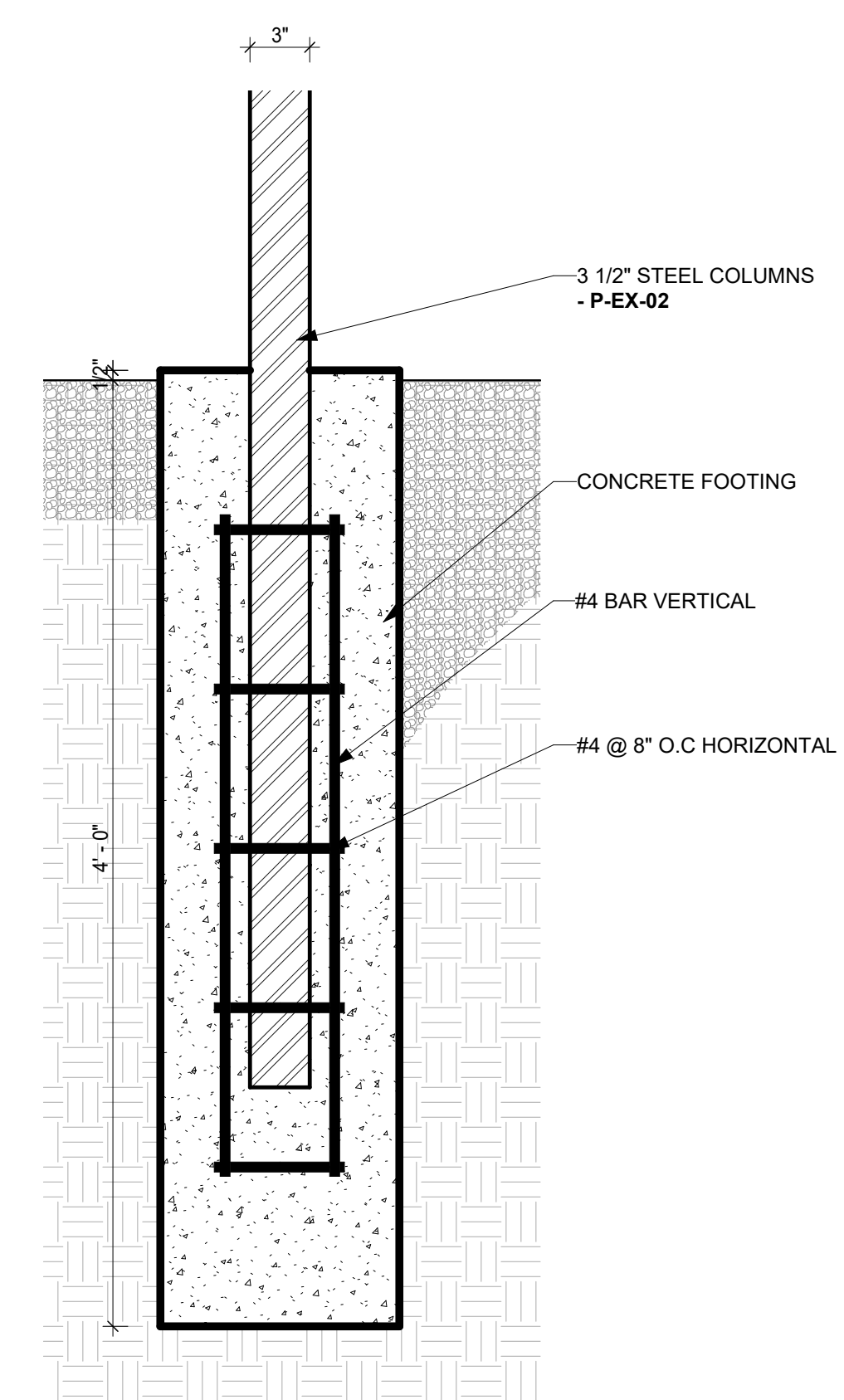
5 WEST ELEVATION
1/2" = 1'-0"



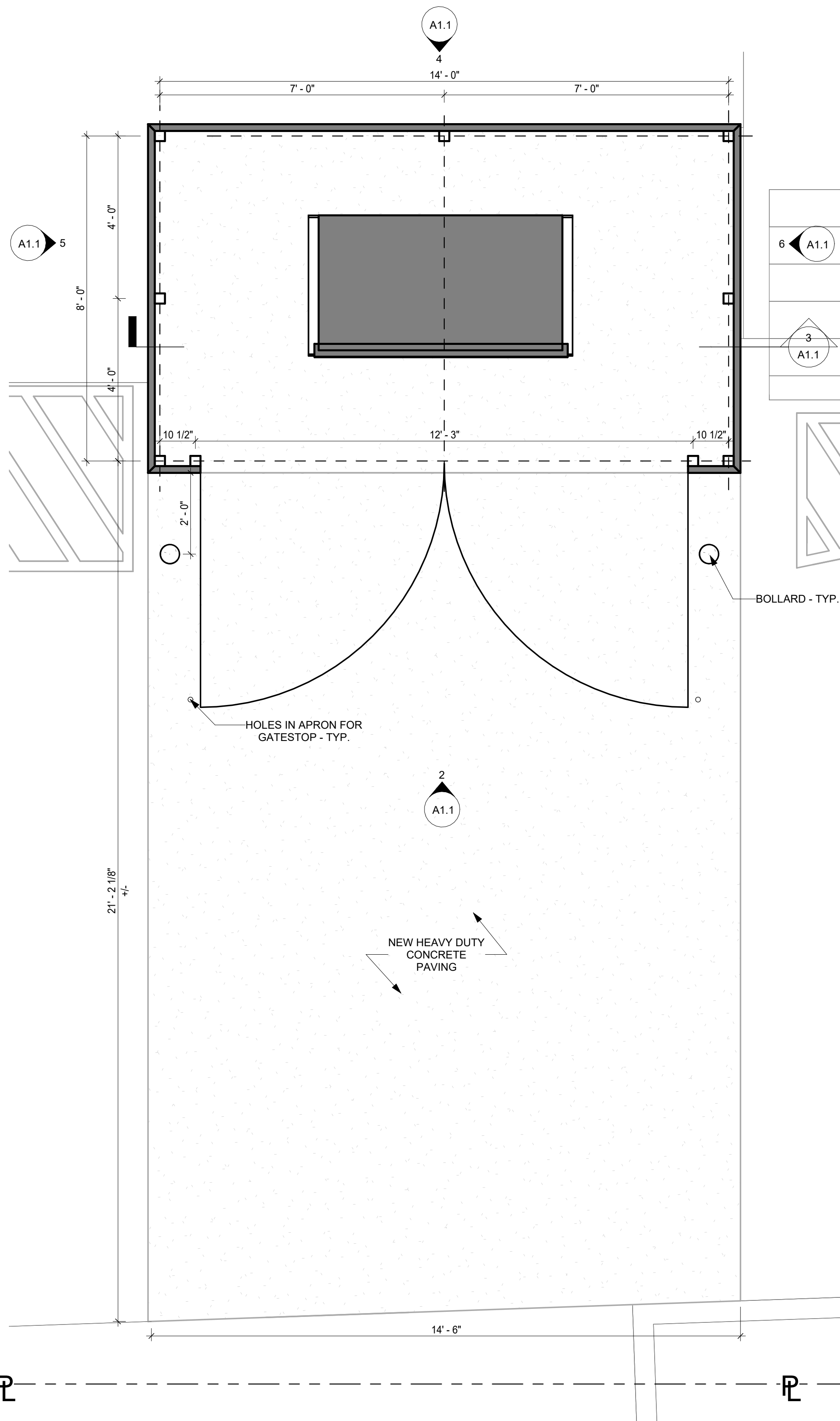
6 EAST ELEVATION
1/2" = 1'-0"



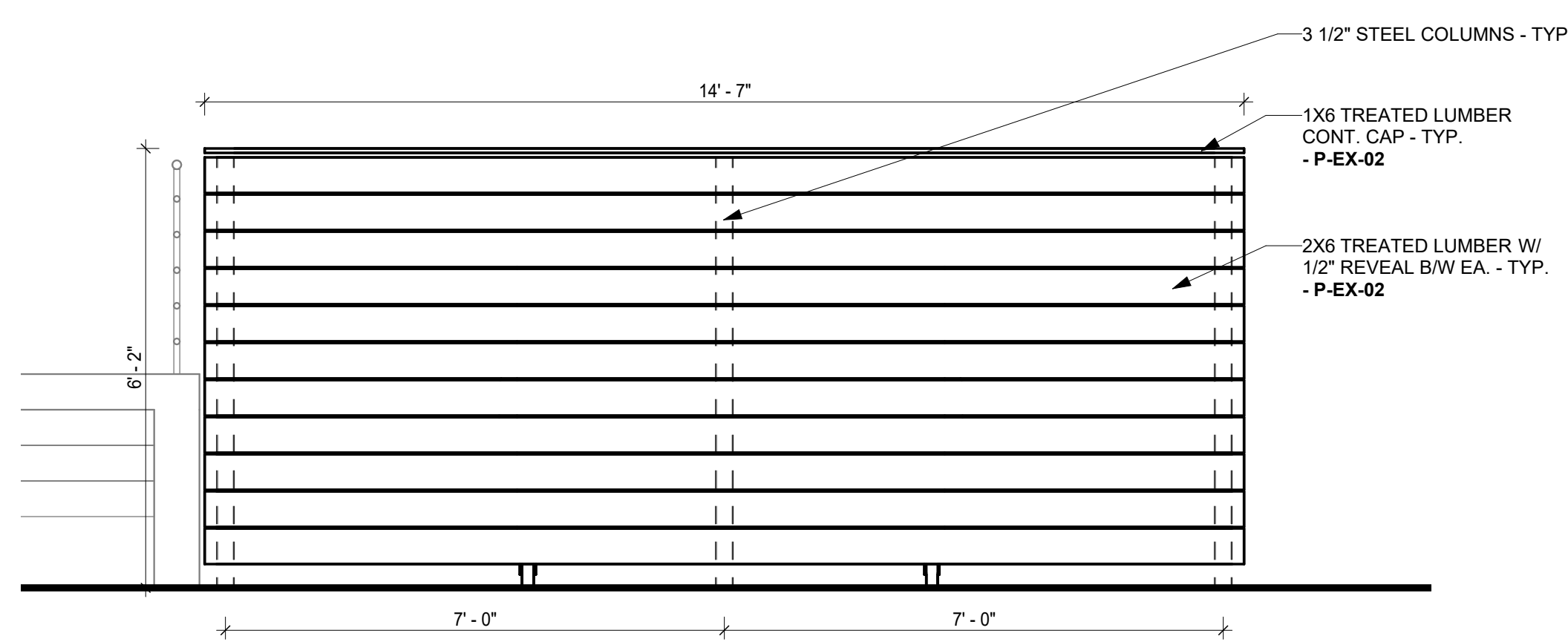
AXONOMETRIC VIEW



7 STEEL POST FOUNDATION DETAIL
1 1/2" = 1'-0"



1 ENLARGED PLAN
1/2" = 1'-0"



4 NORTH ELEVATION
1/2" = 1'-0"

PROJECT NAME
BARTLETT SHOPPING
CENTER

LOCATION
8001 BARTLETT CENTER
DRIVE, BARTLETT TN

PROJECT NUMBER
A-00000

DEVELOPER/OWNER
MR. MARTIN CHOW

PROJECT LOGO

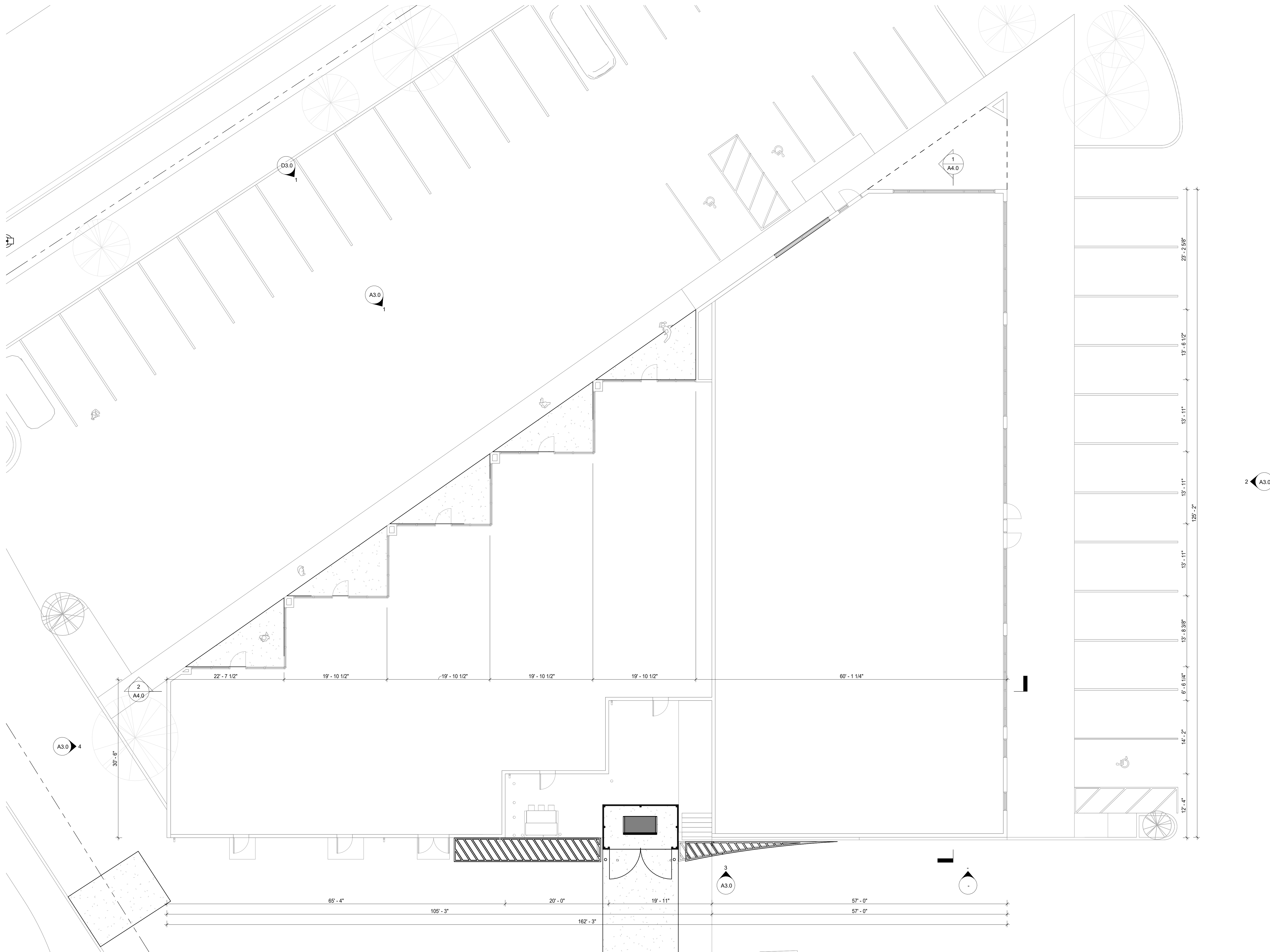
INFORMATION
REVISION ISSUE DATE

SHEET TITLE
FLOOR PLAN

DATE
05.12.2025

SHEET NUMBER

A2.0

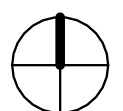
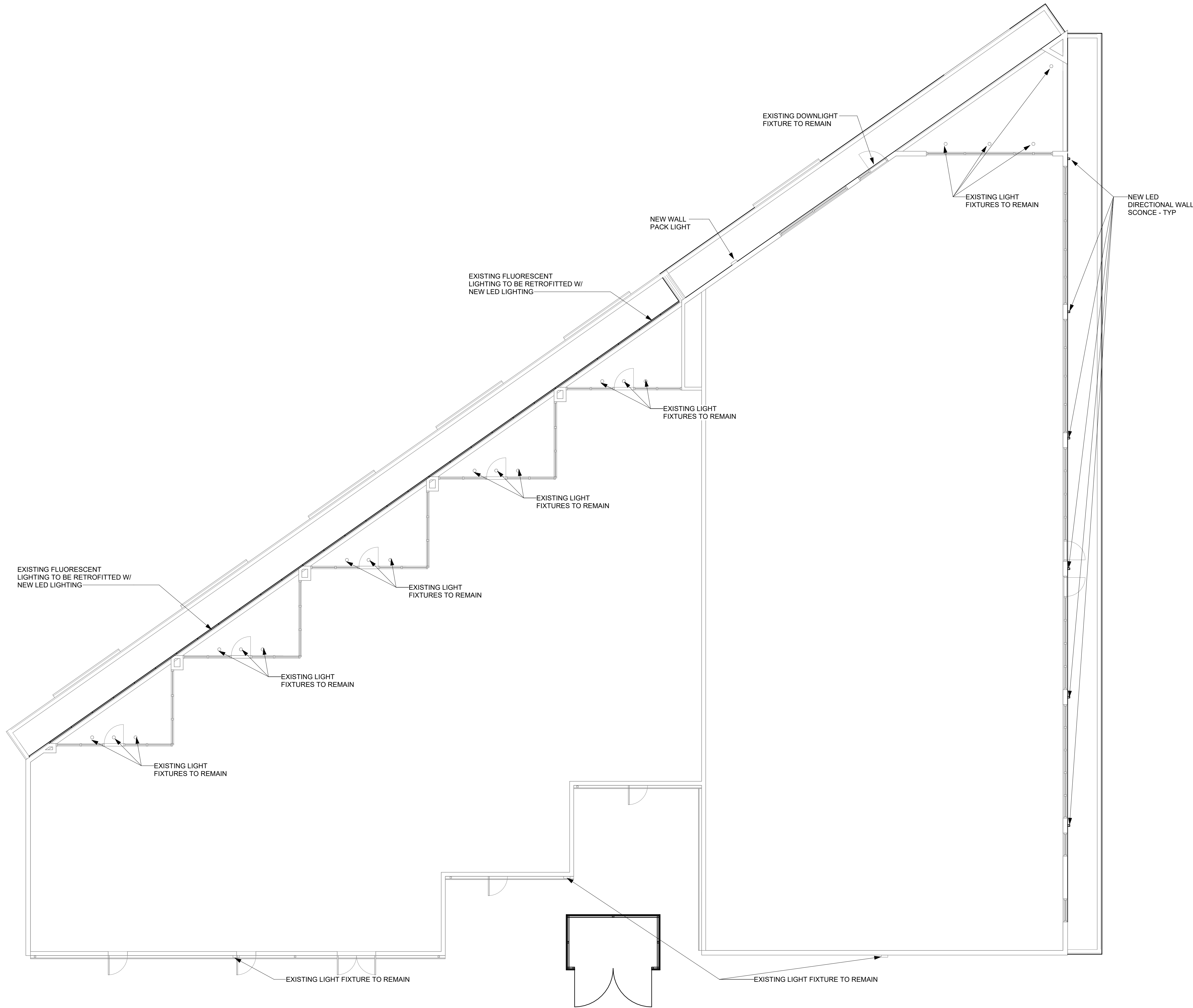


GENERAL NOTES

- REFER TO GENERAL NOTES SHEET G0.1 FOR ADDITIONAL INFORMATION.
- REFER TO ELECTRICAL ENGINEERING DWGS FOR LIGHT FIXTURE SPECS.
- ALL GWB HEADER/ BULK HEAD TO BE PAINTED - COLOR TBD
- CENTER ALL DEVICES ON CEILING TILE UNLESS NOTED OTHERWISE.
- CENTER ALL CEILING TILE SYSTEM IN ROOM UNLESS NOTED OTHERWISE.
- AT ALL PAINTED CEILINGS: PAINT ALL EXPOSED CEILINGS, DUCTWORK, DEVICES, AND EQUIPMENT.
- ALL CEILING TO BE XX-XX" A.F.F. UNLESS NOTED OTHERWISE

CEILING TYPE LEGEND

- A. REFER TO ELECTRICAL AND MECHANICAL DRAWINGS. REPORT ANY DISCREPANCY TO THE ARCHITECT. CONTRACTOR TO USE THIS SHEET FOR ALL DEVICE & FIXTURE LOCATIONS
- B. ALL CEILING COMPONENTS INCLUDING PERIMETER TRIM, TRANSITIONS, ETC. TO BE PART OF CEILING MANUFACTURER SYSTEM UNLESS APPROVED BY ARCHITECTURE.
- C. REFER TO FINISH PLAN FOR PAINT COLOR LOCATIONS. REPORT ANY DISCREPANCY TO THE ARCHITECT.
- D. SUSPENDED CEILING HEIGHT TO BE AS NOTED ON REFLECTED CEILING PLAN
- E. WALLS TO EXTEND 12" MINIMUM ABOVE CEILING U.N.O. FIRE RATED AND OR SOUND INSULATED WALLS TO EXTEND TO BOTTOM OF ROOF DECK U.N.O. REFER TO WALL SCHEDULE AND BUILDING SECTIONS.



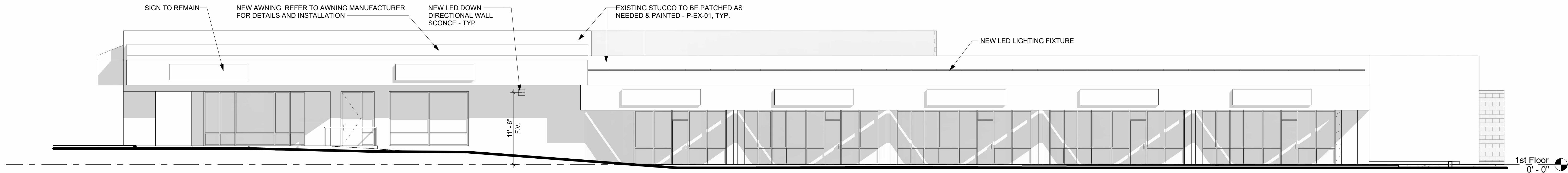
GENERAL NOTES

1. EXISTING EIFS TO BE PATCHED AND REPAIRED WHEN NEEDED

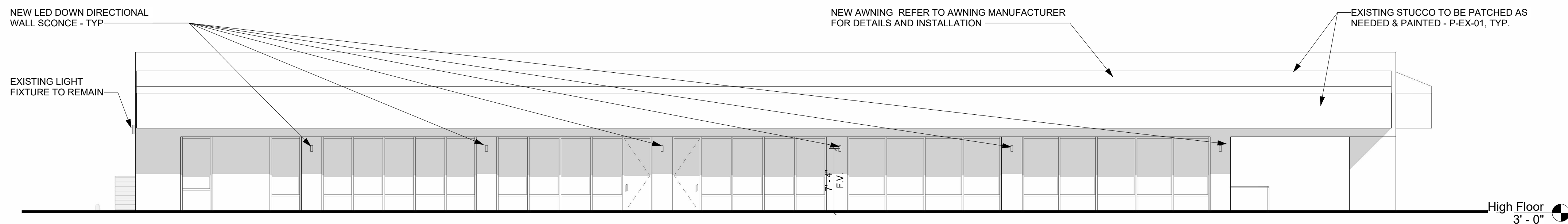
PAINT LEGEND

P-EX-01
SHERWIN WILLIAMS OFF WHITE - SW1095

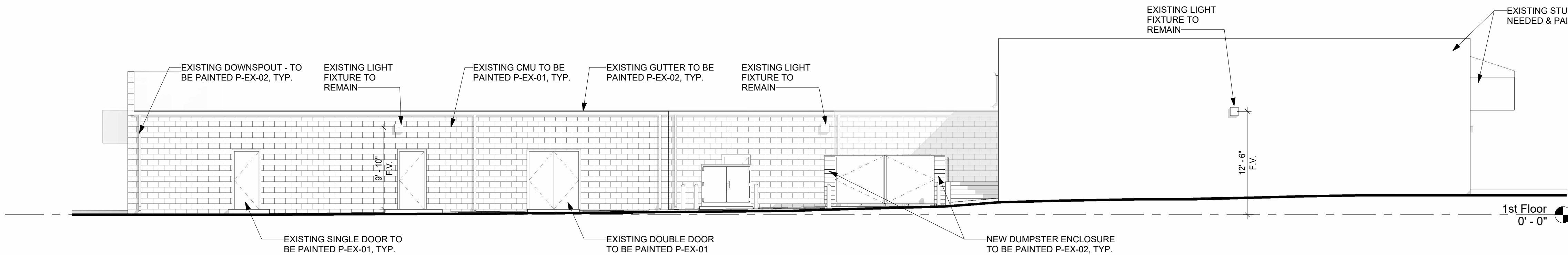
P-EX-02
SHERWIN WILLIAMS PEPPERCORN - SW7674



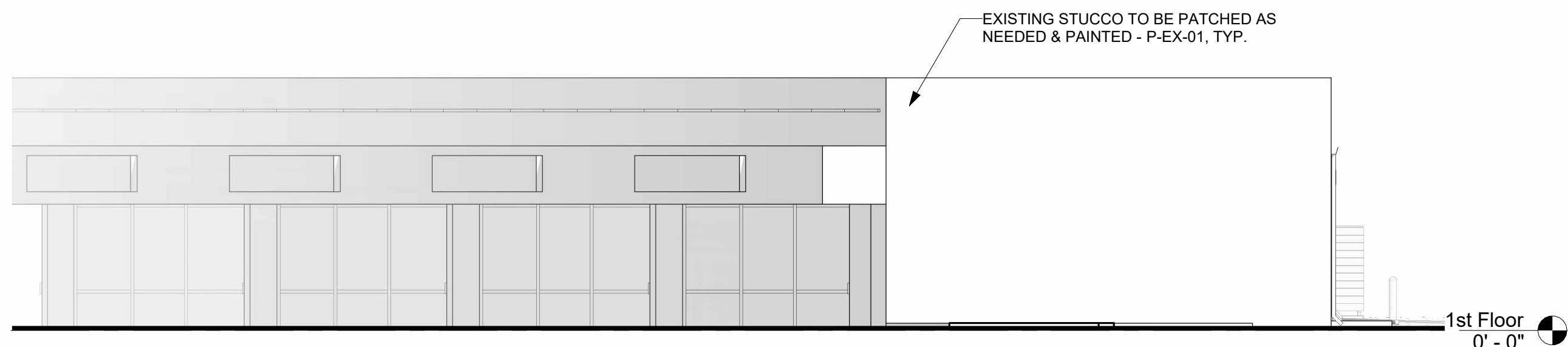
1 NORTH ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"



3 SOUTH ELEVATION
1/8" = 1'-0"



4 WEST ELEVATION
1/8" = 1'-0"

CALIBER PLUS⁺ ARCHITECTURAL

TYPE "B"

SERIES C73

Decorative LED Cylinder
 77.4-2770 Lummis

APPLICATION

Decorative cylinder is available in a variety of mounting styles and is suitable for indoor or optional outdoor / wet location applications that require the long life and energy saving benefits of LED technology.

FEATURES AND BENEFITS

- Architectural aluminum cylinder housing with powder coat finish.
- Mounting options include Pendant Stem, Wall, Surface, and Cord.
- Wall location listed is available on lensed wall and surface mount models.
- Separate models available for our remote drive platform of iHD and CentralDrive[®] (see below).
- The wall mount option available with glow grating or forward-throw Type 2 applications.
- Primary reflections provide a variety of beam distributions and can be interchanged in the field if necessary.
- Custom colors available.

TECHNICAL DATA

- Input: 120 to 277 VAC, 50-60Hz
- 0.129 (1% forward) and forward/reverse power (120V) dimming.
- CRI > 80. Available in 90 CRI.
- Available with Radiant[®] Thin[®] high-fidelity human-centric lighting technology.
- Expected lamp life is to 50,000 hours with 70% lumen maintenance when ambient temperatures do not exceed 35°C. Lower ambient temperatures yield longer lamp life.

REMOTE DRIVER OPTIONS (PUBLISHED SEPARATELY)

iHD is the leading Remote Driver. Features a housing with driver that is recessed in the ceiling and operates a single lighting fixture. Benefits include small 0.25" thick ceiling canopies, emergency EMI options, and longer drive life due to reduced exposure to the heat of the LED arrays. Both new construction and remodel style housings are available.

CentralDrive[®] system features a remote panel that operates multiple lighting fixtures. This remote panel can be installed in an easy-to-access area such as a utility closet. Benefits are the same as our iHD system as well as easy driver replacement.

Lighting fixtures for these remote driver systems are published separately and can be found on our website. Please contact our sales team for more information on these options.

weight 3.5lbs

INTERSEK
 Deep locations
 Optional Wet Location

Related Product

[Click for Remote Driver Version](#)

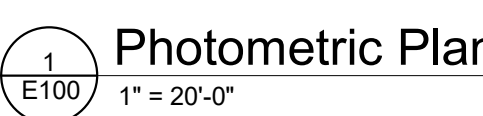
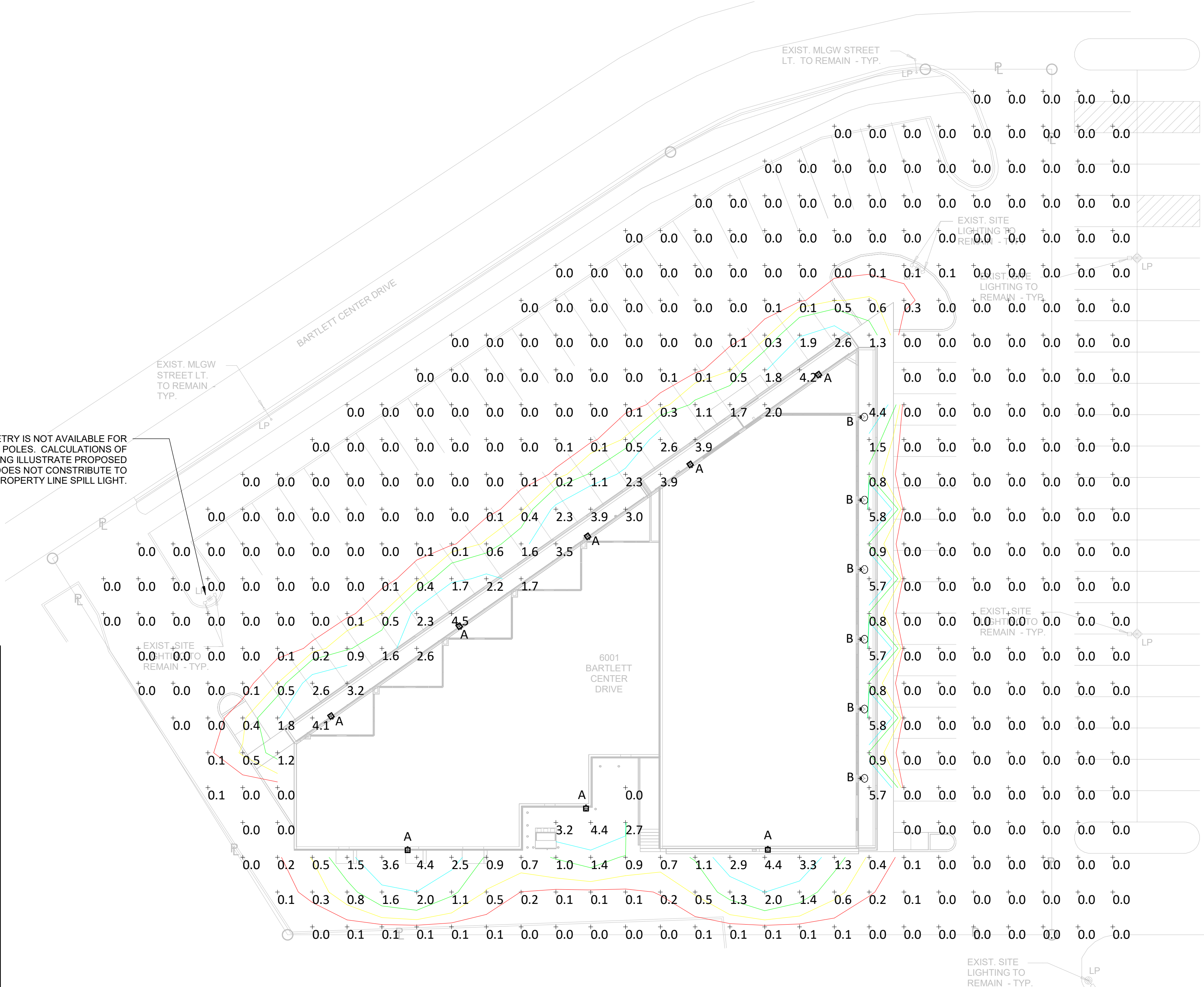
[i CentralDrive[®]](#)

C73

PATHWAY[®]
 LIGHTING

Pathway Lighting Products, Inc., P.O. Box 91, Elm Creek, CT 06475-0091
 voice 800.342.5592 • fax 800.207.2090 • www.pathwaylighting.com • e-mail sales@pathwaylighting.com

LCB70

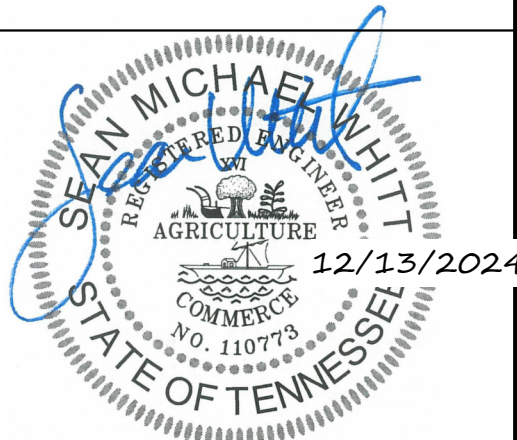


Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Max/Min
East Side	Illuminance	Fc	3.23	5.8	0.8	7.25
North Side	Illuminance	Fc	3.38	4.5	1.7	2.65

Luminaire Schedule							
Symbol	Qty	Tag	Mounting Height	Lum. Lumens	Lum. Watts	LLF	Description
	8	A	10	2928	16.3	0.900	GWM-A06-740-T2M
	6	B	7	1006	7.8	0.900	C73LB78V1035KM

CEANUP
ENGINEERING, INC.
ELECTRICAL ENGINEERING CONSULTANTS
3100 APPLING ROAD * BARTLETT, TENNESSEE 38133
PHONE: (901) 379-9762 * www.ceanupeng.com

RENOVATION TO BARTLETT CENTER
MR. MARTIN CHOW
6001 BARTLETT CENTER DRIVE, BARTLETT TN



ARCH 1010

COPYRIGHT 2024

Joshua N. Bellaire
ARCHITECT

[illegible]

PROJECT # 21032
DATE:12/13/2024
DRAWN BY: dpw
Photometric Plan

E100

40W Tucana III | LED CUT OFF WALL PACK LIGHT



RuggedGrade

PRODUCT DESCRIPTION

Tucana III adds 0-10v dimmability, top level DLC 5.1 Premium certification, with an Ultra-Efficient 140+ lumens per watt and Dark Sky Compliance, and a new clean design that hides any screws from visibility



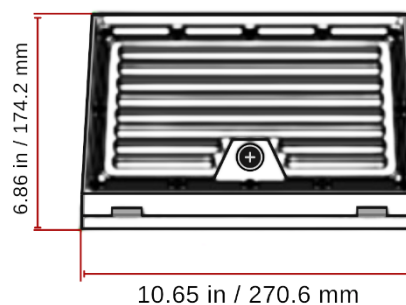
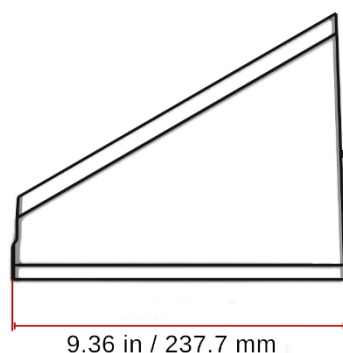
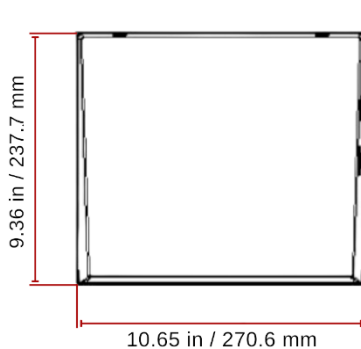
DLC #:

RGL-TUCANA-3-TT-40W

PRODUCT FEATURES & COMMON USE APPLICATIONS

- UL, cUL, certificate
- Lumileds 2835, high CRI.
- Input voltage 120-277VAC .
- Output constant current lever can be adjusted throughout cable with 0-10V.
- No UV or IR in the beam.
- Wattage adjustable feature enabled with wattage dial device (sold separately).
- Easy to install and operate.
- Energy saving, long lifespan.
- Light is soft and uniform, safe to eyes.
- Instant start, NO flickering, NO humming.
- Entrance lighting, courtyard lighting;
- Industrial lighting, Outdoor landscape lighting;
- Building, The hotel;
- Wall lighting area and so on.

PRODUCT DIMENSIONS



LEGENDARY USA SUPPORT



US based
phone and online
customer support



CERTIFIED

5 YEARS
WARRANTY

UL
LISTED

Rugged Grade Lighting
Industrial Grade Solutions



888-953-2476
sales@ruggedgrade.com

PRODUCT TECHNICAL SPECIFICATIONS

OPTICAL	Input Power (Tolerance : ±10%)	40W(Wattage Selectable 40W/20W/10W)		
	Color Temperature	3000K	4000K	5000K
	Lumen (Tolerance : -10%)	5563LM	5844LM	5720LM
	Efficacy (Tolerance : -3%)	139LM/W	146LM/W	143LM/W
	CRI	>80		
	Color Consistency	< 7 Steps (or < 7 SDCM)		
	BUG	B3-U0-G2		
	Diffuser Type	PC Lens		
	Distribution Pattern	Type II		
	Beam Angle (50%) (Tolerance :	H120*V85 Degree		
ELECTRICAL	Input Voltage and Frequency	120-277VAC, 50/60Hz		
	PF (Tolerance : -3%)	≥0.9		
	THD (Tolerance : +5%)	≤20%		
	Flicker Percent	< 30%		
	Driver Brand	Rugged Grade Lighting		
	Driver Model	Rugged Grade AS Driver		
	Driver Surge protection	L-N: 4kV , L&N-E: 4kV		
	Dimming	0-10V dimming standard		
MATERIALS	Optional Accessory	Motion Sensor, Surge-protective Device		
	LED Brand	Lumileds		
	LED Type	SMD2835		
	LED QTY	104*2PCS		
	Housing	Die-cast aluminum		
	Housing Color	Bronze		
OTHERS	Waterproof Rating	WET (IP65)		
	Operating Temperature	-40℃ TO 50℃; Sensor:-25℃ TO 50℃; emergency:0℃ TO 50℃		
	Storage Temperature	-40℃ TO 80℃		
	Operating Humidity	20% - 90% RH		
	Storage Humidity	10% - 95% RH		
	Warranty	5 years warranty with 24/7 operating hours Luminaire lifetime		

PRODUCT MOUNTS & ACCESSORIES

SENSOR INSTALLATION

1. Remove plastic cap
2. Make sure the 3 prongs have good contact with contactors in receptacle



Rugged Grade Lighting
Industrial Grade Solutions



888-953-2476
sales@ruggedgrade.com

PRODUCT IMAGES & ACTUAL INSTALLATIONS



Color temperature adjustable instruction

- 1, The color temperature of the light turns to 3000K when the DIP switch is set to 3K;
- 2, The color temperature of the light turns to 4000K when the DIP switch is set to 4K;
- 3, The color temperature of the light turns to 5000K when the DIP switch is set to 5K;

Note: Please turn off the power before adjusting the color temperature.

Wattage adjustable instruction

The power of the light will change to the corresponding wattage when the DIP switch is set to L/ M/ H.

Adjustable wattage range: 25%-100%.

Note: Please turn off the power before adjusting the wattage.



Photocell:

Connection of male and female connector will help to turn on the photocell.(Fig:1)

Disconnection of male and female connector will help to turn off the photocell.(Fig:2)



PHOTOMETRICS

LUMINAIRE PHOTOMETRIC TEST REPORT

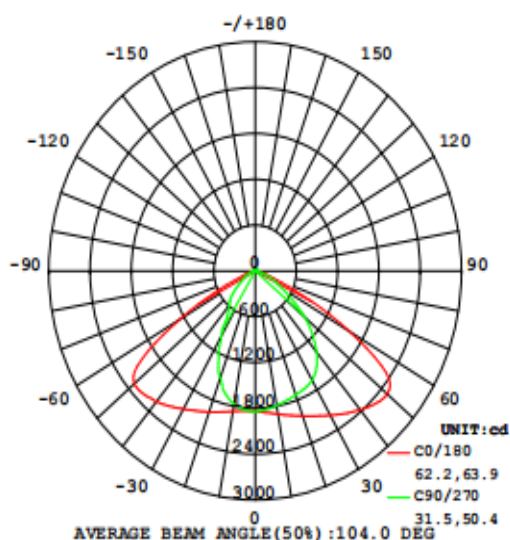
Test:U:119.70V I:0.3496A P:41.457W PF:0.9907 Freq:60.01Hz

Lamp Flux:5563.77x1 lm

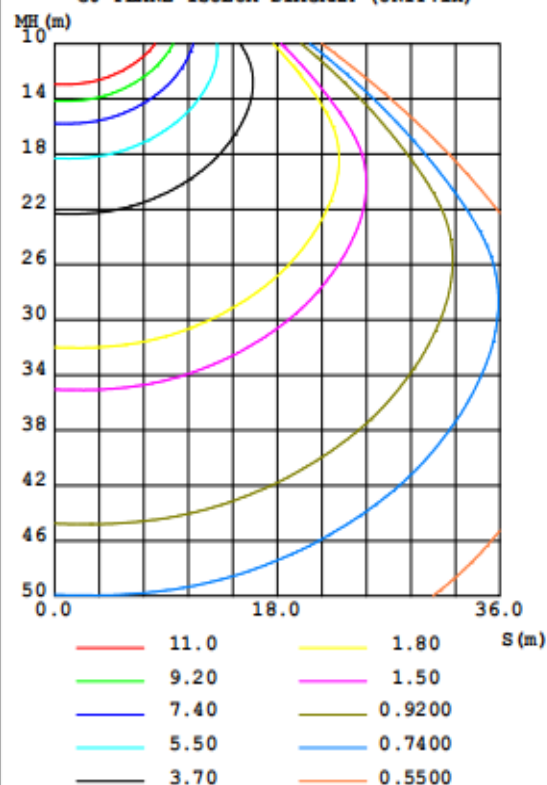
NAME:	TYPE:	WEIGHT:
SPEC.:	DIM.:	SERIAL No.:
MFR.: EVERFINE	SUR.:	Shielding Angle:

DATA OF LAMP		PHOTOMETRIC DATA				Eff: 134.21 lm/W
MODEL		I _{max} (cd)	2507	S/MH (C0/180)	1.81	
NOMINAL POWER (W)	40	LOR (%)	100.0	S/MH (C90/270)	0.93	
RATED VOLTAGE (V)	120	TOTAL FLUX (lm)	5563.8	η UP, DN (C0-180)	0.3, 56.7	
NOMINAL FLUX (lm)	5563.77	CIE CLASS	DIRECT	η UP, DN (C180-360)	0.2, 42.7	
LAMPS INSIDE	1	η up (%)	0.5	CIBSE SHR NOM	1.25	
TEST VOLTAGE (V)	120	η down (%)	99.5	CIBSE SHR MAX	1.35	

LUMINOUS INTENSITY DISTRIBUTION DIAGRAM



C0 PLANE ISOLUX DIAGRAM (UNIT: lx)



DLC SPECS



RGL-TUCANA-3-TT-40WBT2DA1-abcW30/40/50

Manufacturer: RuggedGrade
Brand: RuggedGrade

PRODUCT OVERVIEW	
Model Number	RGL TUCANA 3 TT 40WBT2DA1 abcW30/40/50
Classification	Premium
Primary Use	Outdoor Full Cutoff Wall Mounted Area Luminaires
Reported Input Wattage	40.4 W
Reported Light Output	5701 lm
Reported CCT	3000 K
Reported CRI (Ra)	83
Product ID	S-6K99Y2
DLC Family Code	EMWBQA
Listing Status	Listed
Date Qualified	2024-05-07

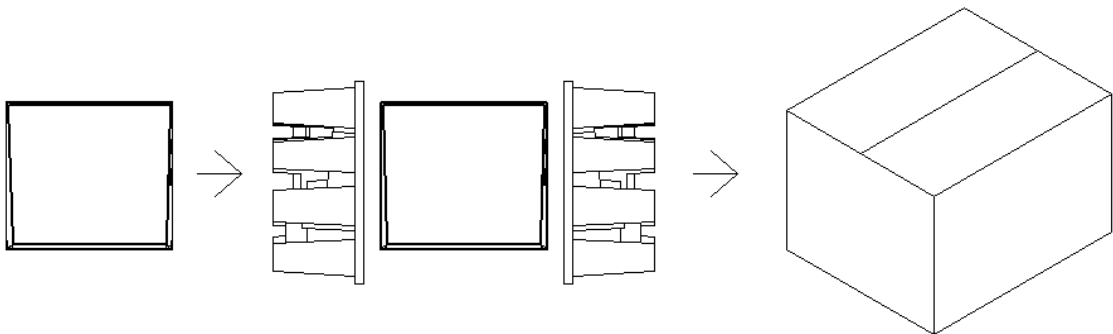
PRODUCT INFORMATION	
Qualified Product List	Solid State Lighting
Technical Requirements Version	5.1
Product ID	S-6K99Y2
Manufacturer	RuggedGrade
Brand	RuggedGrade
Model Number	RGL TUCANA 3 TT 40WBT2DA1 abcW30/40/50
Parent	Yes
Classification	Premium
PRODUCT CATEGORIZATION	
VIEW DETAILS	
CONTROL FEATURES	
VIEW DETAILS	
REPORTED PHOTOMETRIC PERFORMANCE	
Reported Light Output	5701 lm
Reported Efficacy (AC)	141.01 lm/W
Reported CCT	3000 K
Reported CRI (Ra)	83
Reported R9	8
Reported IES Rf	85
Reported IES Rg	96
Reported IES Rcs,h1	-11
REPORTED ELECTRICAL PERFORMANCE	
Reported Input Wattage	40.4 W
Reported Total Harmonic Distortion	15 %
Reported Power Factor	0.9
Reported Minimum Input Wattage	10 W
Reported Maximum Input Wattage	40.4
Reported Default Input Wattage	40.4 W
Voltage Range	120-277 V



PRODUCT PACKAGING

	Size	Qty / Carton	Net Weight / Carton	Gross Weight / Carton
Outer box	337*321*215mm (13.3"*12.6"*8.5")	1 PCS	3.4KG (7.5lb)	4.5KG (9.9lb)

*Tolerance of Carton Size: ±15 MM, Tolerance of Weight: ±10%.



PRODUCT WARNINGS

- Please turn off power before install or change assembly parts.
- The input voltage and lamps should be matched, after connecting the power line.
- Please make sure the wiring section is insulated.
- Professionals must install and disassemble the lamps.
- Surge is the number 1 cause of LED light failure. Outdoor lights must have surge at fixture, pole, and breaker.
- Surge is the number 1 cause of LED light failure. Indoor lights must have surge at fixture and breaker.

PRODUCT TROUBLESHOOTING

Issue	Check points
Light Flickers	Check all wiring for disconnections, shorts and burnt wiring and connections. Confirm steady input voltage to the light fixture, fluctuating input voltage will harm the LED driver and can lead to premature failure. Lights with photocells can have photocell tag from ambient light or light reflecting at the sensor. Simply cover the photocell completely and see if flickering continues while the photocell is covered. Call Tech Support for help if none of the above solves the issue.
Light does not work at all.	Check all wiring for disconnections, shorts and burnt wiring and connections. Confirm steady input voltage to the light fixture, fluctuating input voltage will harm the LED driver and can lead to premature failure. If input voltage is not in the voltage range of the fixture, you will need to find the source of your input voltage issue. Call Tech Support for help if none of the above solves the issue.

For more technical information, install questions, troubleshooting help or warranty claims, we have a dedicated US Tech and Customer Support Team to help solve any issues you have and can be reached by email or phone. If you need help with any of our products, we are here for you so that you are never in the dark!

BETTER LIGHTS. BETTER SUPPORT.

