City of Bartlett

David Parsons, Mayor

Municipal Planning Commission
AGENDA
Monday, August 4, 2025 — 6:30 p.m.
Bartlett City Hall Assembly Chamber

Opening Prayer

****Official Business of the Day****

Minutes of the Monday, July 7, 2025 Meeting

NEW BUSINESS
Public Hearing
Rezoning

1. 5866 Ivanhoe Road, Rezoning from "RS-10" Residential Single Family to "CG" General Business, 5866 Ivanhoe Road. (Roy Lamica, EFI Global)

No Public Hearing. The application has been withdrawn by the applicant.

Construction Plan

2. Stelling Planned Development, 4558 Billy Maher Road (David Bray, The Bray Firm)
3. Castleton Subdivision, Northwest Corner of Ellendale Road at Fiske Road (David Bray, The Bray Firm).

Site Plan

4. Panda Express, 8030 Highway 64 (Justin Crable, Atwell, LLC)

Open Discussion

The public shall be provided an opportunity to address the Board or Commission during an Open Discussion period at the end of each regular and special meeting of the governing body. Prior to the start of the meeting, individuals will be required to complete and present to the Clerk the Open Discussion Citizen form provided at each meeting. The Open Discussion period for regular and special meetings of the Board or Commission shall be limited to twenty (20) minutes. Individuals shall be allowed to speak for up to three (3) minutes each. Open Discussion periods will not be held for any meeting where there are no actionable items on the agenda or meetings where the governing body is conducting a disciplinary hearing for a member of the governing body or a person whose profession or activities fall within the jurisdiction of the governing body.

Adjourn

PLANNING COMMISSION

Monday, August 4, 2025 - 6:30 P.M.
Bartlett City Hall Assembly Chamber
Staff Comments

NEW BUSINESS
Public Hearing
Rezoning

1. **5866 Ivanhoe Road, Rezoning from "RS-10" Residential Single Family to "CG" General Business, 5866 Ivanhoe Road. (Roy Lamica, EFI Global)**

No Public Hearing. The application has been withdrawn by the applicant.

The applicant held a neighborhood meeting at Singleton Community Center on Wednesday, July 30, 2025. The applicant must resubmit their desire to move forward with this rezoning request in accordance with the Planning Commission application submittal deadlines. Public Notice mailings will be resent for those properties within 1,000 feet of the proposed rezoning site, and a new ad will be published in the Bartlett Express once the applicant decides to move forward with this rezoning request.

Construction Plan

2. **Stelling Planned Development, 4558 Billy Maher Road (David Bray, The Bray Firm)**

INTRODUCTION: Mr. David Bray with The Bray Firm is requesting Planning Commission approval of a construction plan for a Planned Development. The subject property is located at 4570 Billy Maher Road, and it is within the "RS-18" Single-Family Residential Zoning District, however the property is concurrently being rezoned "RS-12" Single-Family Residential Zoning District.

BACKGROUND: On November 26, 2024, the Board of Mayor and Alderman approved the Stelling Planned Development and Rezoning. The approved rezoning was from "RS-18" to "RS-12" single family residential zoning district. The approved planned residential development was 94 lots ranging from 8,125 square feet to 11,839 square feet acres. The approved 94 lots was compliant with the underlying 3.0 lots per acre required by the "RS-12" single family residential zoning district.

DISCUSSION: The specific request by the applicant is for Planning Commission approval of the Construction Plan for the Stelling Planned Development. The

applicant is proposing to subdivide the existing 31.51 acres of land into a 94 lot planned residential subdivision with 2 common open space lots. The lot sizes will range from 8,125 square feet to 11,839 acres. Housing density with "RS-12" is 3 units per acre and the minimum yard setbacks are:

Actual	RS-12 Zoning District
A. Front – 30 feet	Front – 35 feet
B. Side – 5 feet	Side – minimum of 8 total of 18 feet
C. Rear – 25 feet	Rear – 30 feet

Storm water detention will be handled by a detention area on common open space B. Common open space B also features the cluster post office boxes and the greenbelt area. The construction plans for the subdivision also include: erosion control plan, sanitary sewer plan, grading and drainage plan, water plan, tree plan and street plans for Billy Maher, Stelling Ridge Lane, Columbia View Lane, Farley View Lane, Howard Spring Drive, and Stelling Valley Lane. Access to the subdivision will be from Billy Maher Road.

Recommendation: Approval with Conditions.

Engineering Conditions:

General:

1. A Residential Site Plan contract may be required and will be prepared by Engineering and submitted to the developer/engineer for review to cover the fees to be paid to the City of Bartlett.
2. Applicant/ Engineer shall provide a **digital set of drawing** files showing the sanitary sewer lines, drainage lines, lot lines and all improvements in AutoCAD format to dhubbard@cityofbartlett.org and ecampbell@cityofbartlett.org for use in the preparation of the Water Design Plan. This plan will be coordinated with the site design engineer to resolve any conflicts.
3. A SWPPP and a TDEC permit may be required. A Notice of Intent (NOI) shall be submitted to TDEC with a copy provided to the City of Bartlett Engineering office.
4. An ARAP permit may be required. A Notice of Intent (NOI) shall be submitted to TDEC with a copy provided to the City of Bartlett Engineering office.
5. Previous submittals did not clearly define and label the stream and top of bank. On the currently submitted plan the corner of Howard Spring Drive and Stelling Valley Drive does not meet the required buffer of the Bartlett Stormwater Ordinance. Because of the location of the shown stream oxbow, this proposed road location is not acceptable as it is dangerously close to the stream bank. Developer's engineer shall work with City to come up with an acceptable alternative.
6. All new utilities shall be underground.

7. Two water extension crossings of Howard Creek will be required to obtain sufficient fireflow.
8. Easements should be shown on all plan sheets.
9. Coordination with MLG&W is required for relocation of existing fire hydrant and power poles on Billy Maher.
10. Orange vinyl fence shall be installed to clearly mark the "limit of disturbance" as shown on the plans.
11. A traffic control plan will be required.
12. Correct all markups.
13. Standard Proctor tests shall read 98% compaction

Plat

14. A sewer easement needs to be added across the greenbelt and COS.
15. The sewer easement between Lots 36 and 37 will need to be widened to accommodate sewer depth.
16. Drainage easements need to be added across the greenbelt and COS.
17. Lots 1, 2, 3, 4, 58, 59 & 94 are to have no direct driveway access onto Billy Maher Rd. This note shall be added to the plat.
18. Show COS A&B to be owned and maintained by the HOA.
19. The planned detention basin in COS B needs to be shown as a separate COS to be owned and maintained by the HOA.
20. Need to show the stream buffer and label as non-buildable greenbelt. Greenbelt shall be dedicated to City of Bartlett Parks Department.
21. The portion of COS B along the northern edge of the planned development needs to be shown as a separate COS to be owned and maintained by the HOA.
22. Minimum floor elevations may be required for some lots.
23. A sidewalk chart is required. Wheelchair ramps on all corners.

Sanitary Sewer

24. This PD will potentially discharge into the Billy Maher Sewer pump station. A flow analysis must be conducted to see if this pump station and/or force main must be upgraded.

Erosion Control Plan

25. The developer's engineer shall provide a copy of the SWPPP (Storm Water Pollution Prevention Plan) that has been or will be submitted to TDEC (Tennessee Department of Conservation).
26. Prior to any work being started, an NOC (Notice of Coverage) from TDEC must be received and a copy submitted to the City of Bartlett.
27. Metal posts with wire-backed fence are required on the proposed silt fences.
28. Details for inlet protection are required.
29. The TDEC permit number shall be shown.

Grading and Drainage:

30. The applicant's engineer shall submit the stamped and signed detention calculations for the detention basins required for this property and show the 'pre' and the 'post' runoff for the 2, 5, 10, 25, 100 year storms. As- built detention analysis will be required.
31. An ARAP may be required for the discharge of pipe to the stream, the developer is responsible for verifying this discharge with TDEC.
32. More offsite area should be included for adequate review of drainage, and the need for additional drainage structures.
33. The existing pond outline shall be clearly shown. A TDEC permit may be required regarding the emptying of the pond and relocation of natural wild life. A geotechnical design must be added to these construction plans and shall be sealed by a Geotechnical Professional Engineer. This design should be based on data supplied by soil borings which will be submitted to the City in a Geotechnical Report. Resultant design shall include removal and disposal of all poor soil and replacement with engineered fill, compacted to 98% Standard Proctor, or specific density to be specified by the Geotechnical engineer.
34. On each Lot located within the current pond, prior to issuance of building permits, Bartlett Code Enforcement will require that each Lot in the S/D have (1) Soil Boring, an engineered slab design, and an Engineer's certification of the work completed.
35. Additional inlet structures shall be added to the intersection of Billy Maher and Stelling Ridge to catch the stormwater on Billy Maher.

Billy Maher Rd:

36. This ROW is located within Shelby County limits and the plan shall be sent to the Shelby County Engineering Office for joint review, ATTN: Ahmad Nemati. ahmad.nemati@shelbycountytn.gov
37. A trip generation study will be required.
38. Road widening and improvements will be required on Billy Maher Rd. Dedication of a right turn lane and associated required taper. Dedication of a left turn lane and associated required taper. A striping plan will be required.

Planning Comments:

1. A Planned Development usually provides common amenities for the residents. Staff recommend adding a walking trail around the detention area and greenbelt on Common Open Space B.

Planning Conditions:

1. The applicant shall institute a fence template for the properties along Billy Maher Road.
2. The applicant shall put a fence and landscape plate along the north property line.
3. The applicant shall include a tree survey with a tree table.
4. The applicant shall include a landscape plan for the common open spaces.
5. The applicant shall add the following restrictions to the final plat:
    - 8,000 square feet minimum lot size
    - 65-feet minimum lot width at the front building setback line.
6. The applicant will need to add a note to the plat to deny driveway access to Billy Maher for Lots 1, 2, 3, 4, 58, 59, and 94.
7. A note shall be added to the plat stating that the Stelling Planned Development requires a homeowner's association to be formed to maintain all common amenities, landscaping, subdivision fence, subdivision sign, and other features.
8. Ownership and maintenance responsibilities of Common Open Space B shall be listed on the Plat.
9. The applicant shall attach the homeowner's association bylaws instrument number and the covenants and restrictions instrument number to the final plat.
10. The applicant shall obtain Design and Review Commission approval for the common open space amenities and subdivision signage.
11. The owner/applicant shall be present at the meeting in order to make decisions relative to any changes that may be suggested by the Planning Commission.
12. Should the construction plans be approved the applicant shall submit final subdivision plans, along with a site plan application to the Design Review Commission for the common open space areas and the amenities to be installed in the common open space areas.

3. Castleton Subdivision, Northwest Corner of Ellendale Road at Fiske Road (David Bray, The Bray Firm).

INTRODUCTION: Mr. David Bray with the Bray Firm is requesting Planning Commission Approval of a Construction Plan for the Castleton Subdivision. The subject property is located at the northwest corner of Ellendale Road at Fiske Road. The subject property is zoned "RS-15" Single Family Residential.

BACKGROUND: On May 5, 2025, the Planning Commission approved the Master Plan for the Castleton Subdivision.

DISCUSSION: The specific request by the applicant is for Construction Plan approval to subdivide 5.05 acres of land into a 10-lot subdivision. The lot sizes will range from 15,000 square feet to 21751 square feet. The proposed development will have a common open space detention basin with an area designated for the cluster mailbox. The construction plans for the subdivision also include: erosion control plan, sanitary sewer plan, grading and drainage plan, water plan, tree plan and street plans for Inniswood Drive and Castleton Cove. Access to the subdivision will be from Inniswood Drive.

Recommendation: Approval with conditions.

Engineering Conditions:

General:

1. A Residential Site Plan contract may be required and will be prepared by Engineering and submitted to the developer/engineer for review to cover the fees to be paid to the City of Bartlett.
2. Applicant/ Engineer shall provide a **digital set of drawing** files showing the sanitary sewer lines, drainage lines, lot lines and all improvements in AutoCAD format to dhubbard@cityofbartlett.org and ecampbell@cityofbartlett.org for use in the preparation of the Water Design Plan. This plan will be coordinated with the site design engineer to resolve any conflicts.
3. A SWPPP and a TDEC permit may be required. A Notice of Intent (NOI) shall be submitted to TDEC with a copy provided to the City of Bartlett Engineering office.
4. All new utilities shall be underground.
5. Future realignment of Ellendale Road (84'ROW) shall be shown on remanent lot as a no build zone.
6. Lot 3 may need to be adjusted to accommodate the development of full ROW (60') on Fiske Road. Developer's engineer shall call out the full ROW on the plat and adjust the lot as necessary.
7. Correct all markups.
8. Standard Proctor tests shall read 98% compaction.

Plat:

9. Subdivision monuments shall be shown in accordance with the subdivision regulation.
10. Lots 1, 2, 3 are to have no direct driveway access onto Fiske Rd.
11. A sidewalk chart is required. Wheelchair ramps on all corners.

Utilities:

12. A water extension may be required to Fiske Rd or Ellendale Rd to achieve Fire Flows

Erosion Control Plan:

13. The engineer shall provide a copy of the SWPPP (Storm Water Pollution Prevention Plan) that has been or will be submitted to TDEC (Tennessee Department of Conservation).
14. Prior to any work being started, an NOC (Notice of Coverage) from TDEC must be received and a copy submitted to the City of Bartlett.
15. Metal posts with wire-backed fence are required on the proposed silt fences.
16. The TDEC permit number shall be shown.

Grading and Drainage:

17. Existing structures at the intersection of Glenchase and Inniswood shall be included in the drainage design with new drainage calculations for adjusted drainage areas and capacity.

Planning Comments:

1. Residents of Bristol Glen Subdivision 1st addition requested that, if possible, the applicant leave some of the larger, well-established trees that will not be hindered by construction.

Planning Conditions:

1. The applicant shall provide a tree survey with a data table with the construction plans.
2. The applicant shall identify the location for the Post Office required cluster box to the final plat.
3. Ownership and maintenance responsibilities of Common Open Space A shall be listed on the Plat.
4. The applicant shall attach the homeowner's association bylaws instrument number and the covenants and restrictions instrument number to the final plat.
5. The applicant shall apply to the Planning Commission for the approval of the Final Plan to legally record this subdivision.
6. The applicant shall be present at the meetings in order to make decisions relative to any changes that may be suggested by the Planning Commission.

Site Plan

4. Panda Express, 8030 Highway 64 (Justin Crable, Atwell LLC)

INTRODUCTION: Justin Crable with Atwell LLC is requesting Planning Commission approval of a revised Site Plan for a new Panda Express restaurant. The subject

property is located at 8030 Highway 64. The subject property is within the "C-H" Highway Business Zoning District.

BACKGROUND: The Planning Commission approved the Site Plan for the existing Colton's Steakhouse building in December 2002 and January 2003. Colton's Steakhouse closed operations in January 2025.

DISCUSSION: The specific request by the applicant is for the approval of a Site Plan to demolish the existing building and construct a 2,697 square foot restaurant with drive-thru lane service. Access to the site will be from an existing ingress/egress easement and driveway off Highway 64 within the Wolf Run Plaza shopping center. Specifics of the site plan are as follows:

Site Data	
Site Area:	1.24 acres/54,014.14 square feet
Total Required Parking Spaces: (13.6 spaces per 1,000 sq.ft. or 36 spaces per 100 seats plus 7 spaces, whichever is greater)	43(41 regular / 2 ADA)
Total Proposed Parking Spaces:	56 (19 drive thru stacking)
Handicap Accessible:	3 ADA
Regular:	53
Proposed Building Area:	2,697 square feet
Greenspace/Openspace:	Existing – 24% Proposed – 25.25%
Building Height:	One story

Recommendation: Approval with conditions.

Engineering Conditions:
General:

1) A Commercial Site Plan contract will be required and will be prepared by Engineering and submitted to the developer/engineer for review to cover the fees to be paid to the City of Bartlett.
2) Applicant/ Engineer shall provide a digital set of drawing files showing the sanitary sewer lines, drainage lines, lot lines and all improvements in AutoCAD format to therndon@cityofbartlett.org and ecampbell@cityofbartlett.org for use in the preparation of the Water Design Plan. This plan will be coordinated with the site design engineer to resolve any conflicts.
3) A Demolition Plan shall be added to this set of plans with a permit from Code Enforcement. All onsite demolition should be completed and approved by the City of Bartlett Code Enforcement Department prior to any work commencing on the associated Civil drawings.

4) A SWPPP may be required and shall be submitted to TDEC and also to the City of Bartlett Engineering office.
5) All new utilities shall be underground.
6) Fire protection must be approved by the City of Bartlett Fire Marshall.
7) If lots are to be combined, the existing Plat shall be modified.

Utility Plan:

8) Applicant/ Engineer shall provide a **digital set of drawing** files showing the sanitary sewer lines, drainage lines, lot lines and all improvements in AutoCAD format to dhubbard@cityofbartlett.org and ecampbell@cityofbartlett.org for use in the preparation of the Public Water Design Plan. This plan will be coordinated with the site design engineer to resolve any conflicts.
9) Existing water and sewer connections shall be used or removed.
10) Irrigation and domestic water require separate taps.
11) If any sewer cleanout is located in a paved area, then it shall comply with the detail approved by Bartlett Codes which involves a brass connections and a concrete collar.

Erosion Control Plan:

12) During construction extra care will be needed to ensure that silt is not tracked out onto US HWY 64.

Erosion Control Details- NOT SUBMITTED:

13) Metal posts with wired backed fence are required on the proposed silt fences.

Grading & Drainage Plan:

14) Proposed spot elevation points and slope arrows should be added at various places on this set of plans.

Planning Comments:

1. The applicant has confirmed with staff that the proposed site plan proposal was based upon acquiring a shared ingress/egress easement from Lot 42A of the Bartlett Corporate Park East Phase 2 subdivision that was going to be incorporated into the subject property. However, the applicant has stated that they will no longer be acquiring the shared ingress/egress easement from Lot 42A of the Bartlett Corporate Park East Phase 2 subdivision
2. The existing site plan was developed prior to the 2006 Tree and Landscape Ordinance that requires 35% of green open space. In these instances, the site must not further reduce their proposed green open space less than the existing green open space, or they shall obtain a variance from the Board of Zoning Appeals from the required 35% of green open space.

Planning Conditions:

1. The applicant must obtain a demo permit from Code Enforcement to demolish the existing building.

2. The property owner will be responsible for landscape maintenance of the entire lot.
3. The applicant must update the site data table and site plan to remove the shared ingress/egress easement from Lot 42A of the Bartlett Corporate Park East Phase 2 subdivision that was going to be incorporated into the subject property.
4. The applicant must obtain Site Plan approval from the Design Review Commission.
5. The applicant shall be present at the meeting in order to make decisions relative to any changes that may be suggested by the Planning Commission.

PC Construction Plan Application

Date: 07/07/2025

Project Information

Property Address:	4558 Billy Maher Road	Present Zoning:	RS-18
Project Name:		# of Lots:	94

Description: SFR in PD overlay

Applicant / Owner

Applicant Name:	Jim Curtis	Owner Name:	Jim Curtis
Company Name:	GBI Contractors, Inc.	Company Name:	GBI Contractors, Inc.
Address:	110 Campground Road	Address:	110 Campground Road
City, State, Zip:	Red Banks, MS 38661	City, State, Zip:	Red Banks, MS 38661
Phone:	9018489821	Phone:	9018489821
Email:	jim@gbicontractors.com	Email:	jim@gbicontractors.com

Architect / Engineer

Architect Contact:		Architect Contact:	David Bray
Company Name:		Company Name:	The Bray Firm
Address:		Address:	2950 Stage Plaza North
City, State, Zip:		City, State, Zip:	Bartlett, TN 38134
Phone:		Phone:	9013838668
Email:		Email:	dgbray@comcast.net

I do hereby certify that the information contained herein is true and correct.

David Gean Bray	07/07/2025
Name	Date

Bartlett Planning and
Economic Development Department
6382 Stage Road, P.O. Box 341148
Bartlett, TN 38184-1148
901-385-6417 FAX 901-385-6419
www.cityofbartlett.org

Construction Plan Checklist

The applicant shall either indicate that the following items have been completed by a check (√) or that they are not applicable (n/a).
In addition to all the requirements of the Master Plan, the Construction Plan shall show

_____ Signature and Seal of Designer, a Professional Civil Engineer Registered in Tennessee

X * Grading Plan, existing & finished contours for the site and fifty (50) feet beyond property

X * Extent and elevation of land below the 100-year flood

X Detailed plan of sewer layouts

X Plan and profile sheets and engineering data for streets, storm drainage, controls for surface and ground water, water and sewer layouts

X Landscape plan and planting schedule as required

X Comprehensive drainage plan

X Construction traffic access plan

Certificates: (As applicable)

X Suitability of Soils for Septic Tanks

X Approval of Water and Sewerage Systems

X Accuracy of Engineering and Design

X Approval of Water and Sewer Lines

X Approval of Street and Drainage Improvements

X Quality of Construction

X Compliance with requirements of EPA

X Approval of Flood Administrator

In addition to the Construction Plan drawings, the following shall be provided:

X One PDF file of the pictorial portion of the Construction Plan sheets indicated above by an asterisk (*), for display at the Planning Commission meeting.

Include a fee of $500.00 plus $20.00 per lot with this application (check payable to the City of Bartlett).
The fee is not refundable.

INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED

SCHEDULE OF DRAWINGS

COVER PAGE	1
FINAL PLAT (2 SHEETS)	2
CONSTRUCTION NOTES	4
EROSION CONTROL PLAN (3 SHEETS)	5
SANITARY SEWER PLAN	8
GRADING AND DRAINAGE PLAN	9
WATER PLAN (BY CITY OF BARTLETT)	10
TREE PLAN	11
BILLY MAHER ROAD	12
STELLING RIDGE LANE	13
COLUMBIA VIEW LANE	14
FARLEY VIEW LANE	15
HOWARD SPRING DRIVE	16
STELLING VALLEY LANE	17

CONSTRUCTION DRAWINGS

STELLING PLANNED DEVELOPMENT

BARTLETT, TENNESSEE

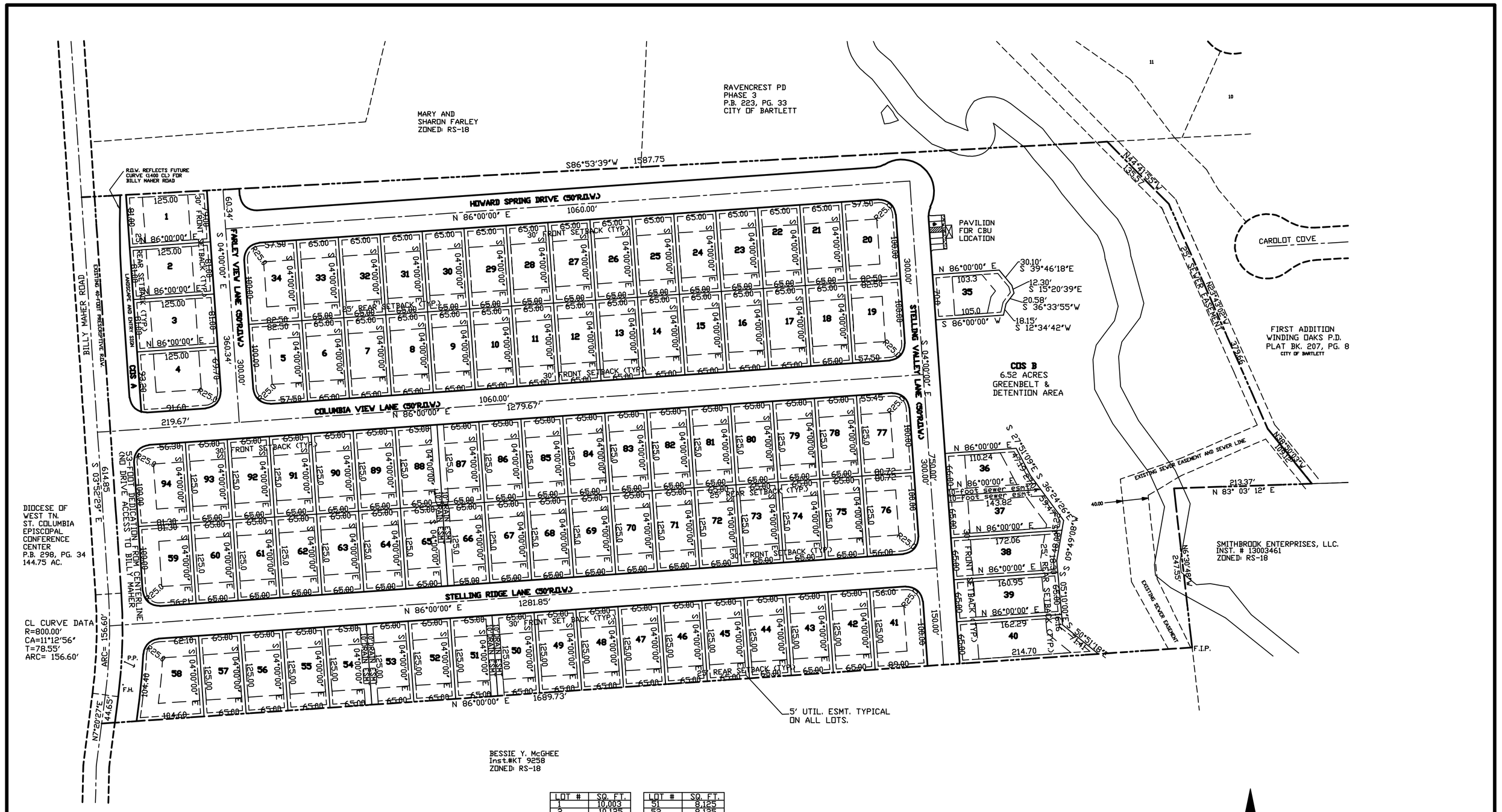
GBI CONTRACTORS, INC.
DEVELOPER

THE BRAY FIRM
ENGINEER

GENERAL NOTES

CONSTRUCTION NOTES:

1. PROPERTY LINES SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. GRADING, CLEARING AND THE ERECTION OR REMOVAL OF FENCES ALONG PROPERTY LINES SHALL BE FULLY COORDINATED WITH ADJACENT PROPERTY OWNERS.
2. THE CONTRACTOR SHALL VERIFY ANY EXISTING DATA AND REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ENGINEER.
3. THE CONTRACTOR SHALL NOT ENTER UPON, WORK UPON NOR CAUSE DAMAGE TO ANY ADJACENT PROPERTIES WITHOUT PRIOR PERMISSION FROM SAID PROPERTY OWNER.
4. LOCATION OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE AND ARE NOT NECESSARILY ALL OF SAME, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE APPROPRIATE UTILITY COMPANY TO DETERMINE THE EXACT LOCATION OF ALL UTILITIES AND/OR UNDERGROUND STRUCTURES PRIOR TO THE INITIATION OF ANY CONSTRUCTION. CONTRACTOR SHALL ALSO ASSUME FULL RESPONSIBILITY FOR DAMAGE TO ANY EXISTING UTILITIES ENCOUNTERED WITHIN THE CONSTRUCTION PERIMETERS. FOR SITE LOCATION OF EXISTING UTILITIES INVOLVING M.L.G.&W., SOUTH CENTRAL BELL, AND/OR TEXAS GAS COMPANY, PLEASE CALL 1-800-351-1111. FOR SEWER SERVICE LOCATIONS, CALL 385-6499.
5. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES.
6. TYPICAL SIDE SLOPES TO BE 1 FOOT VERTICAL TO 4 FEET HORIZONTAL.
7. ALL AREAS IN CUT OR FILL WHERE VEGETATION HAS BEEN REMOVED SHALL BE SEEDED, MULCHED, FERTILIZED, AND/OR SODDED AS REQUIRED TO PREVENT EROSION.
8. 24 HOURS PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE CITY OF BARTLETT ENGINEER'S OFFICE AT 385-6499.
9. ALL CONSTRUCTION MATERIALS & PROCEDURES SHALL MEET STANDARD CITY OF BARTLETT SPECIFICATIONS.
10. ALL FILL AND/OR TRENCH BACKFILL SHALL BE COMPACTED (IN 6 INCH LIFTS) TO 95% STANDARD PROCTOR WITHIN 3% OF OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D698-78 LATEST REVISION (STANDARD PROCTOR).
11. THE CONTRACTOR SHALL INSTALL AND MAINTAIN A SILT FENCE AT THE TOP OF ALL DITCH BANKS FOR THE WIDTH OF THE CONSTRUCTION LIMITS AND CONTINUOUSLY ALONG THE "STREAMSIDE" CONSTRUCTION LIMIT.
12. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN EROSION CONTROL DURING CONSTRUCTION BY THE PLACEMENT OF SILT FENCES WHERE NECESSARY TO PREVENT DOWNSTREAM SILTATION OF ANY DITCHES, PIPES, DRAINAGE STRUCTURES OR ADJACENT PROPERTIES. THE CONTRACTOR SHALL PROVIDE ANY ADDITIONAL EROSION CONTROL AS NEEDED OR AS DIRECTED BY THE ENGINEER.
13. CONTRACTOR SHALL PROVIDE ALL NECESSARY EROSION CONTROL METHODS AS PER THE CITY OF BARTLETT, SHELBY COUNTY, AND STATE OF TENNESSEE REGULATIONS.
14. ENGINEERS CERTIFICATE: THIS PROJECT HAS BEEN DESIGNED IN ACCORDANCE WITH THE CITY OF BARTLETT SUBDIVISION REGULATIONS AND SPECIFICATIONS.
15. LOT GRADING AND DRAINAGE:
FINISH GRADE SHALL BE SLOPED AWAY FROM THE FOUNDATION FOR DRAINAGE. THE FINISH GRADE MUST BEGIN AT LEAST 10 INCHES BELOW THE TOP OF THE FOUNDATION WALL OR THE GRADE OF THE CONCRETE SLAB AND FOUNDATION. THE MINIMUM GRADE AWAY FROM THE FOUNDATION WALL SHALL BE AT LEAST 5 PERCENT IN ALL DIRECTIONS. THE DRIVEWAY SHALL BE SLOPED DOWN AT 2 PERCENT FOR AT LEAST 8 FEET FROM THE STRUCTURE.
16. THE CITY OF BARTLETT SHALL HAVE INGRESS/EGRESS RIGHT TO USE PRIVATE DRIVES AND YARDS FOR THE PURPOSE OF MAINTAINING ALL PUBLIC UTILITIES AND SHALL BEAR NO RESPONSIBILITY FOR THE MAINTENANCE OF SAID DRIVES AND YARDS.



LOT #	SQ. FT.
1	10,003
2	10,125
3	10,125
4	11,697
5	10,178
6	8,125
7	8,125
8	8,125
9	8,125
10	8,125
11	8,125
12	8,125
13	8,125
14	8,125
15	8,125
16	8,125
17	8,125
18	8,125
19	10,178
20	10,178
21	8,125
22	8,125
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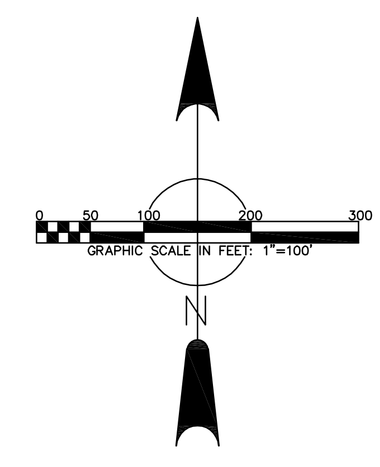
25	8,125
26	8,125
27	8,125
28	8,125
29	8,125
30	8,125
31	8,125
32	8,125
33	8,125
34	10,178
35	8,000
36	9,289
37	9,000
38	10,593
39	10,709
40	11,839
41	9,990
42	8,125
43	8,125
44	8,125
45	8,125
46	8,125
47	8,125
48	8,125
49	8,125
50	8,125

LOT #	SQ. FT.
51	8,125
52	8,125
53	8,125
54	8,125
55	8,125
56	8,125
57	8,125
58	11,256
59	10,024
60	8,125
61	8,125
62	8,125
63	8,125
64	8,125
65	8,125
66	8,125
67	8,125
68	8,125
69	8,125
70	8,125
71	8,125
72	8,125
73	8,125
74	8,125
75	8,125
76	9,973
77	9,938
78	8,125
79	8,125
80	8,125
81	8,125
82	8,125
83	8,125
84	8,125
85	8,125
86	8,125
87	8,125
88	8,125
89	8,125
90	8,125
91	8,125
92	8,125
93	8,125
94	10,025

NOTES :

1. SETBACKS
   A. MIN. FRONT- 30 FEET
   B. MIN SIDE- 5 FEET
   C. MIN. REAR- 25 FEET
2. A PORTION OF THIS PROPERTY IS LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA (ZONE A) PER FEMA FLOOD MAP #47157C0190G AND 47157C0301G DATED FEBRUARY 6, 2013. ZONE A IS LOCATED WITHIN THE GREENBELT AREA. FEMA FLOOD: 256
3. IF SETTLEMENT OCCURS ALONG ANY OF THE THE PUBLIC EASEMENTS WITHIN THE PRIVATE PROPERTY, THE OWNER SHALL BE RESPONSIBLE FOR ALL REPAIRS. IN THE EVENT THAT "PUBLIC WORKS" HAS TO EXCAVATE TO REPAIR A LEAK IN A PUBLIC LINE, "PUBLIC WORKS" SHALL BE RESPONSIBLE FOR EXCAVATION, BACKFILL, COMPACTION AND BRINGING THE AFFECTED AREA UP TO GRADE WITH APPROPRIATE SUB-BASE MATERIAL, BUT THE OWNER SHALL BE RESPONSIBLE FOR ALL FINISH WORK INCLUDING, BUT NOT LIMITED TO ASPHALT, CONCRETE AND LANDSCAPING.
4. DRIVEWAYS AND OTHER PERMANENT STRUCTURES/IMPROVEMENTS SHALL NOT BE PLACED IN SEWER, WATER, OR DRAINAGE EASEMENTS OR OVER SEWER AND WATER SERVICES LOCATED ON PRIVATE PROPERTY.
5. THE CITY SHALL HAVE INGRESS/ EGRESS RIGHTS TO USE PRIVATE DRIVES AND YARDS FOR THE PURPOSE OF MAINTAINING ALL PUBLIC UTILITIES AND SHALL BEAR NO RESPONSIBILITY FOR THE MAINTENANCE OF SAID DRIVES AND YARDS.
6. ALL NEW UTILITIES SHALL BE UNDERGROUND.



FINAL PLAT

STELLING PLANNED DEVELOPMENT
BARTLETT, TENNESSEE

JIM CURTIS
GBI CONTRACTORS INC.
APPLICANT

THE BRAY FIRM
2950 STAGE PLAZA NORTH
BARTLETT, TN 38134
901-383-8668
ENGINEER

DATE: JULY 2025 SCALE: 1"=100' LOTS: 94 31.51 ACRES ZONED: RS-18 (R-12 PLANNED DEVELOPMENT OVERLAY)

CERTIFICATE OF ADEQUACY OF STORM DRAINAGE

I, DAVID GEAN BRAY, HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL CIVIL ENGINEER, AND THAT I HAVE DESIGNED ALL STORM WATER DRAINAGE FOR AUSTIN PLANNED DEVELOPMENT TO ASSURE THAT NEITHER SAID SUBDIVISION NOR ADJOINING PROPERTY WILL BE DAMAGED OR THE CHARACTER OF LAND USE BE AFFECTED BY THE VELOCITY AND VOLUME OF WATER ENTERING OR LEAVING SAME.

IN WITNESS WHEREOF, I, THE SAID PROFESSIONAL CIVIL ENGINEER HERETO SET OUT HAND AND AFFIX MY SEAL THIS _____ DAY OF JULY, 2025

PROFESSIONAL CIVIL ENGINEER _____ *David Gean Bray P.E.* 07.02.2025
STATE OF TENNESSEE CERTIFICATE NO. 110070

DAVID GEAN BRAY
REGISTERED ENGINEER
AGRICULTURE
No. 0011000
STATE OF TENNESSEE

CERTIFICATE OF SURVEY:

I, _____, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HAVE SURVEYED THE LANDS EMBRACED WITHIN THE PLAT DESIGNATED AS AUSTIN PLANNED DEVELOPMENT A SUBDIVISION ALL LYING WITHIN THE CORPORATE LIMITS OF THE CITY OF BARTLETT, TENNESSEE, THAT SAID PLAT IS A TRUE AND CORRECT PLAT OF THE LANDS EMBRACED THEREIN, SHOWING THE SUBDIVISION THEREOF IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF BARTLETT, TENNESSEE. I FURTHER CERTIFY THAT THE SURVEY OF THE LANDS EMBRACED WITHIN SAID PLAT HAS BEEN CORRECTLY MONUMENTED IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF BARTLETT, TENNESSEE.

IN WITNESS WHEREOF, I , THE SAID, _____, SURVEYOR, HEREUNTO SET OUT HAND AND AFFIX MY SEAL THIS _____ DAY OF _____ 2025

LAND SURVEYOR
STATE OF TENNESSEE CERTIFICATE NO. _____

BOARD OF MAYOR AND ALDERMAN CERTIFICATE;

I, _____, HEREBY CERTIFY THAT ALL REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED OR THAT A PERFORMANCE BOND OR OTHER COLLATERAL IN SUFFICIENT AMOUNT TO ASSURE COMPLETION OF ALL REQUIRED IMPROVEMENTS HAS BEEN POSTED FOR THE SUBDIVISION SHOWN ON THIS PLAT AND ARE HEREBY APPROVED BY THE CITY OF BARTLETT, TENNESSEE.

_____ _____
DATE MAYOR
CITY OF BARTLETT

PLANNING COMMISSION CERTIFICATE

I, _____, DO HEREBY CERTIFY THAT THE CITY OF BARTLETT PLANNING COMMISSION HAS APPROVED THIS PLAT OF SUBDIVISION FOR RECORDING.

_____ _____
DATE SECRETARY
BARTLETT PLANNING COMMISSION

OWNER'S CERTIFICATE:

WE, CITY CONSTRUCTION & DEVELOPMENT, OWNERS OF THE PROPERTY SHOWN HEREON, HEREBY ADOPT THIS PLAT AS OUR PLAN OF SUBDIVISION, AND DEDICATE THE STREETS, RIGHTS-OF-WAYS, EASEMENTS, AND RIGHTS OF ACCESS AS SHOWN AND /OR DESCRIBED TO THE PUBLIC USE FOREVER, AND HEREBY CERTIFY THAT WE ARE THE OWNERS IN FEE SIMPLE, DULY AUTHORIZED TO ACT AND THAT SAID PROPERTY IS UNENCUMBERED BY ANY TAXES WHICH HAVE BECOME DUE AND PAYABLE.

_____ _____
BART THOMAS DATE

STATE OF TENNESSEE
COUNTY OF SHELBY

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC, IN AND FOR SAID STATE AND COUNTY AT MEMPHIS, DULY COMMISSIONED AND QUALIFIED, PERSONALLY APPEARED BART THOMAS WITH WHOM I AM PERSONALLY ACQUAINTED AND WHO UPON OATH ACKNOWLEDGED THAT HE EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED AS HIS OWN FREE ACT AND DEED.

WITNESS MY HAND AND NOTARIAL SEAL, THIS _____DAY OF _____,2025.

MY COMMISSION EXPIRES_____

_____NOTARY PUBLIC

MORTGAGEE'S CERTIFICATE

WE, THE UNDERSIGNED, _____, MORTGAGEE OF THE PROPERTY SHOWN HEREON, HEREBY ADOPT THIS PLAT AS OUR PLAN OF SUBDIVISION AND DEDICATE THE STREETS, RIGHTS-OF-WAY, EASEMENTS, AND RIGHTS OF ACCESS AS SHOWN TO THE PUBLIC USE FOREVER, AND HEREBY CERTIFY THAT WE ARE THE MORTGAGEE DULY AUTHORIZED SO TO ACT AND THAT SAID PROPERTY IS UNENCUMBERED BY ANY TAXES WHICH HAVE BECOME DUE AND PAYABLE.

_____
NAME TITLE INSTITUTION DATE

STATE OF TENNESSEE
COUNTY OF SHELBY

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC, IN AND FOR SAID STATE AND COUNTY AT MEMPHIS, DULY COMMISSIONED AND QUALIFIED, PERSONALLY APPEARED_____ WITH WHOM I AM PERSONALLY ACQUAINTED AND WHO UPON OATH ACKNOWLEDGED HIMSELF TO BE _____ OF _____ _____ AND HE AS SUCH _____ EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSE THERIN CONTAINED BY SIGNING HIS NAME AS REPRESENTATIVE OF THE MORTGAGEE.

WITNESS MY HAND AND NOTARIAL SEAL, THIS _____DAY OF _____,2025.

MY COMMISSION EXPIRES_____

_____NOTARY PUBLIC

RESTRICTIVE COVENANTS AND SIMILAR DOCUMENTS ARE PRIVATE IN SCOPE AND NOT SUBJECT TO GOVERMENTAL APPROVAL AND ENFORCEMENT.

PROTECTIVE COVENANTS:

1. THESE COVENANTS ARE TO RUN WITH THE LAND AND SHALL BE BINDING ON ALL PARTIES AND ALL PERSONS CLAIMING UNDER THEM FOR A PEROID OF THIRTY YEARS FROM THE DATE THESE COVENANTS ARE RECORDED AFTER WHICH TIME SAID COVENANTS SHALL BE AUTOMATICALLY EXTENDED FOR SUCCESSIVE PEROIDS OF TEN YEARS UNLESS AN INSTRUMENT SIGNED BY A MAJORITY OF THE THEN OWNERS OF THE LOTS HAS BEEN RECORDED AGREEING TO CHANGE SAID COVENANTS IN WHOLE OR IN PART.

2. ENFORCEMENT SHALL BE BY ANY PROCEEDING AT LAW OR IN EQUITY AGAINST ANY PERSON OR PERSONS VIOLATING OR ATTEMPTING TO VIOLATE ANY COVENANT EITHER TO RESTRAIN VIOLATION OR TO RECOVER DAMAGES.

3. SEVERABILITY – INVALIDATION OF ANY ONE OF THESE COVENANTS BY OR COURT ORDER SHALL IN NO WAY AFFECT ANY OF THE PROVISIONS WHICH SHALL REMAIN IN FULL FORCE AND EFFECT.

4. LAND USE AND BUILDING TYPE – NO LOT SHALL BE USED EXCEPT FOR RESIDENTIAL PURPOSES.

5. EASEMENTS – THERE ARE PERPETUAL EASEMENTS SHOWN HEREON RESERVED FOR UTILITY INSTALLATION AND MAINTENANCE FOR DRAINAGE INSTALLATION AND MAINTENANCE FOR SANITARY SEWER INSTALLATION AND MAINTENANCE.

6. BUILDING LOCATION – THE LOCATION OF ANY BUILDING CONSTRUCTED SHALL BE IN ACCORDANCE WITH CITY OF BARTLETT, TENNESSEE ZONING REGULATIONS, HOWEVER, IN NO CASE SHALL A BUILDING BE LOCATED NEARER THAN THE MINIMUM BUILDING SETBACK FROM ANY STREET IN THE SUBDIVISION. FOR THE PURPOSE OF THIS COVENANT EAVEA, STEPS AND OPEN PORCHES SHALL NOT BE CONSIDERED AS A PART OF THE BUILDING, PROVIDED, HOWEVER, THAT THIS PLAT SHALL NOT BE CONSTRUED TO PERMIT ANY PORTION OF A BUILDING ON A LOT TO ENCROACH UPON ANOTHER LOT.

7. NUISANCES – NO NOXIOUS OR OFFENSIVE ACTIVITY SHALL BE CARRIED ON UPON ANY LOT NOR SHALL ANYTHING BE DONE THEREON WHICH MAY BECOME AN ANNOYANCE OR NUISANCE TO THE NEIGHBORHOOD.

8. TEMPORARY STRUCTURE – NO STRUCTURE OF A TEMPORARY CHARACTER, TRAILER, BASEMENT, TENT, SHACK, GARAGE, BARN OR OTHER OUTBUILDING SHALL BE USED AN ANY LOT AT ANY TIME AS A RESIDENCE EITHER TEMPORARILY OR PERMANENTLY.

9. FENCING – NO FENCE OR WALL SHALL BE ERECTED, PLACED OR ALTERED ON ANY LOT NEARER TO ANY STREET THAN THE MINIMUM BUILDING SETBACK LINE. WOODEN FENCES EXCLUDING POST AND STRINGERS SHALL BE CONSTRUCTED OF WESTERN RED CEDAR.

10. A MINIMUN TWO (2) CAR ENCLOSED GARAGE IS REQUIRED FOR EVERY LOT.

11. ARCHITECTURAL CONTROL – NO BUILDING SHALL BE ERECTED, PLACED UPON ANY LOT OR ALTERED UNTIL THE DESIGN AND PLOT PLAN SHOWING THE LOCATION OF THE STRUCTURE AND THE EXTERNAL MATERIALS AND ELEVATIONS HAVE BEEN APPROVED IN WRITING BY GBI CONTRACTORS, INC. OR BY REPRESENTATIVE APPOINTED BY GBI CONTRACTORS, INC.. IN THE EVENT THAT GBI CONTRACTORS, INC. OR THEIR REPRESENTATIVE FAILS TO APPROVE OR DISAPROVE SUCH PLANS AS TO DESIGN AND LOCATION WITHIN A PERIOD OF THIRTY (30) DAYS AFTER SUBMISSION OF PLANS AND SPECIFICATION TO THEM OR TO IT, THEN SUCH APPROVAL WILL NOT BE REQUIRED.

FINAL PLAT
SHEET 2 OF 2

STELLING PLANNED DEVELOPMENT
BARTLETT, TENNESSEE

JIM CURTIS
GBI CONTRACTORS INC.
APPLICANT

THE BRAY FIRM
2950 STAGE PLAZA NORTH
BARTLETT, TN 38134
901-383-8668
ENGINEER

DATE: JULY 2025 SCALE: N.T.S. LOTS: 94 31.51 ACRES ZONED: RS-18 (R-12 PLANNED DEVELOPMENT OVERLAY)

CONSTRUCTION NOTES:

1. PROPERTY LINES SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. GRADING, CLEARING AND THE ERECTION OR REMOVAL OF FENCES ALONG PROPERTY LINES SHALL BE FULLY COORDINATED WITH ADJACENT PROPERTY OWNERS.
2. THE CONTRACTOR SHALL VERIFY ANY EXISTING DATA AND REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ENGINEER.
3. THE CONTRACTOR SHALL NOT ENTER UPON, WORK UPON NOR CAUSE DAMAGE TO ANY ADJACENT PROPERTIES WITHOUT PRIOR PERMISSION FROM SAID PROPERTY OWNER.
4. LOCATION OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE AND ARE NOT NECESSARILY ALL OF SAME, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE APPROPRIATE UTILITY COMPANY TO DETERMINE THE EXACT LOCATION OF ALL UTILITIES AND/OR UNDERGROUND STRUCTURES PRIOR TO THE INITIATION OF ANY CONSTRUCTION. CONTRACTOR SHALL ALSO ASSUME FULL RESPONSIBILITY FOR DAMAGE TO ANY EXISTING UTILITIES ENCOUNTERED WITHIN THE CONSTRUCTION PERIMETERS. FOR SITE LOCATION OF EXISTING UTILITIES INVOLVING MLG&W., SOUTH CENTRAL BELL, AND/OR TEXAS GAS COMPANY, PLEASE CALL 1-800-351-1111. FOR SEWER SERVICE LOCATIONS, CALL 385-6499.
5. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES.
6. TYPICAL SIDE SLOPES TO BE 1 FOOT VERTICAL TO 4 FEET HORIZONTAL.
7. ALL AREAS IN CUT OR FILL WHERE VEGETATION HAS BEEN REMOVED SHALL BE SEEDED, MULCHED, FERTILIZED, AND/OR SODDED AS REQUIRED TO PREVENT EROSION.
8. 24 HOURS PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE CITY OF BARTLETT ENGINEER'S OFFICE AT 385-6499.
9. ALL CONSTRUCTION MATERIALS & PROCEDURES SHALL MEET STANDARD CITY OF BARTLETT SPECIFICATIONS.
10. ALL FILL AND/OR TRENCH BACKFILL SHALL BE COMPACTED (IN 6 INCH LIFTS) TO 95% STANDARD PROCTOR WITHIN 3% OF OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D698-78 LATEST REVISION (STANDARD PROCTOR).
11. THE CONTRACTOR SHALL INSTALL AND MAINTAIN A SILT FENCE PARALLELED WITH HAY BALES AT THE TOP OF ALL DITCH BANKS FOR THE WIDTH OF THE CONSTRUCTION LIMITS AND CONTINUOUSLY ALONG THE "STREAMSIDE" CONSTRUCTION LIMIT.
12. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN EROSION CONTROL DURING CONSTRUCTION BY THE PLACEMENT OF SILT FENCES AND HAY BALES WHERE NECESSARY TO PREVENT DOWNSTREAM SILTATION OF ANY DITCHES, PIPES, DRAINAGE STRUCTURES OR ADJACENT PROPERTIES. THE CONTRACTOR SHALL PROVIDE ANY ADDITIONAL EROSION CONTROL AS NEEDED OR AS DIRECTED BY THE ENGINEER.
13. CONTRACTOR SHALL PROVIDE ALL NECESSARY EROSION CONTROL METHODS AS PER THE CITY OF BARTLETT, SHELBY COUNTY, AND STATE OF TENNESSEE REGULATIONS.
14. ENGINEERS CERTIFICATE: THIS PROJECT HAS BEEN DESIGNED IN ACCORDANCE WITH THE CITY OF BARTLETT SUBDIVISION REGULATIONS AND SPECIFICATIONS.
15. LOT GRADING AND DRAINAGE:
    FINISH GRADE SHALL BE SLOPED AWAY FROM THE FOUNDATION FOR DRAINAGE. THE FINISH GRADE MUST BEGIN AT LEAST 10 INCHES BELOW THE TOP OF THE FOUNDATION WALL OR THE GRADE OF THE CONCRETE SLAB AND FOUNDATION. THE MINIMUM GRADE AWAY FROM THE FOUNDATION WALL SHALL BE AT LEAST 5 PERCENT IN ALL DIRECTIONS. THE DRIVEWAY SHALL BE SLOPED DOWN AT 2 PERCENT FOR AT LEAST 8 FEET FROM THE STRUCTURE.
16. THE CITY OF BARTLETT SHALL HAVE INGRESS/EGRESS RIGHT TO USE PRIVATE DRIVES AND YARDS FOR THE PURPOSE OF MAINTAINING ALL PUBLIC UTILITIES AND SHALL BEAR NO RESPONSIBILITY FOR THE MAINTENANCE OF SAID DRIVES AND YARDS.

SEWER NOTES

1. CONTRACTOR SHALL ENSURE UNINTERRUPTED SEWER SERVICE ON EXISTING SEWER AND SERVICE CONNECTIONS BY PROVIDING AMPLE TEMPORARY WASTEWATER PUMPING AND/OR BYPASSING.
2. ALL SEWER MANHOLE LIDS IN OPEN AREAS ARE TO BE CONSTRUCTED 1.5' ABOVE PROPOSED GRAD. IN BACKYARDS, MANHOLE LIDS ARE TO BE 2.0' ABOVE THE INITIAL GRADE, 0.5' ABOVE FINAL GRADE, OR A MINIMUM 1.5' ABOVE THE 100 YEAR FLOOD ELEVATION (ALT. SEALED COVER & VENT STACK).
3. SANITARY SEWER, INCLUDING SERVICE CONNECTION, WHICH HAS LESS THAN 1.5' CLEARANCE (OUTSIDE OF PIPES) WITH DRAINAGE OR IN FILL AREAS SHALL BE CLASS 50 DIP OR CONCRETE ENCASED , 10' BOTH SIDES OF CROSSING. ALL DUCTILE IRON PIPE SHALL BE POLYETHYLENE LINED OR SHALL BE TREATED WITH PROTECTO 401 OR APPROVED EQUIVALENT.
4. SERVICE CONNECTIONS SHALL BE FIELD LOCATED, AND CONTRACTOR SHALL ASSURE THAT ALL EXISTING SERVICE CONNECTIONS EXTENDING TO RIGHT-OF-WAY SHALL BE RECONNECTED TO NEW SEWER LINES.
5. ALL SEWER MANHOLES SHALL BE 4 FEET IN DIAMETER UNLESS OTHERWISE NOTED.
6. ALL SANITARY SEWER TO BE CONSTRUCTED AS PER CITY OF BARTLETT STANDARD CONSTRUCTION SPECIFICATIONS. ALL SANITARY SEWER SERVICE CONNECTIONS TO BE INSTALLED AS PER CITY OF BARTLETT DETAIL.
7. ALL 6 INCH AND 8 INCH SANITARY SEWER PIPE SHALL BE SDR-26 PVC UNLESS OTHERWISE NOTED.
8. THE CITY OF BARTLETT SHALL HAVE INGRESS/EGRESS RIGHTS TO USE PRIVATE DRIVES AND YARDS FOR THE PURPOSE OF MAINTAINING ALL PUBLIC UTILITIES AND SHALL BEAR NO RESPONSIBILITY FOR THE MAINTENANCE OF SAID PRIVATE DRIVES AND YARDS.
9. NO LARGE TREES, SHRUBS, PERMANENT STRUCTURES OR OTHER UTILITIES (EXCEPT FOR CROSSINGS) WILL BE ALLOWED WITHIN THE SANITARY SEWER EASEMENT.
10. DAMAGED OR BROKEN CURB SHALL BE REPAIRED CONSISTENT WITH THE CITY OF BARTLETT POLICY PRIOR TO RELEASE, ACCEPTANCE, OR BOND REDUCTION.
11. ALL FILL AND/OR TRENCH BACKFILL ARES SHALL BE COMPACTED IN 6' LIFTS TO 95% STANDARD PROCTOR WITHIN 3% OF OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D698-78 LATEST REVISION (STANDARD PROCTOR).

NOTE: THE TOP OF SANITARY SEWER MANHOLES LOCATED WITHIN THE STREET R.O.W. SHALL CONFORM TO THE FINAL GRADE OF THE STREET.

EROSION CONTROL NOTES

1. EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE AND FUNCTIONAL PRIOR TO COMMENCEMENT OF EARTH MOVING OPERATIONS.
2. ALL EROSION AND SEDIMENT CONTROL MEASURES MUST BE PROPERLY CONSTRUCTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
3. CHECK ALL EROSION AND SEDIMENT CONTROL MEASURES WEEKLY AND AFTER EACH RAINFALL. DAILY CHECKING IS REQUIRED DURING PROLONGED RAINFALL. MAINTAIN A PERMANENT LOG OF CHECKS AND MAINTENANCE MEASURES.
4. KEEP CONSTRUCTION DEBRIS FROM ENTERING STORM SEWERS.
5. PROMPTLY BACKFILL AND STABILIZE TRENCHES AND/OR PITS.
6. DESIGNATE A SPECIFIC INDIVIDUAL TO BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROLS AND TO KEEP THE PERMANENT LOG.
7. EROSION CONTROLS ARE NOT LIMITED TO THE SPECIFIED PRACTICES, HOWEVER, ALTERNATIVE MEASURES MUST BE AT LEAST AS EFFECTIVE IN CONTROLLING EROSION AND SEDIMENTATION.
8. RE-VEGETATION OF EXPOSED GROUND SHOULD BEGIN AS SOON AS CONSTRUCTION PERMITS.
9. INSTALL STAKED AND ENTRENCHED STRAW BALES AND/OR SILT FENCE ALONG THE BASE OF ALL BACKFILLS AND CUTS, ON THE DOWNHILL SIDE OF STOCKPILED SOIL, AND ALONG DITCH BANKS IN CLEARED AREAS TO PREVENT EROSION INTO DITCHES, DO NOT PLACE SILT FENCE IN FLOWING DITCH.

NOTE: A PORTION OF THIS PROPERTY IS LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA (ZONE A) PER FEMA FLOOD MAP #47157C0190G AND 47157C0301G DATED FEBRUARY 6, 2013. ZONE A IS LOCATED WITHIN THE GREENBELT AREA. FEMA FLOOD: 256

REVISIONS

ITEM NO.	DESCRIPTION OF CHANGE	DATE APPROVED

DAVID GEAN BRAY 2025 REGISTERED ENGINEER AGRICULTURE COMMERCE 001100 STATE OF TENNESSEE

STELLING PLANNED DEVELOPMENT

DEVELOPER: GBI CONTRACTORS, INC.

ENGINEER: THE BRAY FIRM

DEPARTMENT OF ENGINEERING

CONSTRUCTION NOTES

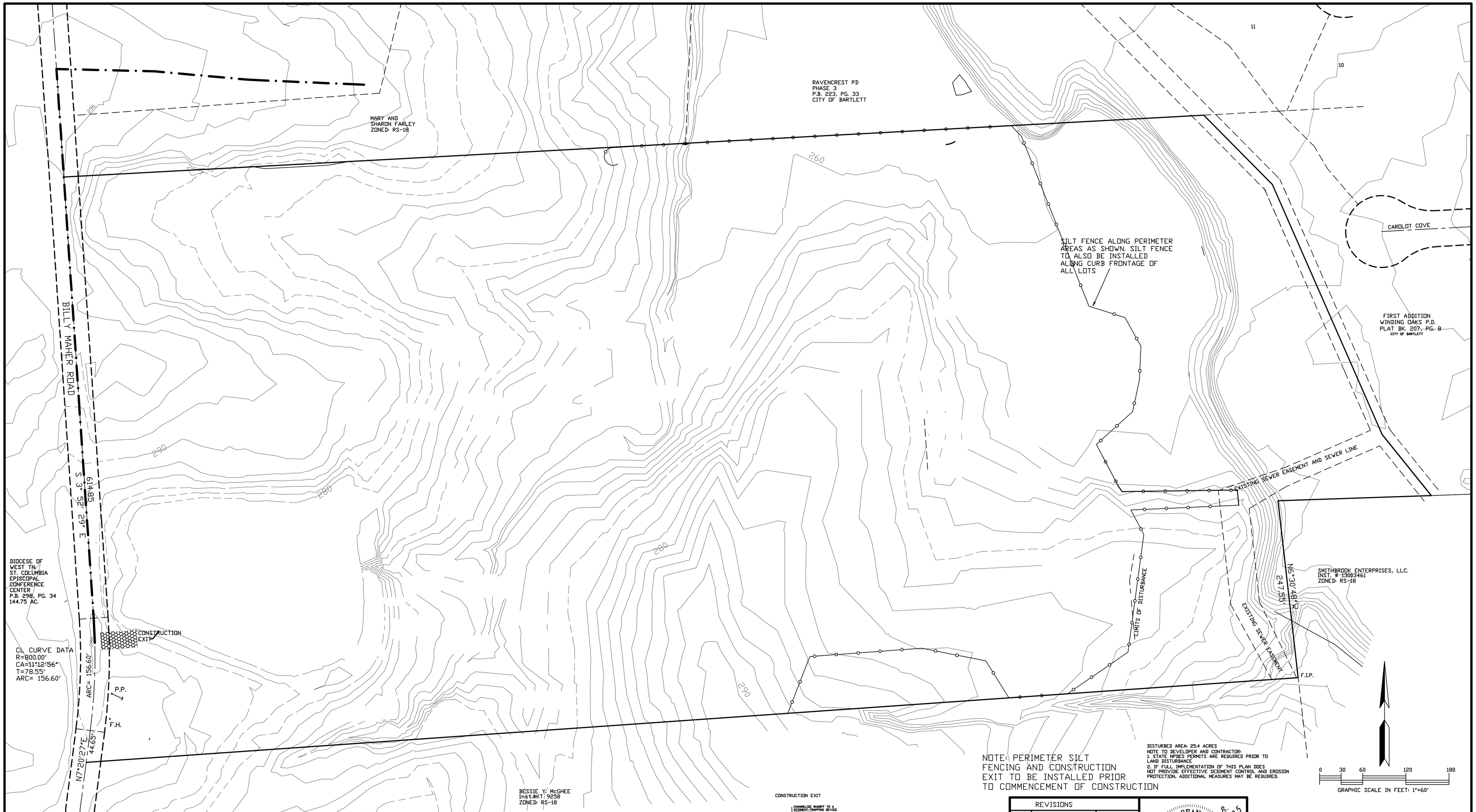
BARTLETT, TENNESSEE

SURVEY: OTHERS

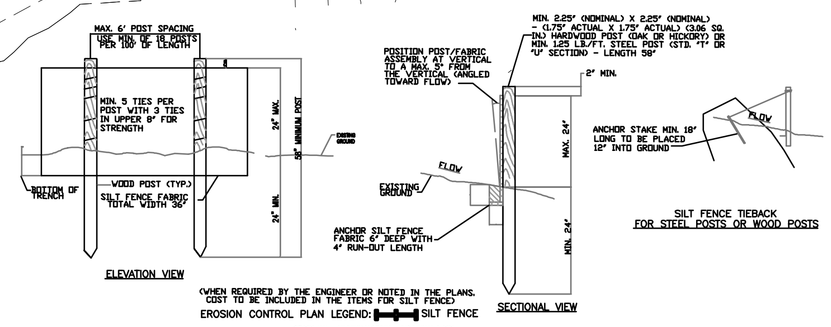
DESIGN: TBF DATE: 6-2025 SCALE: NONE

REVIEWED

CITY ENGINEER DATE



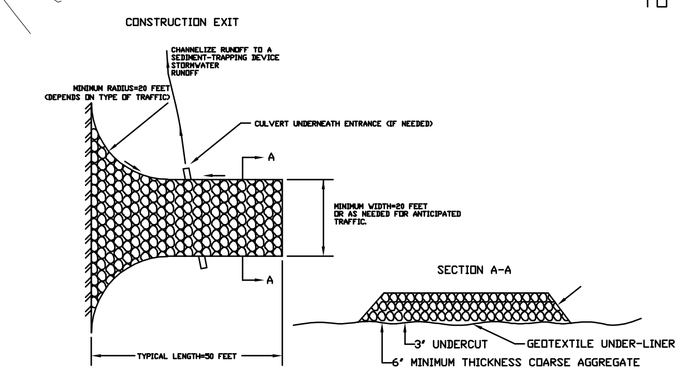
EROSION CONTROL NOTES:
1. EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE AND FUNCTIONAL PRIOR TO COMMENCEMENT OF EARTH MOVING OPERATIONS.
2. ALL EROSION AND SEDIMENT CONTROL MEASURES MUST BE PROPERLY CONSTRUCTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
3. CHECK ALL EROSION AND SEDIMENT CONTROL MEASURES PER TDEC TWICE WEEKLY AT LEAST 72 HOURS APART. DAILY CHECKING IS REQUIRED DURING PROLONGED RAINFALL. MAINTAIN A PERMANENT LOG OF CHECKS AND MAINTENANCE MEASURES.
4. KEEP CONSTRUCTION DEBRIS FROM ENTERING STORM SEWER.
5. PROMPTLY BACKFILL AND STABILIZE TRENCHES AND/OR PITS.
6. DESIGNATE A SPECIFIC INDIVIDUAL (MUST BE TDEC LEVEL 1 CERTIFIED) TO BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROLS AND TO KEEP THE PERMANENT LOG.
7. EROSION CONTROLS ARE NOT LIMITED TO THE SPECIFIED PRACTICES; HOWEVER, ALTERNATVIE MEASURES MUST BE AT LEAST AS EFFECTIVE IN CONTROLLING EROSION AND SEDIMENTATION.
8. RE-VEGETATION OF EXPOSED GROUND SHOULD BEGIN AS SOON AS CONSTRUCTION IS COMPLETED.
9. INSTALL STAKED AND ENTRENCHED SILT FENCE ALONG THE BASE OF ALL BACKFILLS AND CUTS, ON THE DOWNHILL SIDE OF STOCKPILED SOIL, AND ALONG DITCH BANKS IN CLEARED AREAS TO PREVENT EROSION INTO DITCHES, DO NOT PLACE SILT FENCE IN FLOWING DITCH.



*WHEN REQUIRED BY THE ENGINEER OR NOTED IN THE PLANS. COST TO BE INCLUDED IN THE ITEMS FOR SILT FENCE

EROSION CONTROL PLAN LEGEND: SILT FENCE

SILT FENCE DETAIL



REVISIONS		
ITEM NO.	DESCRIPTION OF CHANGE	DATE APPROVED

DAVID GEAN BRAY
REGISTERED ENGINEER
No. 112017
STATE OF TENNESSEE
Jul 28, 2025

STELLING PLANNED DEVELOPMENT

DEVELOPER: GBI CONTRACTORS INC.
ENGINEER: THE BRAY FIRM

DIVISION OF ENGINEERING

EROSION CONTROL PLAN PHASE 1

BARTLETT, TENNESSEE

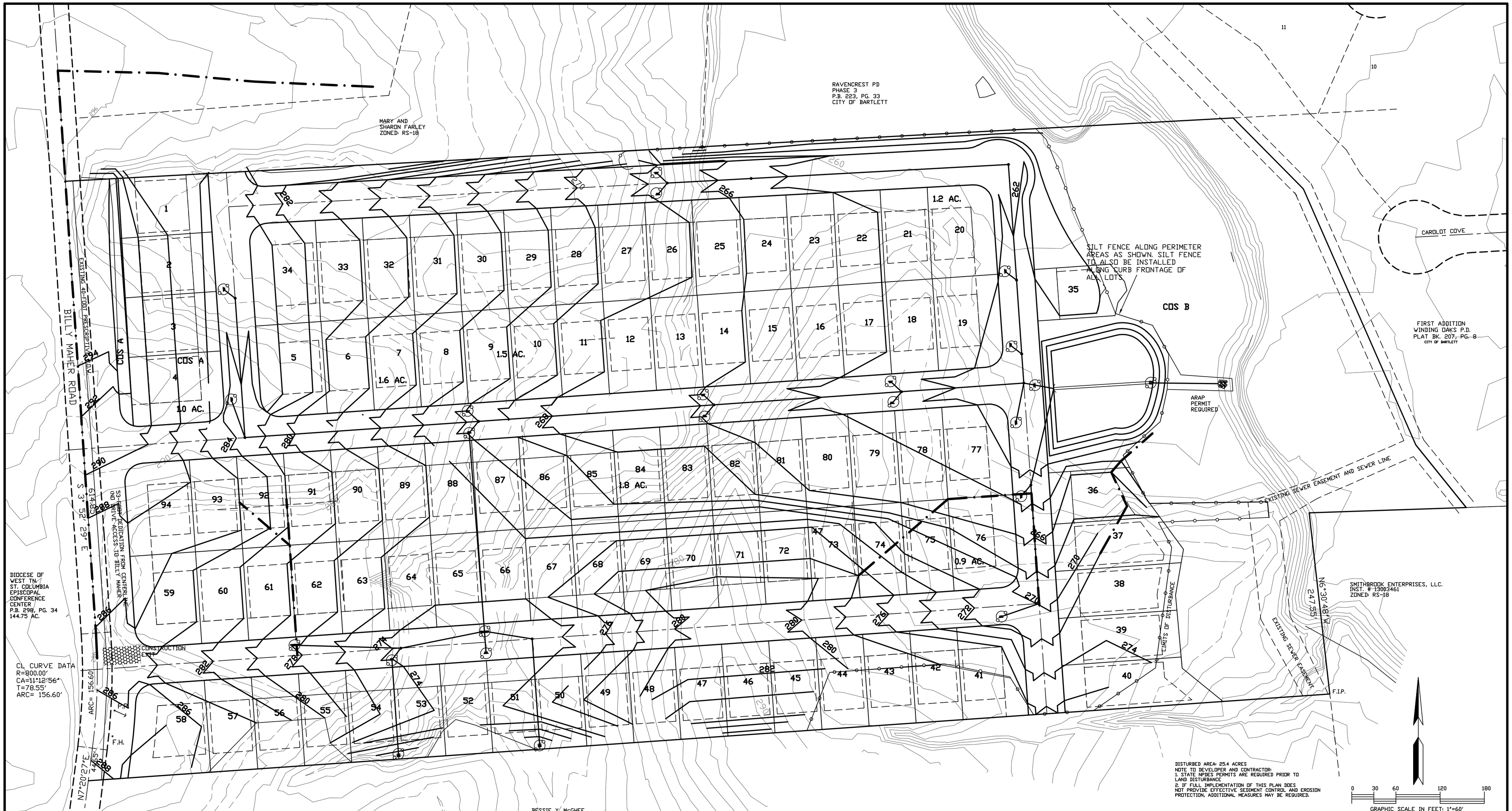
SURVEY: OTHERS

DESIGN: TBF DATE: 7-2025 SCALE 1"=60'

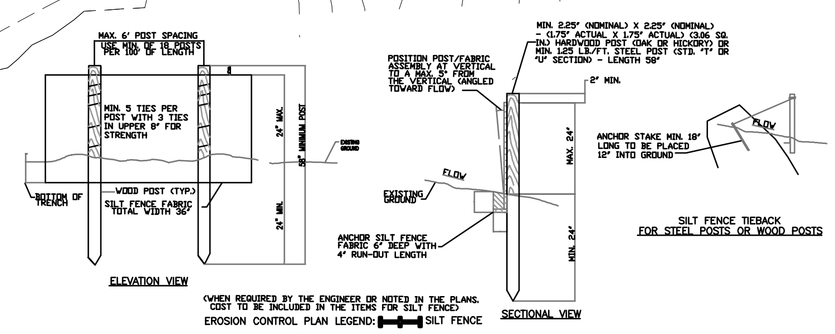
REVIEWED

CITY ENGINEER DATE

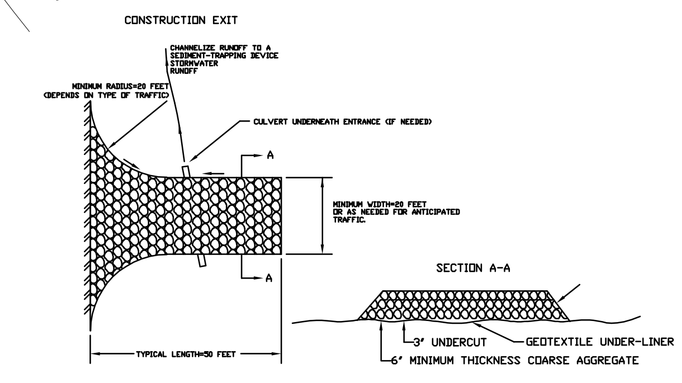
SHEET 5 of 17



EROSION CONTROL NOTES:
1. EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE AND FUNCTIONAL PRIOR TO COMMENCEMENT OF EARTH MOVING OPERATIONS.
2. ALL EROSION AND SEDIMENT CONTROL MEASURES MUST BE PROPERLY CONSTRUCTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
3. CHECK ALL EROSION AND SEDIMENT CONTROL MEASURES PER TDEC TWICE WEEKLY AT LEAST 72 HOURS APART. DAILY CHECKING IS REQUIRED DURING PROLONGED RAINFALL. MAINTAIN A PERMANENT LOG OF CHECKS AND MAINTENANCE MEASURES.
4. KEEP CONSTRUCTION DEBRIS FROM ENTERING STORM SEWER.
5. PROMPTLY BACKFILL AND STABILIZE TRENCHES AND/OR PITS.
6. DESIGNATE A SPECIFIC INDIVIDUAL (MUST BE TDEC LEVEL 1 CERTIFIED) TO BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROLS AND TO KEEP THE PERMANENT LOG.
7. EROSION CONTROLS ARE NOT LIMITED TO THE SPECIFIED PRACTICES, HOWEVER, ALTERNATIVE MEASURES MUST BE AT LEAST AS EFFECTIVE IN CONTROLLING EROSION AND SEDIMENTATION.
8. RE-VEGETATION OF EXPOSED GROUND SHOULD BEGIN AS SOON AS CONSTRUCTION IS COMPLETED
9. INSTALL STAKED AND ENTRENCHED SILT FENCE ALONG THE BASE OF ALL BACKFILLS AND CUTS, ON THE DOWNHILL SIDE OF STOCKPILED SOIL, AND ALONG DITCH BANKS IN CLEARED AREAS TO PREVENT EROSION INTO DITCHES, DO NOT PLACE SILT FENCE IN FLOWING DITCH.



SILT FENCE DETAIL



REVISIONS		
ITEM NO.	DESCRIPTION OF CHANGE	DATE APPROVED

DAVID GEAN BEAN
REGISTERED ENGINEER
AGRICULTURE
NO. 00110070
STATE OF TENNESSEE
7-23-25

STELLING PLANNED DEVELOPMENT

DEVELOPER: GBI CONTRACTORS INC.
ENGINEER: THE BRAY FIRM

DIVISION OF ENGINEERING

EROSION CONTROL PLAN
PHASE 2

BARTLETT, TENNESSEE

SURVEY: OTHERS

DESIGN: TBF DATE: 7-2025 SCALE 1"=60'

REVIEWED

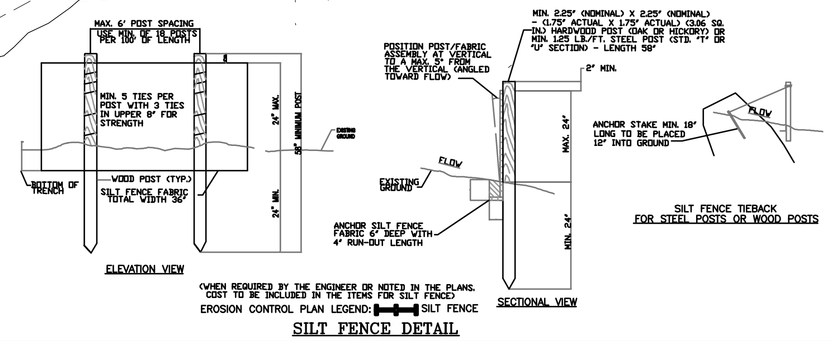
CITY ENGINEER DATE

SHEET 6 of 17

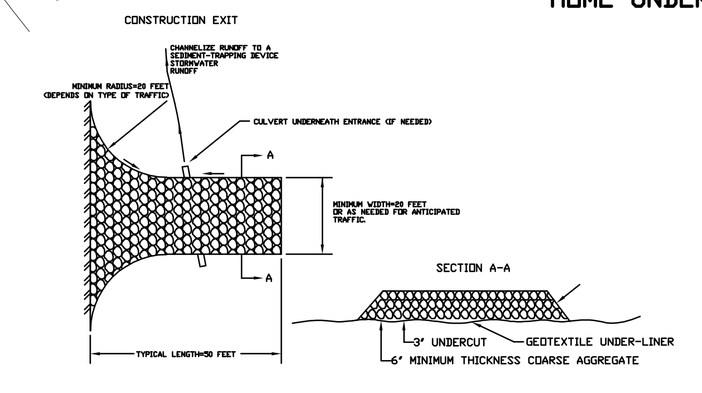
HOME BUILDERS WILL BE REQUIRED TO GET PERMIT COVERAGE FOR EACH HOME UNDER CONSTRUCTION.

DISTURBED AREA: 25.4 ACRES
NOTE TO DEVELOPER AND CONTRACTOR:
1. STATE NPDES PERMITS ARE REQUIRED PRIOR TO LAND DISTURBANCE
2. IF FULL IMPLEMENTATION OF THIS PLAN DOES NOT PROVIDE EFFECTIVE SEDIMENT CONTROL AND EROSION PROTECTION, ADDITIONAL MEASURES MAY BE REQUIRED.

EROSION CONTROL NOTES:
1. EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE AND FUNCTIONAL PRIOR TO COMMENCEMENT OF EARTH MOVING OPERATIONS.
2. ALL EROSION AND SEDIMENT CONTROL MEASURES MUST BE PROPERLY CONSTRUCTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
3. CHECK ALL EROSION AND SEDIMENT CONTROL MEASURES PER TDEC TWICE WEEKLY AT LEAST 72 HOURS APART. DAILY CHECKING IS REQUIRED DURING PROLONGED RAINFALL. MAINTAIN A PERMANENT LOG OF CHECKS AND MAINTENANCE MEASURES.
4. KEEP CONSTRUCTION DEBRIS FROM ENTERING STORM SEWER.
5. PROMPTLY BACKFILL AND STABILIZE TRENCHES AND/OR PITS.
6. DESIGNATE A SPECIFIC INDIVIDUAL (MUST BE TDEC LEVEL 1 CERTIFIED) TO BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROLS AND TO KEEP THE PERMANENT LOG.
7. EROSION CONTROLS ARE NOT LIMITED TO THE SPECIFIED PRACTICES, HOWEVER, ALTERNATVIE MEASURES MUST BE AT LEAST AS EFFECTIVE IN CONTROLLING EROSION AND SEDIMENTATION.
8. RE-VEGETATION OF EXPOSED GROUND SHOULD BEGIN AS SOON AS CONSTRUCTION IS COMPLETED
9. INSTALL STAKED AND ENTRENCHED SILT FENCE ALONG THE BASE OF ALL BACKFILLS AND CUTS, ON THE DOWNHILL SIDE OF STOCKPILED SOIL, AND ALONG DITCH BANKS IN CLEARED AREAS TO PREVENT EROSION INTO DITCHES, DO NOT PLACE SILT FENCE IN FLOWING DITCH.



SILT FENCE DETAIL



SILT FENCE TIEBACK
FOR STEEL POSTS OR WOOD POSTS

REVISIONS

ITEM NO.	DESCRIPTION OF CHANGE	DATE APPROVED

DAVID GEAN BRAY
REGISTERED ENGINEER
AGRICULTURE
00110070
STATE OF TENNESSEE
7-2-2025

STELLING PLANNED DEVELOPMENT

DEVELOPER: GBI CONTRACTORS INC.
ENGINEER: THE BRAY FIRM

DIVISION OF ENGINEERING

EROSION CONTROL PLAN
PHASE 3

BARTLETT, TENNESSEE

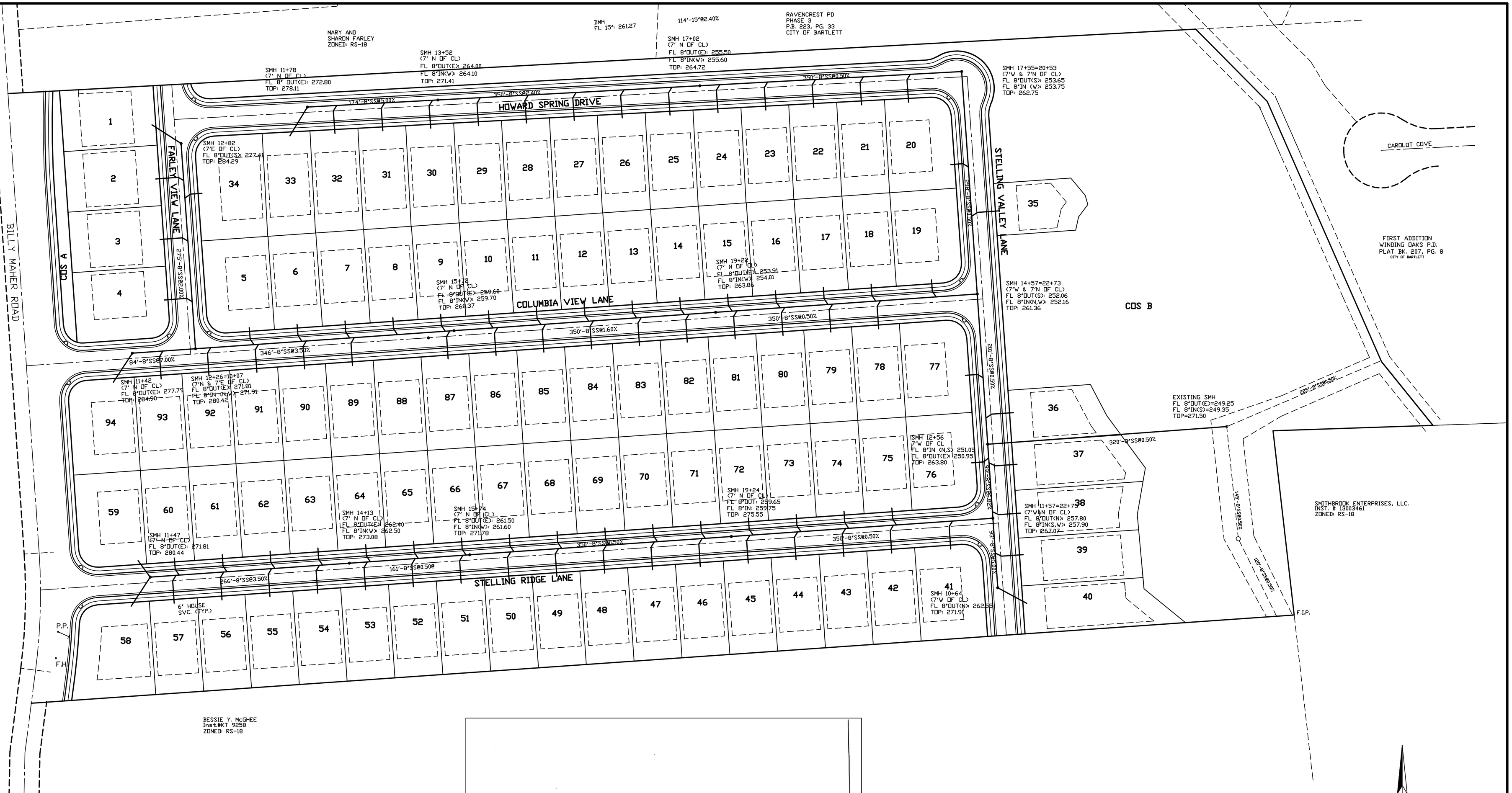
SURVEY: OTHERS

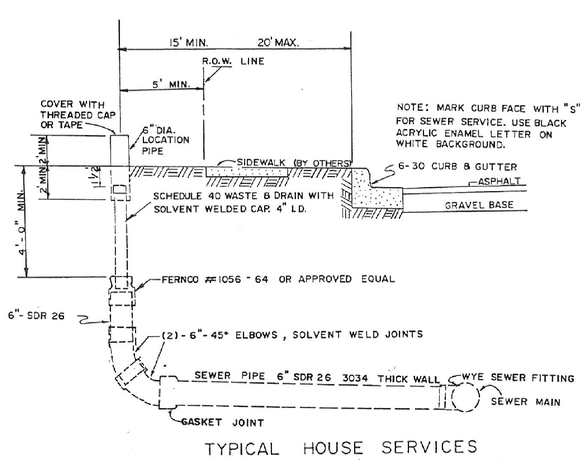
DESIGN: TBF DATE: 7-2025 SCALE 1"=60'

REVIEWED

CITY ENGINEER DATE

SHEET 7 of 17





TYPICAL HOUSE SERVICES

N. T. S.

A PORTION OF THIS PROPERTY IS LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA. FLOOD AREA SHOULD BE CONTAINED TO C.O.S. B. PER FEMA FLOOD MAP #47157C0292 G DATED FEBRUARY 6, 2013.

0 30 60 120 180

GRAPHIC SCALE IN FEET: 1"=60'

REVISIONS

ITEM NO.	DESCRIPTION OF CHANGE	DATE APPROVED

DAVID GEAN BRAY III
REGISTERED ENGINEER
No. 101175
AGRICULTURE
No. 0011007
STATE OF TENNESSEE
7/28/2025

STELLING PLANNED DEVELOPMENT

DEVELOPER: GBI CONTRACTORS INC.
ENGINEER: THE BRAY FIRM

DIVISION OF ENGINEERING

SANITARY SEWER PLAN

BARTLETT, TENNESSEE

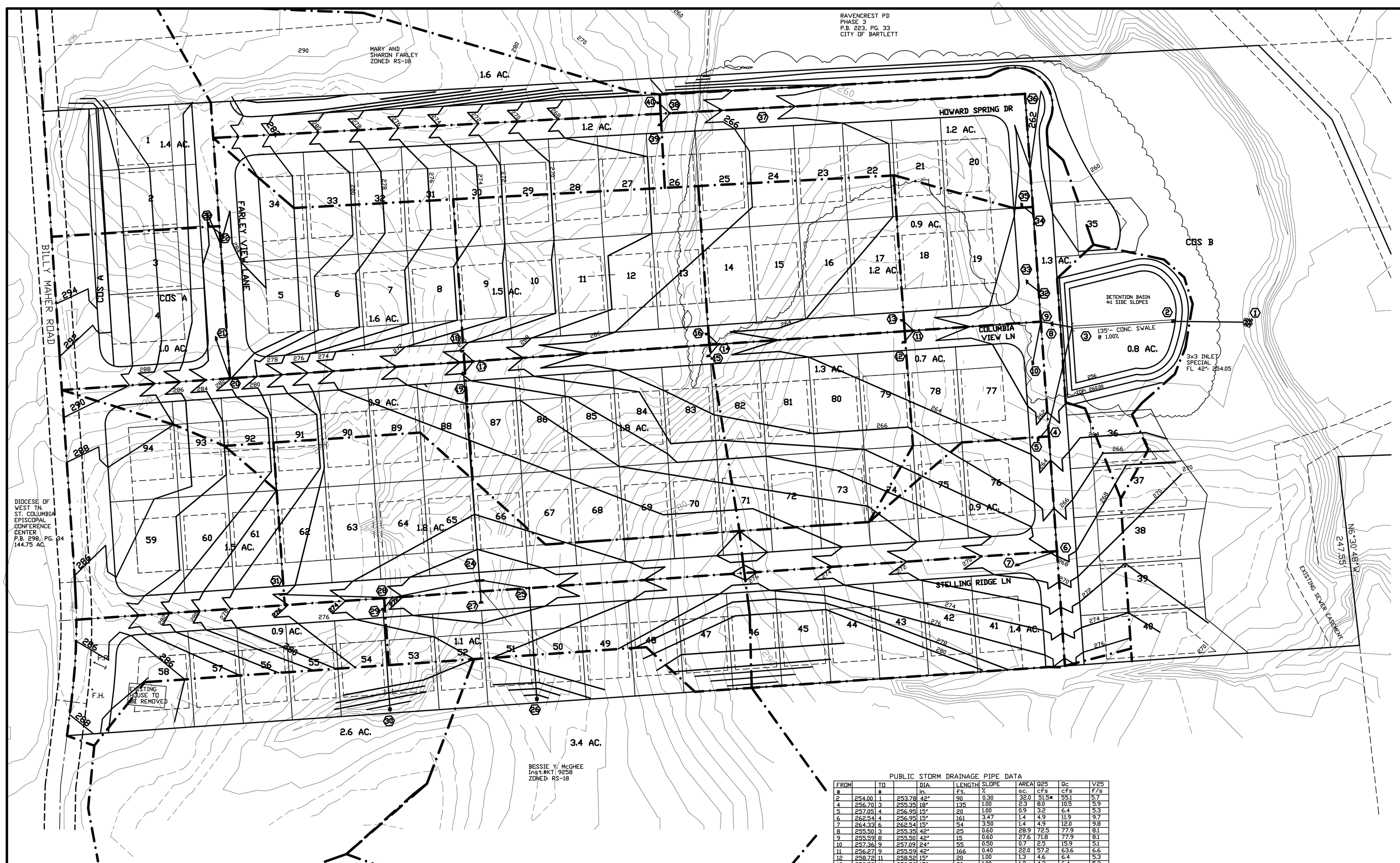
SURVEY: OTHERS

DESIGN: TBF DATE: 7-2025 SCALE 1"=60'

REVIEWED

CITY ENGINEER DATE

SHEET 8 of 17



PUBLIC DRAINAGE STRUCTURE INFORMATION

STRUCTURE #	TYPE	AREA ac.	Q25 cfs	Qin cfs	ITEM	
1	Type E HW	N/A	N/A	N/A	42" TOP	253.73 258.50
2	3x3 INLET see detail	32.0	51.5*	51.5*	42" THROAT	254.00 259.50
3	Type D HW	N/A	N/A	N/A	42" 18" TOP	255.35 255.35 260.00
4	DMH	N/A	N/A	N/A	18" OUT 15" IN TOP	256.70 256.95 262.69
5	6-72 INLET	0.9	3.2	3.2	15" TOP	257.15 262.98
6	DMH	N/A	N/A	N/A	15" TOP	262.54 267.61
7	6-72 INLET	1.4	4.9	4.9	15" TOP	264.33 268.91
8	6-72 INLET	1.3	4.6	4.6	42" IN/OUT TOP	255.50 261.58
9	DMH	N/A	N/A	N/A	42" IN/OUT 24" IN TOP	255.59 257.09 261.58
10	6-72 INLET	0.7	2.5	2.5	24" TOP	257.36 261.77
11	DMH	N/A	N/A	N/A	42" IN/OUT 15" IN TOP	256.27 258.52 262.62
12	6-72 INLET	1.3	4.6	4.6	15" TOP	258.72 262.70
13	6-72 INLET	1.2	4.2	4.2	15" TOP	258.72 262.70
14	DMH	N/A	N/A	N/A	42" OUT 36" IN 15" IN TOP	257.29 257.79 259.54 264.63
15	6-72 INLET	1.8	6.3	6.3	15" TOP	259.74 264.73
16	6-72 INLET	1.5	5.3	5.3	15" TOP	259.74 264.73
17	DMH	N/A	N/A	N/A	36"IN/OUT 15" IN TOP	262.27 264.02 269.45
18	6-72 INLET	1.6	5.6	5.6	15" TOP	264.22 269.77
19	6-72 INLET	0.9	3.2	3.2	36"IN/OUT TOP	262.25 269.77
20	DMH	N/A	N/A	N/A	15" IN/OUT TOP	275.15 280.99
21	6-72 INLET	1.0	3.5	3.5	15" TOP	276.25 283.38
22	DMH	N/A	N/A	N/A	15" IN/OUT TOP	278.95 284.08
23	6-72 INLET	1.4	4.9	4.9	15" TOP	279.35 284.15
24	TWIN 6-72	1.8	6.3	6.3	36" OUT 24" IN 15" IN TOP	263.43 264.43 265.18 271.90
25	DMH	N/A	N/A	N/A	24" IN/OUT TOP	264.63 272.19
26	4x4 INLET	3.4	11.4	11.4	24" TOP	265.06 268.00
27	6-72 INLET	1.1	3.9	3.9	15" TOP	266.23 271.90
28	DMH	N/A	N/A	N/A	24"IN/OUT 15" IN TOP	265.35 266.10 273.33
29	6-72 INLET	0.9	3.2	3.2	24" IN/OUT TOP	265.43 273.64
30	3x3 INLET	2.6	8.9	8.9	24" TOP	265.82 268.00
31	6-72 INLET	1.5	5.3	5.3	15" TOP	271.14 276.50
32	DMH	N/A	N/A	N/A	24" IN/OUT TOP	257.33 261.71
33	6-72 INLET	0.9	3.2	3.2	24" OUT TOP	257.39 261.77
34	DMH	N/A	N/A	N/A	24" IN/OUT TOP	257.75 262.21
35	6-72 INLET	1.2	4.2	4.2	24" TOP	257.81 262.28
36	DMH	N/A	N/A	N/A	24" IN/OUT TOP	258.38 263.00
37	DMH	N/A	N/A	N/A	24" IN/OUT TOP	259.79 264.93
38	DMH	N/A	N/A	N/A	18" OUT 15" IN TOP	261.42 261.67 265.50
39	6-72 INLET	1.2	4.2	4.2	15" TOP	261.87 265.57
40	6-72 INLET	1.6	5.6	5.6	15" TOP	261.87 265.57

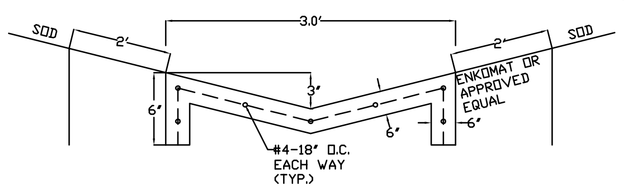
* Detained flow

PUBLIC STORM DRAINAGE PIPE DATA

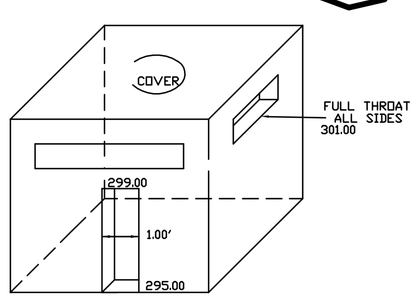
FROM #		TO #		DIA. in.	LENGTH ft.	SLOPE %	AREA ac.	Q25 cfs	Qc cfs	V25 f/s
2	254.00	1	253.78	42"	90	0.30	32.0	51.5*	55.1	5.7
4	256.70	3	255.35	18"	135	1.00	2.3	8.0	10.5	5.9
5	257.05	4	256.95	15"	20	1.00	0.9	3.2	6.4	5.3
6	262.54	4	256.95	15"	161	3.47	1.4	4.9	11.9	9.7
7	264.33	6	262.54	15"	54	3.50	1.4	4.9	12.0	9.8
8	255.50	3	255.35	42"	25	0.60	28.9	72.5	77.9	8.1
9	255.59	8	255.50	42"	15	0.60	27.6	71.8	77.9	8.1
10	257.36	9	257.09	24"	55	0.50	0.7	2.5	15.9	5.1
11	256.27	9	255.59	42"	166	0.40	22.0	57.2	63.6	6.6
12	258.72	11	258.52	15"	20	1.00	1.3	4.6	6.4	5.3
13	258.72	11	258.52	15"	20	1.00	1.2	4.2	6.4	5.3
14	257.29	11	256.27	42"	255	0.40	19.5	50.7	63.6	6.6
15	259.74	11	259.54	15"	20	1.00	1.8	6.3	6.4	5.3
16	259.74	11	259.54	15"	20	1.00	1.5	5.3	6.4	5.3
17	262.27	14	257.79	36"	320	1.40	16.2	43.4	78.9	11.2
18	264.22	17	264.02	15"	20	1.00	1.6	5.6	6.4	5.3
19	262.35	17	262.27	36"	20	0.40	12.2	34.4	42.1	6.0
20	275.15	17	264.02	15"	318	3.50	2.4	8.2	12.0	9.8
21	276.25	20	275.15	15"	55	2.00	1.0	3.5	9.1	7.4
22	278.95	20	276.15	15"	190	2.00	1.4	4.9	9.1	7.4
23	279.35	22	278.95	15"	20	2.00	1.4	4.9	9.1	7.4
24	263.43	19	262.35	36"	270	0.40	11.3	32.1	42.1	6.0
25	264.63	24	264.43	24"	65	0.30	3.4	11.4	12.3	3.9
26	265.06	25	264.63	24"	145	0.30	3.4	11.4	12.3	3.9
27	266.23	24	265.18	15"	30	3.50	1.1	3.9	12.0	9.8
28	265.35	24	264.43	24"	115	0.80	5.0	15.8	20.2	6.4
29	265.43	28	265.35	24"	20	0.40	3.5	11.6	14.3	4.6
30	265.82	29	265.35	24"	130	0.30	2.6	8.9	12.3	3.9
31	271.14	28	266.10	15"	144	3.50	1.5	5.3	12.0	9.8
32	257.33	10	257.09	24"	40	0.60	4.9	15.9	17.5	5.6
33	257.39	32	257.33	24"	20	0.30	0.9	3.2	12.3	3.9
34	257.75	33	257.39	24"	100	0.36	4.0	13.0	13.3	4.2
35	257.81	34	257.75	24"	20	0.30	1.2	4.2	12.3	3.9
36	258.38	34	257.75	24"	157	0.40	2.8	9.6	14.3	4.6
37	259.78	36	258.38	24"	350	0.40	2.8	9.6	14.3	4.6
38	261.42	37	260.28	18"	114	1.00	2.8	9.6	10.5	5.9
39	261.87	38	261.67	15"	20	1.00	1.2	4.2	6.4	5.3
40	261.87	38	261.67	15"	20	1.00	1.6	5.6	6.4	5.3

* Detained flow

A PORTION OF THIS PROPERTY IS LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA. FLOOD AREA SHOULD BE CONTAINED TO C.O.S. B. PER FEMA FLOOD MAP #47157C0292 G DATED FEBRUARY 6, 2013.



CONCRETE SWALE TO BE LOCATED IN DETENTION BASIN n.t.s.



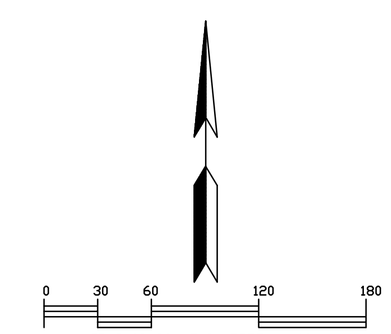
INLET CONTROL OPENING

DETENTION BASIN SUMMARY - COS A
DRAINAGE AREA: 32.0 AC.

Cpre=0.35 Tc=20 min Cpost=0.50 Tc=10 min

RETURN YRS	ALLOWABLE FLOW CFS	ACTUAL OUTFLOW CFS	STORAGE CUFT	W.S.E. FT.
2	40.3	11.3	4844	297.64
5	47.3	13.2	5550	297.92
10	52.8	14.2	6080	298.07
25	59.7	15.6	7034	298.27
100	71.3	18.3	8715	298.63

ELEV.	STORAGE CUFT
254.00	0
256.00	15885
258.00	30619
260.00	93747



REVISIONS

ITEM NO.	DESCRIPTION OF CHANGE	DATE APPROVED

DAVID GEAN BRAY
REGISTERED ENGINEER
No. 101100
STATE OF TENNESSEE
7-29-2025

DIVISION OF ENGINEERING

GRADING AND DRAINAGE PLAN

BARTLETT, TENNESSEE

SURVEY: OTHERS

DESIGN: TBF DATE: 7-2025 SCALE 1"=60'

REVIEWED

CITY ENGINEER DATE

SHEET 9 of 17

STELLING PLANNED DEVELOPMENT

DEVELOPER: GBI CONTRACTORS INC.

ENGINEER: THE BRAY FIRM

RAVENCREST PD
PHASE 3
P.B. 223, PG. 33
CITY OF BARTLETT

MARY AND
SHARON FARLEY
ZONED: RS-18

CAROLOT COVE

FIRST ADDITION
WINDING OAKS P.D.
PLAT BK. 207, PG. 8
CITY OF BARTLETT

BILLY MAHER ROAD

S 3° 52' 29" E
614.85'

DIOCESE OF
WEST TN.
ST. COLUMBIA
EPISCOPAL
CONFERENCE
CENTER
P.B. 298, PG. 34
144.75 AC.

COS A

COS B

1.0 AC.
1.6 AC.
1.5 AC.
1.8 AC.
0.9 AC.
1.2 AC.

EXISTING SEWER EASEMENT AND SEWER LINE

AREA OF TREES
TO BE PRESERVED

SMITHBROOK ENTERPRISES, LLC.
INST. #-13003461
ZONED: RS-18

N6°30'48" W
247.55'

F.I.P.

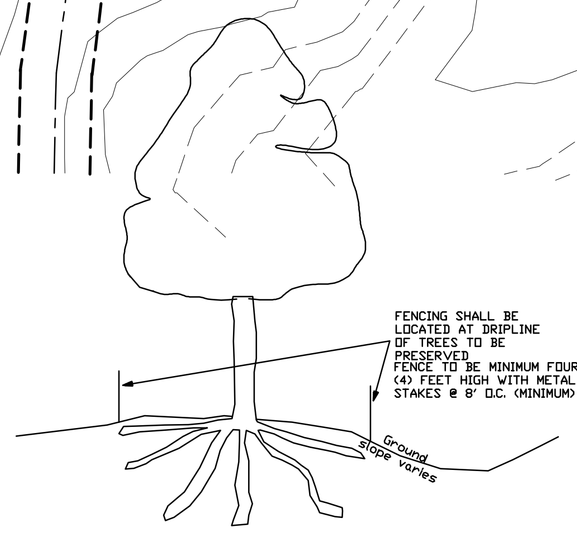
F.H.

INSTALL TREE PROTECTION
FENCING AS SHOWN

BESSIE Y. McGHEE
Inst.#KT 9258
ZONED: RS-18

A PORTION OF THIS PROPERTY IS LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA. FLOOD AREA SHOULD BE CONTAINED TO C.O.S. B.
PER FEMA FLOOD MAP #47157C0292 G
DATED FEBRUARY 8, 2013.

0 30 60 120 180
GRAPHIC SCALE IN FEET: 1"=60'



LOCATION OF ORANGE PROTECTIVE FENCING
n.t.s.

TREE FENCING TO BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION

NOTES: NO CONSTRUCTION ACTIVITY OF ANY KIND MAY COMMENCE UNTIL PROTECTIVE FENCING HAS BEEN PLACED AROUND AREAS TO BE PRESERVED.

NO HEAVY EQUIPMENT SHALL BE ALLOWED WITHIN CONFINES OF PROTECTIVE FENCING (NO STAGING, PARKING STORAGE, DUMPING OR CLEANOUT SHALL BE ALLOWED WITHIN THE ROOT PROTECTION ZONES). ALL WORK WITHIN AREAS OF TREES TO BE PRESERVED SHALL BE DONE ONLY AFTER NOTICE HAS BEEN PROVIDED TO CITY OF BARTLETT CONSTRUCTION INSPECTION OFFICE.

REVISIONS

ITEM NO.	DESCRIPTION OF CHANGE	DATE APPROVED

DAVID GEAN BRAY
REGISTERED ENGINEER
AGRICULTURE
NO. 00110070
STATE OF TENNESSEE
7-25-2025

STELLING PLANNED DEVELOPMENT

DEVELOPER: GBI CONTRACTORS INC.
ENGINEER: THE BRAY FIRM

DIVISION OF ENGINEERING

TREE PROTECTION PLAN

BARTLETT, TENNESSEE

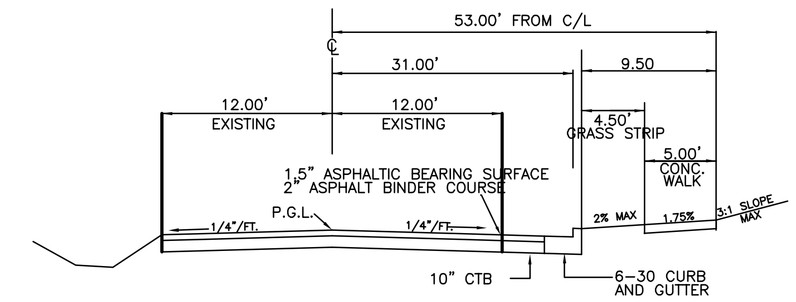
SURVEY: OTHERS

DESIGN: TBF DATE: 7-2025 SCALE 1"=60'

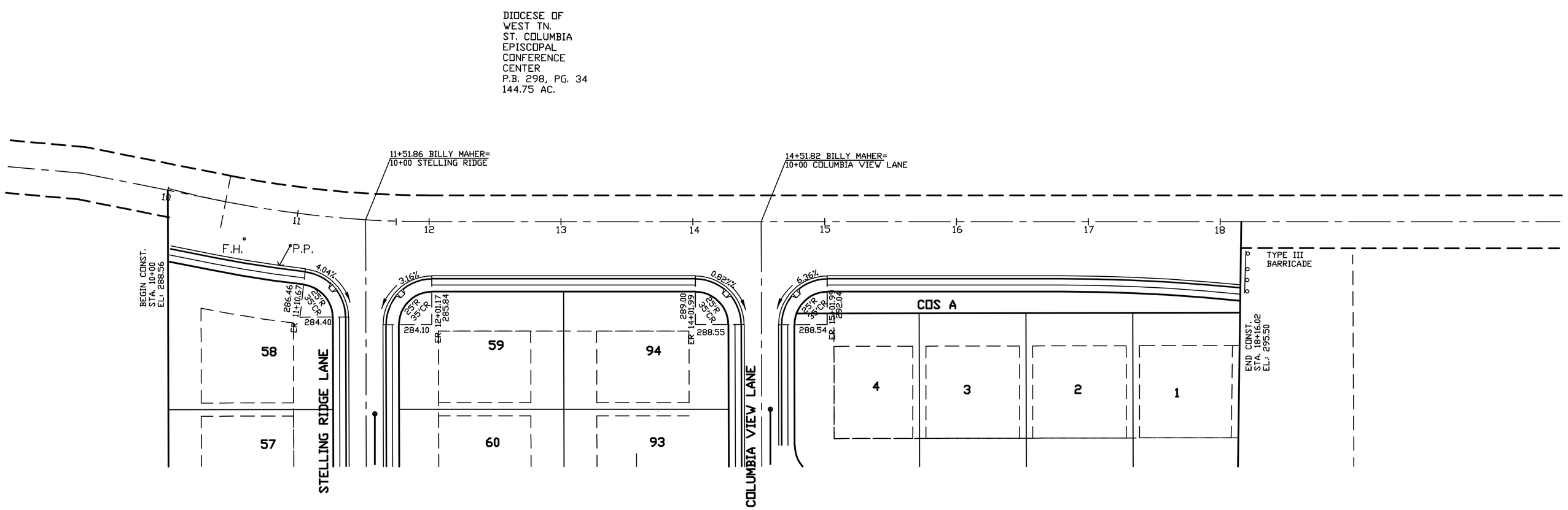
REVIEWED

CITY ENGINEER DATE

SHEET 11 of 17

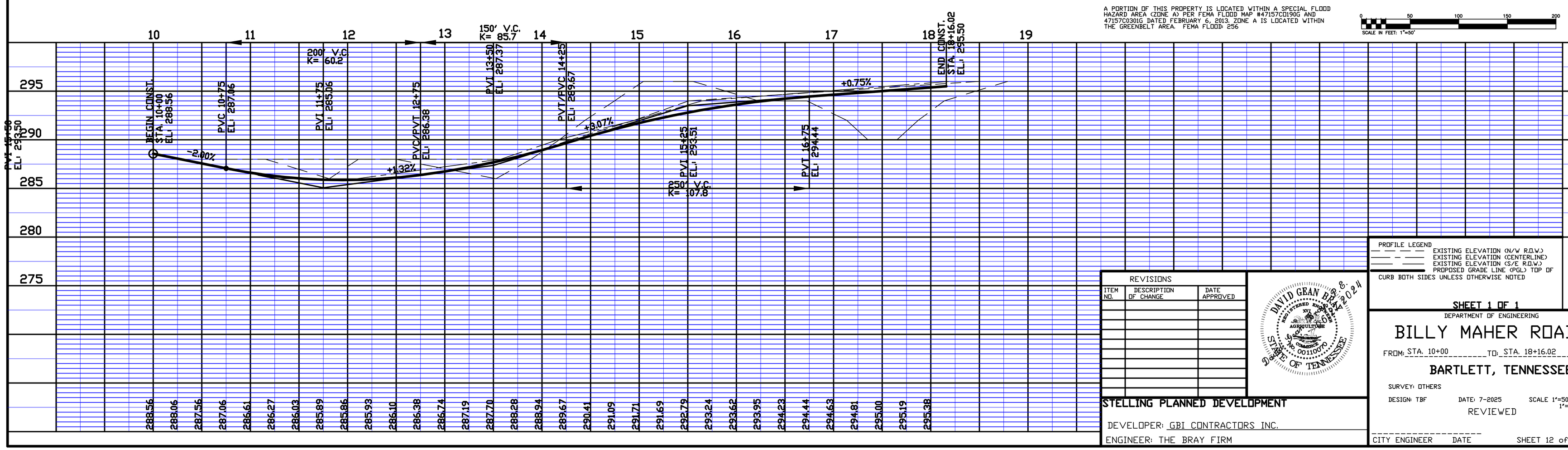


TYPICAL SECTION
n.t.s.



A PORTION OF THIS PROPERTY IS LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA (ZONE A) PER FEMA FLOOD MAP #47157C0190G AND 47157C0301G DATED FEBRUARY 6, 2013. ZONE A IS LOCATED WITHIN THE GREENBELT AREA. FEMA FLOOD: 256

SCALE IN FEET: 1"=50'



PROFILE LEGEND

- EXISTING ELEVATION (N/W R.O.W.)
- EXISTING ELEVATION (CENTERLINE)
- EXISTING ELEVATION (S/E R.O.W.)
- PROPOSED GRADE LINE (PGL) TOP OF CURB BOTH SIDES UNLESS OTHERWISE NOTED

REVISIONS

ITEM NO.	DESCRIPTION OF CHANGE	DATE APPROVED

DAVID GEAN BRAY
REGISTERED ENGINEER
No. 00110070
AGRICULTURE
STATE OF TENNESSEE
Signature
Date 8-6-2024

SHEET 1 OF 1

DEPARTMENT OF ENGINEERING

BILLY MAHER ROAD

FROM: STA. 10+00 TO: STA. 18+16.02

BARTLETT, TENNESSEE

SURVEY: OTHERS

DESIGN: TBF DATE: 7-2025 SCALE 1"=50' 1"=5' VERTICAL

REVIEWED

CITY ENGINEER DATE SHEET 12 of 17

STELLING PLANNED DEVELOPMENT

DEVELOPER: GBI CONTRACTORS INC.

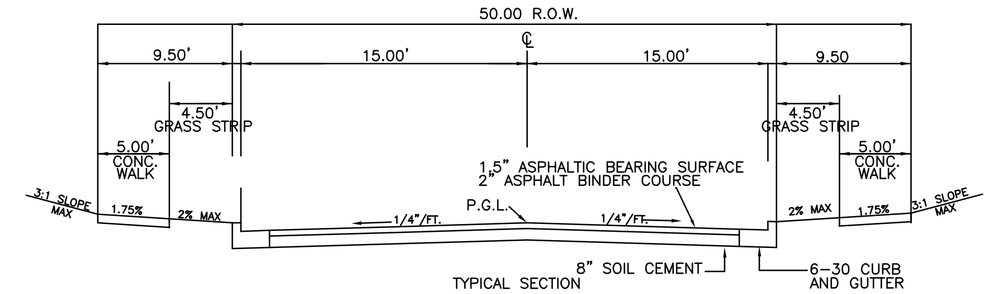
ENGINEER: THE BRAY FIRM

PUBLIC STORM DRAINAGE PIPE DATA

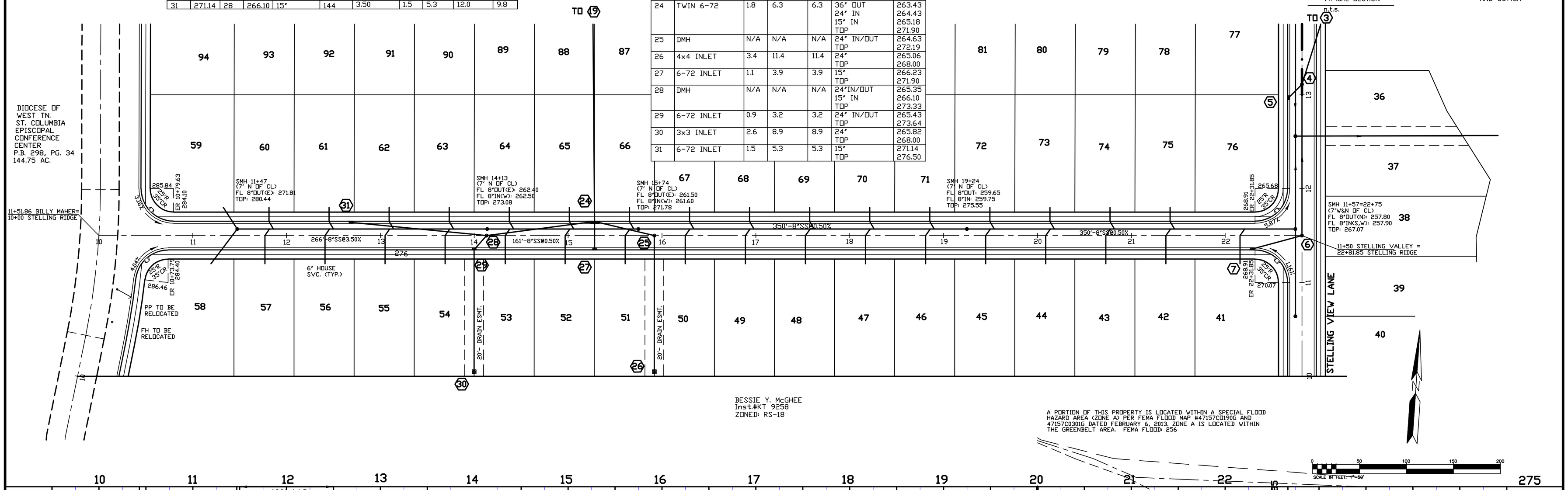
FROM #		TO #		DIA. in.	LENGTH ft.	SLOPE %	AREA ac.	Q25 cfs	Qc cfs	V25 f/s
4	256.70	3	255.35	18"	135	1.00	2.3	8.0	10.5	5.9
5	257.05	4	256.95	15"	20	1.00	0.9	3.2	6.4	5.3
6	262.54	4	256.95	15"	161	3.47	1.4	4.9	11.9	9.7
7	264.33	6	262.54	15"	54	3.50	1.4	4.9	12.0	9.8
24	263.43	19	262.35	36"	270	0.40	11.3	32.1	42.1	6.0
25	264.63	24	264.43	24"	65	0.30	3.4	11.4	12.3	3.9
26	265.06	25	264.63	24"	145	0.30	3.4	11.4	12.3	3.9
27	266.23	24	265.18	15"	30	3.50	1.1	3.9	12.0	9.8
28	265.35	24	264.43	24"	115	0.80	5.0	15.8	20.2	6.4
29	265.43	28	265.35	24"	20	0.40	3.5	11.6	14.3	4.6
30	265.82	29	265.35	24"	130	0.30	2.6	8.9	12.3	3.9
31	271.14	28	266.10	15"	144	3.50	1.5	5.3	12.0	9.8

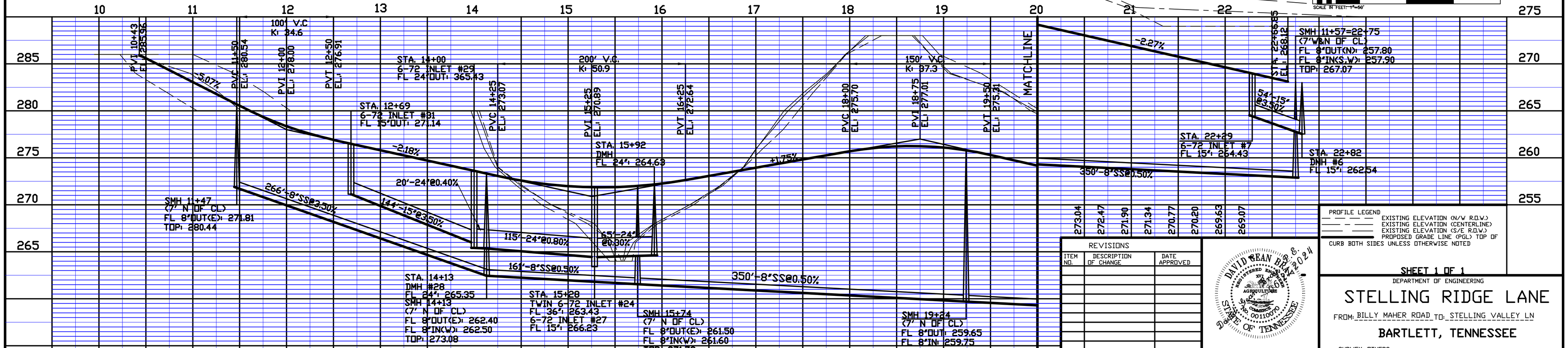
PUBLIC DRAINAGE STRUCTURE INFORMATION

STRUCTURE #	TYPE	AREA ac.	Q25 cfs	Qin cfs	ITEM	
3	Type D HW	N/A	N/A	N/A	42" 18" TOP	255.35 255.35 260.00
4	DMH	N/A	N/A	N/A	18" OUT 15" IN TOP	256.70 256.95 262.69
5	6-72 INLET	0.9	3.2	3.2	15" TOP	257.15 262.98
6	DMH	N/A	N/A	N/A	15" TOP	262.54 267.61
7	6-72 INLET	1.4	4.9	4.9	15" TOP	264.33 268.91
24	TWIN 6-72	1.8	6.3	6.3	36" OUT 24" IN 15" IN TOP	263.43 264.43 265.18 271.90
25	DMH	N/A	N/A	N/A	24" IN/OUT TOP	264.63 272.19
26	4x4 INLET	3.4	11.4	11.4	24" TOP	265.06 268.00
27	6-72 INLET	1.1	3.9	3.9	15" TOP	266.23 271.90
28	DMH	N/A	N/A	N/A	24"IN/OUT 15" IN TOP	265.35 266.10 273.33
29	6-72 INLET	0.9	3.2	3.2	24" IN/OUT TOP	265.43 273.64
30	3x3 INLET	2.6	8.9	8.9	24" TOP	265.82 268.00
31	6-72 INLET	1.5	5.3	5.3	15" TOP	271.14 276.50



TYPICAL SECTION
n.t.s.





PROFILE LEGEND
- EXISTING ELEVATION (N/W R.O.W.)
- EXISTING ELEVATION (CENTERLINE)
- EXISTING ELEVATION (S/E R.O.W.)
- PROPOSED GRADE LINE (PGL) TOP OF CURB BOTH SIDES UNLESS OTHERWISE NOTED

REVISIONS

ITEM NO.	DESCRIPTION OF CHANGE	DATE APPROVED

DAVID SEAN BRAY
REGISTERED ENGINEER
AGRICULTURE COMMERCE
No. 00110070
STATE OF TENNESSEE
2024

SHEET 1 OF 1

DEPARTMENT OF ENGINEERING

STELLING RIDGE LANE

FROM: BILLY MAHER ROAD TO: STELLING VALLEY LN

BARTLETT, TENNESSEE

SURVEY: OTHERS

DESIGN: TBF DATE: 7-2025 SCALE 1"=50' 1"=5' VERTICAL

REVIEWED

CITY ENGINEER DATE

SHEET 13 of 17

STELLING PLANNED DEVELOPER

DEVELOPER: GBI CONTRACTORS INC.

ENGINEER: THE BRAY FIRM

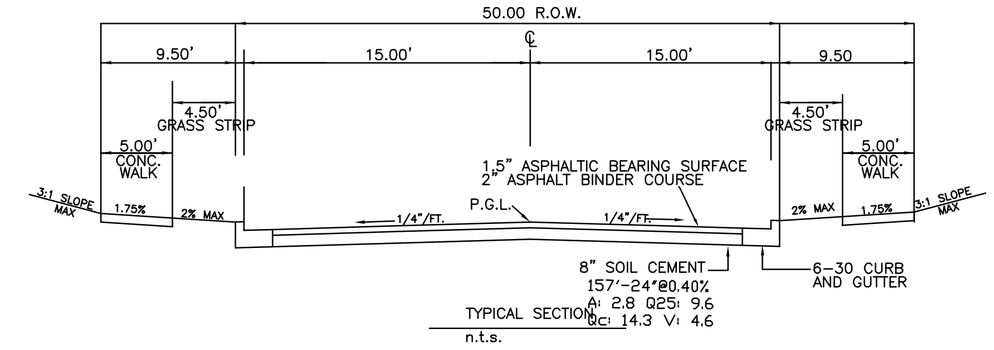
PUBLIC DRAINAGE STRUCTURE INFORMATION

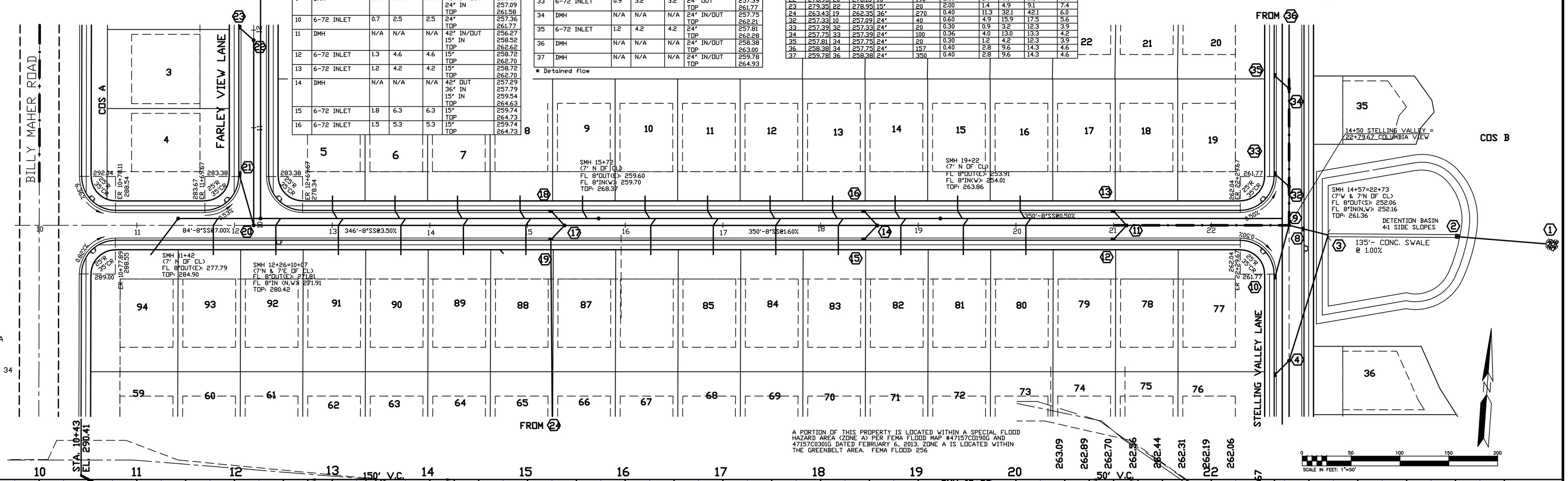
STRUCTURE #	TYPE	AREA ac.	Q25 cfs	Qin cfs	ITEM	
1	Type E HW	N/A	N/A	N/A	42" TOP	253.73 258.50
2	3x3 INLET see detail	32.0	51.5*	51.5*	42" THROAT	254.00 259.50
3	Type D HW	N/A	N/A	N/A	42" 18" TOP	255.35 255.35 260.00
4	DMH	N/A	N/A	N/A	18" OUT 15" IN TOP	256.70 256.99 262.69
5	6-72 INLET	0.9	3.2	3.2	15" TOP	257.15 262.98
6	DMH	N/A	N/A	N/A	15" TOP	262.54 267.61
7	6-72 INLET	1.4	4.9	4.9	15" TOP	264.33 268.91
8	6-72 INLET	1.3	4.6	4.6	42" IN/OUT TOP	255.50 261.58
9	DMH	N/A	N/A	N/A	42" IN/OUT 24" IN TOP	255.59 257.09 261.58
10	6-72 INLET	0.7	2.5	2.5	24" TOP	257.36 261.77
11	DMH	N/A	N/A	N/A	42" IN/OUT 15" IN TOP	256.27 258.52 262.62
12	6-72 INLET	1.3	4.6	4.6	15" TOP	258.72 262.70
13	6-72 INLET	1.2	4.2	4.2	15" TOP	258.72 262.70
14	DMH	N/A	N/A	N/A	42" OUT 36" IN 15" IN TOP	257.29 257.79 259.54 264.63
15	6-72 INLET	1.8	6.3	6.3	15" TOP	259.74 264.73
16	6-72 INLET	1.5	5.3	5.3	15" TOP	259.74 264.73
17	DMH	N/A	N/A	N/A	36"IN/OUT 15" IN TOP	262.27 264.02 269.45
18	6-72 INLET	1.6	5.6	5.6	15" TOP	264.22 269.77
19	6-72 INLET	0.9	3.2	3.2	36"IN/OUT TOP	262.35 269.77
20	DMH	N/A	N/A	N/A	15" IN/OUT TOP	275.15 280.99
21	6-72 INLET	1.0	3.5	3.5	15" TOP	276.25 283.38
22	DMH	N/A	N/A	N/A	15" IN/OUT TOP	278.95 284.08
23	6-72 INLET	1.4	4.9	4.9	15" TOP	279.35 284.15
24	TWIN 6-72	1.8	6.3	6.3	36" OUT 24" IN 15" IN TOP	263.43 264.43 265.18 271.90
32	DMH	N/A	N/A	N/A	24" IN/OUT TOP	257.33 261.71
33	6-72 INLET	0.9	3.2	3.2	24" OUT TOP	257.39 261.77
34	DMH	N/A	N/A	N/A	24" IN/OUT TOP	257.75 262.21
35	6-72 INLET	1.2	4.2	4.2	24" TOP	257.81 262.28
36	DMH	N/A	N/A	N/A	24" IN/OUT TOP	258.38 263.00
37	DMH	N/A	N/A	N/A	24" IN/OUT TOP	259.78 264.93

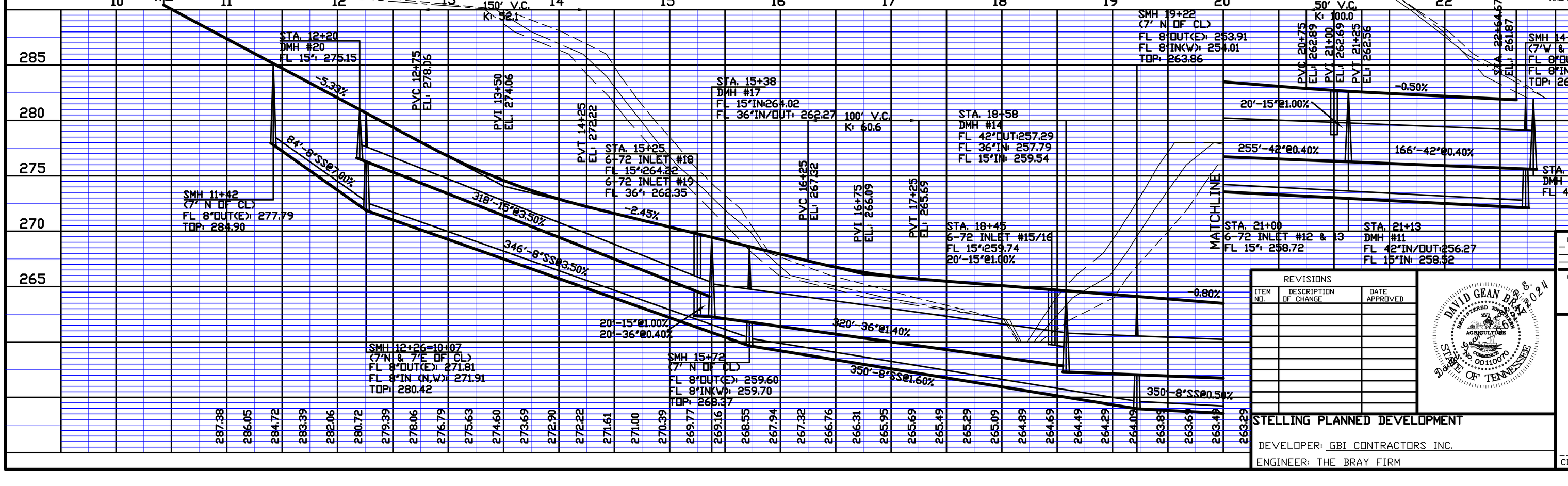
* Detained flow

PUBLIC STORM DRAINAGE PIPE DATA

FROM #	TO #	DIA. in.	LENGTH ft.	SLOPE %	AREA ac.	Q25 cfs	Qc cfs	V25 f/s
2	254.00 1	253.78 42"	90	0.30	32.0	51.5*	55.1	5.7
4	256.70 3	255.35 18"	135	1.00	2.3	8.0	10.5	5.9
5	257.05 4	256.95 15"	20	1.00	0.9	3.2	6.4	5.3
6	262.54 4	256.95 15"	161	3.47	1.4	4.9	11.9	9.7
7	264.33 6	262.54 15"	54	3.50	1.4	4.9	12.0	9.8
8	255.50 3	255.35 42"	25	0.60	28.9	72.5	77.9	8.1
9	255.59 8	255.50 42"	15	0.60	27.6	71.8	77.9	8.1
10	257.36 9	257.09 24"	55	0.50	0.7	2.5	15.9	5.1
11	256.27 9	255.59 42"	166	0.40	22.0	57.2	63.6	6.6
12	258.72 11	258.52 15"	20	1.00	1.3	4.6	6.4	5.3
13	258.72 11	258.52 15"	20	1.00	1.2	4.2	6.4	5.3
14	257.29 11	256.27 42"	255	0.40	19.5	50.7	63.6	6.6
15	259.74 11	259.54 15"	20	1.00	1.8	6.3	6.4	5.3
16	259.74 11	259.54 15"	20	1.00	1.5	5.3	6.4	5.3
17	262.27 14	257.79 36"	320	1.40	16.2	43.4	78.9	11.2
18	264.22 17	264.02 15"	20	1.00	1.6	5.6	6.4	5.3
19	262.35 17	262.27 36"	20	0.40	12.2	34.4	42.1	6.0
20	275.15 17	264.02 15"	318	3.50	2.4	8.2	12.0	9.8
21	276.25 20	275.15 15"	55	2.00	1.0	3.5	9.1	7.4
22	278.95 20	276.15 15"	190	2.00	1.4	4.9	9.1	7.4
23	279.35 22	278.95 15"	20	2.00	1.4	4.9	9.1	7.4
24	263.43 19	262.35 36"	270	0.40	11.3	32.1	42.1	6.0
32	257.33 10	257.09 24"	40	0.60	4.9	15.9	17.5	5.6
33	257.39 32	257.33 24"	20	0.30	0.9	3.2	12.3	3.9
34	257.75 33	257.39 24"	100	0.36	4.0	13.0	13.3	4.2
35	257.81 34	257.75 24"	20	0.30	1.2	4.2	12.3	3.9
36	258.38 34	257.75 24"	157	0.40	2.8	9.6	14.3	4.6
37	259.78 36	258.38 24"	350	0.40	2.8	9.6	14.3	4.6







REVISIONS

ITEM NO.	DESCRIPTION OF CHANGE	DATE APPROVED

DAVID GEAN BRAY
REGISTERED ENGINEER
AGRICULTURE
No. 00110070
STATE OF TENNESSEE
8-8-2024

SHEET 1 OF 1

DEPARTMENT OF ENGINEERING

COLUMBIA VIEW LANE

FROM: BILLY MAHER ROAD TO: STELLING VALLEY LN

BARTLETT, TENNESSEE

SURVEY: OTHERS

DESIGN: TBF DATE: 7-2025 SCALE 1"=50' 1"=5' VERTICAL

REVIEWED

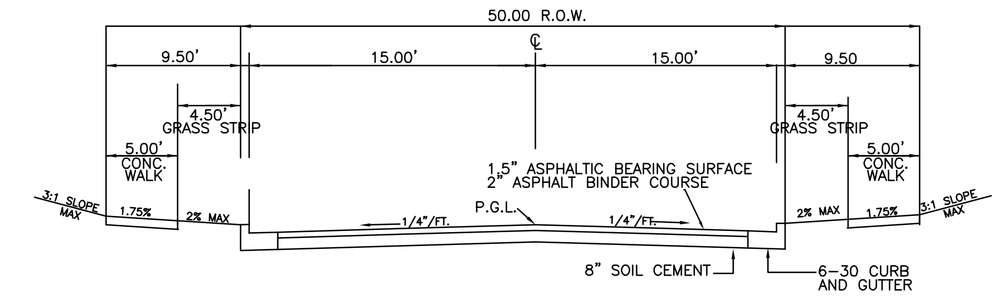
CITY ENGINEER DATE

SHEET 14 of 17

STELLING PLANNED DEVELOPMENT

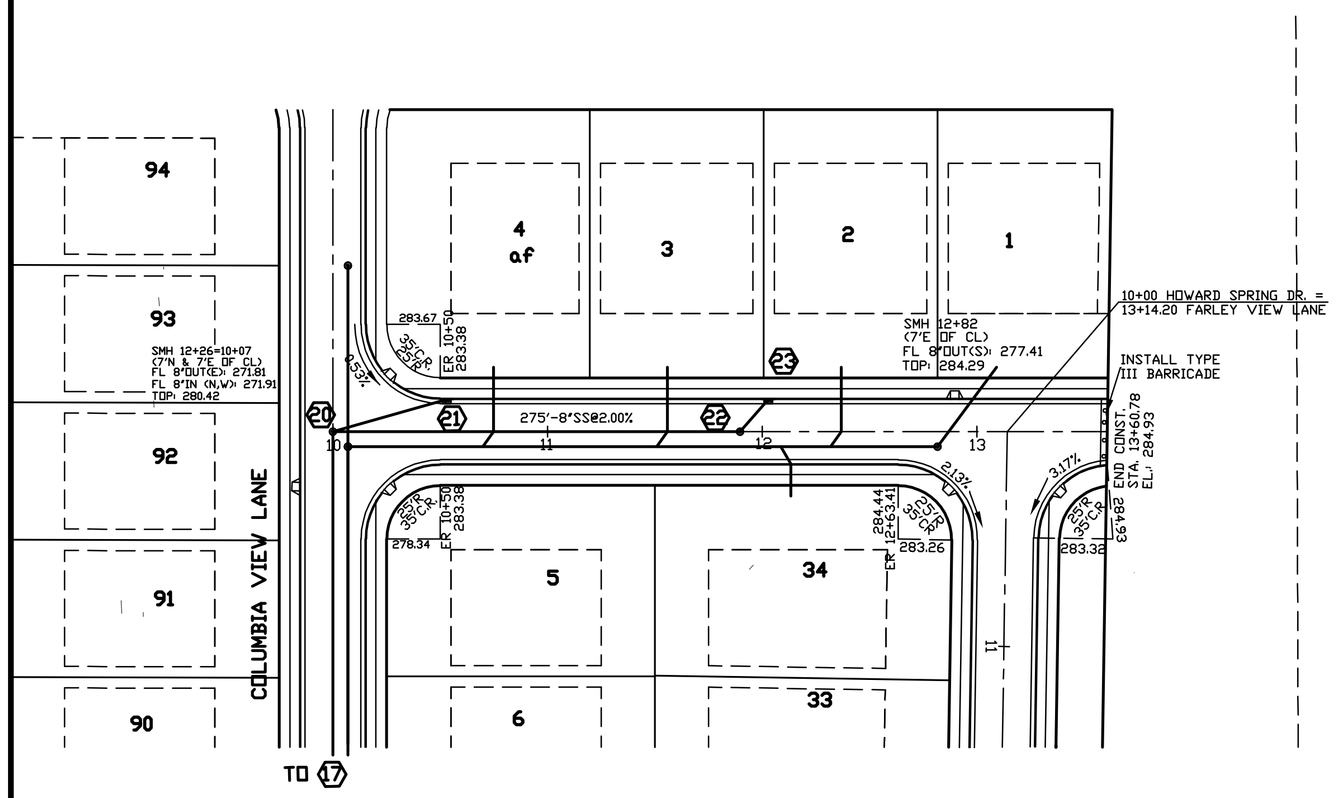
DEVELOPER: GBI CONTRACTORS INC.

ENGINEER: THE BRAY FIRM



TYPICAL SECTION

n.t.s.



PUBLIC DRAINAGE STRUCTURE INFORMATION

STRUCTURE #	TYPE	AREA a.c.	Q25 cfs	Qin cfs	ITEM	
17	DMH	N/A	N/A	N/A	36"IN/OUT	262.27
					15" IN	264.02
					TOP	269.45
18	6-72 INLET	1.6	5.6	5.6	15"	264.22
					TOP	269.77
19	6-72 INLET	0.9	3.2	3.2	36"IN/OUT	262.35
					TOP	269.77
20	DMH	N/A	N/A	N/A	15" IN/OUT	275.15
					TOP	280.99
21	6-72 INLET	1.0	3.5	3.5	15"	276.25
					TOP	283.38
22	DMH	N/A	N/A	N/A	15" IN/OUT	278.95
					TOP	284.08
23	6-72 INLET	1.4	4.9	4.9	15"	279.35
					TOP	284.15

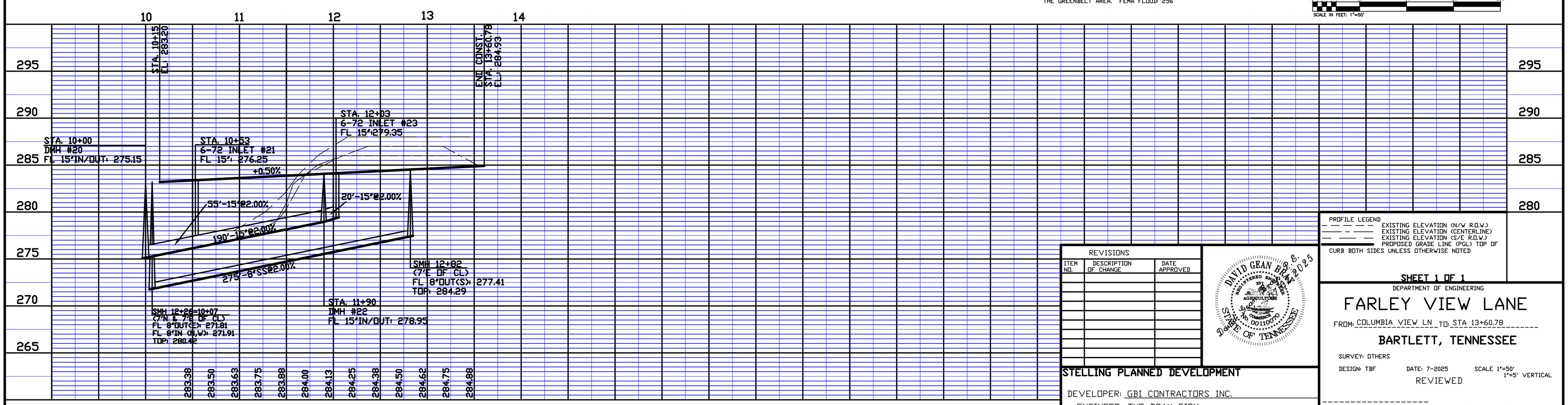
PUBLIC STORM DRAINAGE PIPE DATA

FROM #		TO #		DIA. in.	LENGTH ft.	SLOPE %	AREA a.c.	Q25 cfs	Qc cfs	V25 f/s
19	262.35	17	262.27	36"	20	0.40	12.2	34.4	42.1	6.0
20	275.15	17	264.02	15"	318	3.50	2.4	8.2	12.0	9.8
21	276.25	20	275.15	15"	55	2.00	1.0	3.5	9.1	7.4
22	278.95	20	276.15	15"	190	2.00	1.4	4.9	9.1	7.4
23	279.35	22	278.95	15"	20	2.00	1.4	4.9	9.1	7.4

A PORTION OF THIS PROPERTY IS LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA (ZONE A) PER FEMA FLOOD MAP #47157C0190G AND 47157C0301G DATED FEBRUARY 6, 2013. ZONE A IS LOCATED WITHIN THE GREENBELT AREA. FEMA FLOOD: 256

0 50 100 150 200

SCALE IN FEET: 1"=50'



PROFILE LEGEND

- EXISTING ELEVATION (N/W R.O.W.)
- EXISTING ELEVATION (CENTERLINE)
- EXISTING ELEVATION (S/E R.O.W.)
- PROPOSED GRADE LINE (PGL) TOP OF CURB BOTH SIDES UNLESS OTHERWISE NOTED

REVISIONS

ITEM NO.	DESCRIPTION OF CHANGE	DATE APPROVED

DAVID GEAN BRAY
REGISTERED ENGINEER
AGRICULTURE
No. 00110070
STATE OF TENNESSEE
8-26-2025

SHEET 1 OF 1

DEPARTMENT OF ENGINEERING

FARLEY VIEW LANE

FROM: COLUMBIA VIEW LN TO: STA 13+60.78

BARTLETT, TENNESSEE

SURVEY: OTHERS

DESIGN: TBF DATE: 7-2025 SCALE 1"=50' 1"=5' VERTICAL

REVIEWED

CITY ENGINEER DATE

SHEET 15 of 17

STELLING PLANNED DEVELOPMENT

DEVELOPER: GBI CONTRACTORS INC.

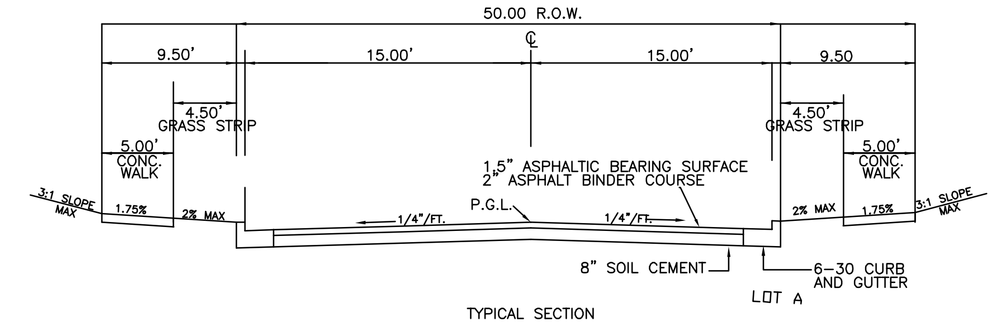
ENGINEER: THE BRAY FIRM

PUBLIC STORM DRAINAGE PIPE DATA

FROM #		TO #		DIA. in.	LENGTH ft.	SLOPE %	AREA ac.	Q25 cfs	Qc cfs	V25 f/s
36	258.38	34	257.75	24"	157	0.40	2.8	9.6	14.3	4.6
37	259.78	36	258.38	24"	350	0.40	2.8	9.6	14.3	4.6
38	261.42	37	260.28	18"	114	1.00	2.8	9.6	10.5	5.9
39	261.87	38	261.67	15"	20	1.00	1.2	4.2	6.4	5.3
40	261.87	38	261.67	15"	20	1.00	1.6	5.6	6.4	5.3

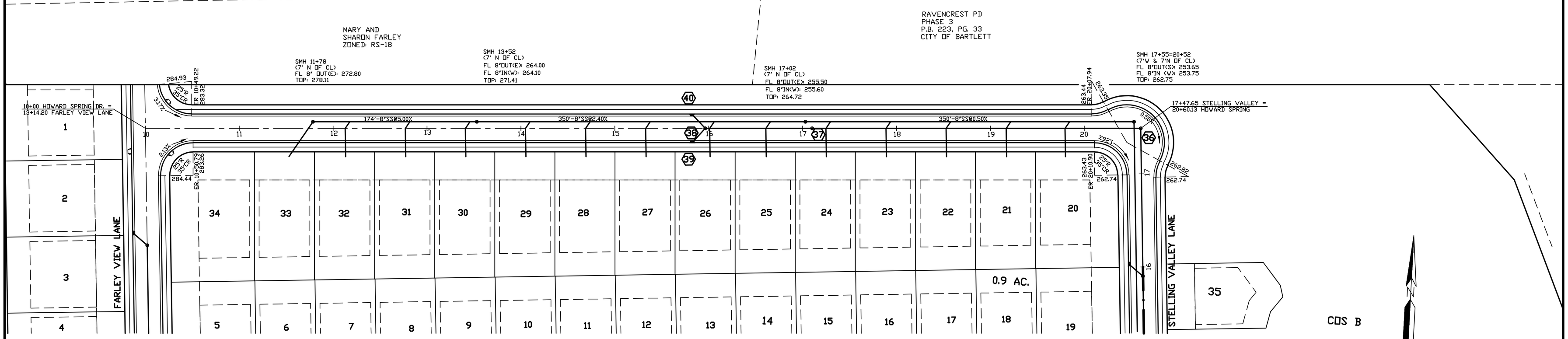
PUBLIC DRAINAGE STRUCTURE INFORMATION

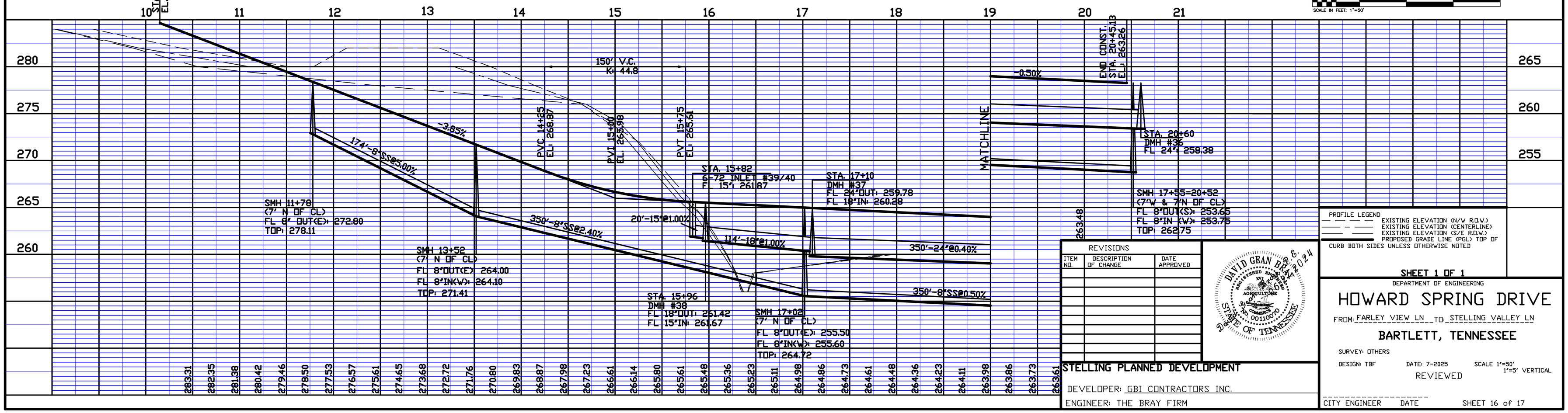
STRUCTURE #	TYPE	AREA a.c.	Q25 cfs	Qin cfs	ITEM	
36	DMH	N/A	N/A	N/A	24" IN/OUT	258.38
					TOP	263.00
37	DMH	N/A	N/A	N/A	24" OUT	259.78
					18" IN	260.78
					TOP	264.93
38	DMH	N/A	N/A	N/A	18" OUT	261.42
					15" IN	261.67
					TOP	265.50
39	6-72 INLET	1.2	4.2	4.2	15"	261.87
					TOP	265.57
40	6-72 INLET	1.6	5.6	5.6	15"	261.87
					TOP	265.57



TYPICAL SECTION
n.t.s.

11





PROFILE LEGEND
- EXISTING ELEVATION (N/W R.O.W.)
- EXISTING ELEVATION (CENTERLINE)
- EXISTING ELEVATION (S/E R.O.W.)
- PROPOSED GRADE LINE (PGL) TOP OF CURB BOTH SIDES UNLESS OTHERWISE NOTED

REVISIONS

ITEM NO.	DESCRIPTION OF CHANGE	DATE APPROVED

DAVID GEAN BRAY, P.E. REGISTERED ENGINEER AGRICULTURE COMMERCE 00110070 STATE OF TENNESSEE 7-24-2024

SHEET 1 OF 1

DEPARTMENT OF ENGINEERING

HOWARD SPRING DRIVE

FROM: FARLEY VIEW LN TO: STELLING VALLEY LN

BARTLETT, TENNESSEE

SURVEY: OTHERS

DESIGN: TBF DATE: 7-2025 SCALE 1"=50' 1"=5' VERTICAL

REVIEWED

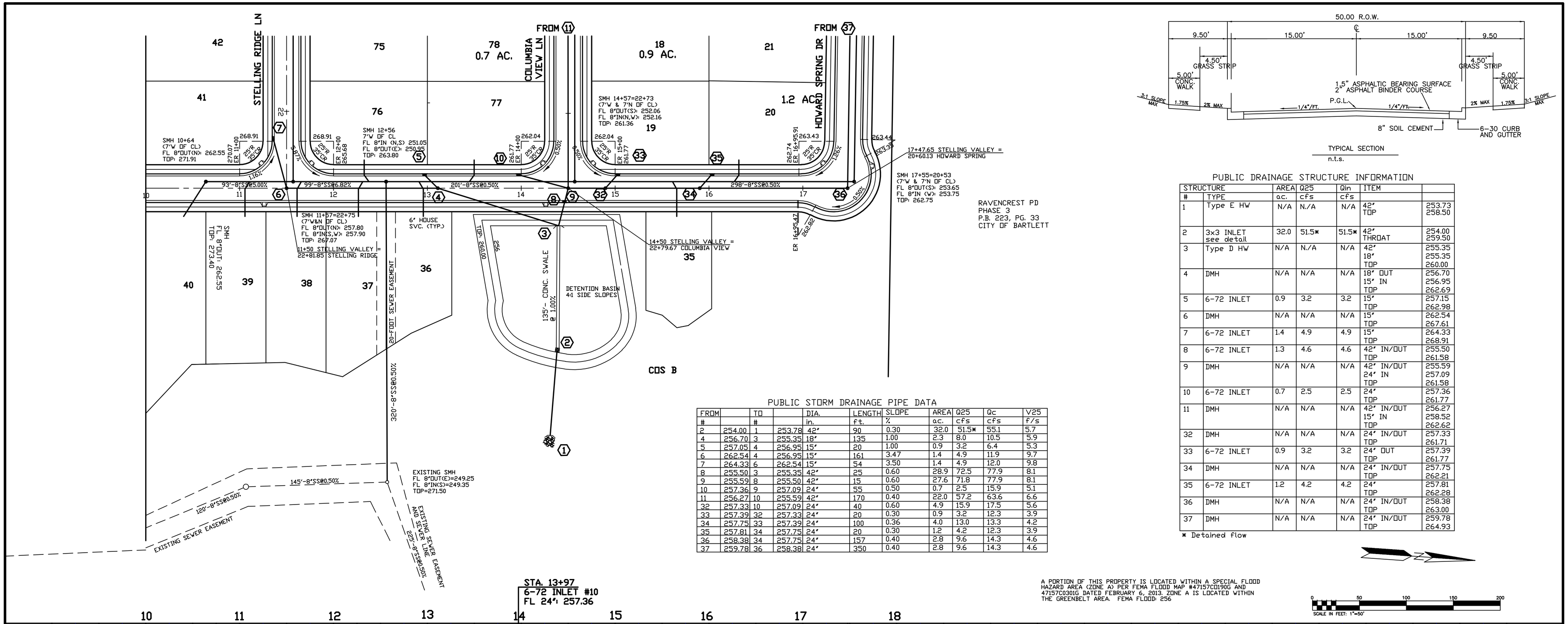
CITY ENGINEER DATE

SHEET 16 of 17

STELLING PLANNED DEVELOPER

DEVELOPER: GBI CONTRACTORS INC.

ENGINEER: THE BRAY FIRM



TYPICAL SECTION

n.t.s.

PUBLIC DRAINAGE STRUCTURE INFORMATION

STRUCTURE #	TYPE	AREA a.c.	Q25 cfs	Qin cfs	ITEM	
1	Type E HW	N/A	N/A	N/A	42' TOP	253.73 258.50
2	3x3 INLET see detail	32.0	51.5*	51.5*	42' THROAT	254.00 259.50
3	Type D HW	N/A	N/A	N/A	42' 18' TOP	255.35 255.35 260.00
4	DMH	N/A	N/A	N/A	18' OUT 15' IN TOP	256.70 256.95 262.69
5	6-72 INLET	0.9	3.2	3.2	15' TOP	257.15 262.98
6	DMH	N/A	N/A	N/A	15' TOP	262.54 267.61
7	6-72 INLET	1.4	4.9	4.9	15' TOP	264.33 268.91
8	6-72 INLET	1.3	4.6	4.6	42' IN/OUT TOP	255.50 261.58
9	DMH	N/A	N/A	N/A	42' IN/OUT 24' IN TOP	255.59 257.09 261.58
10	6-72 INLET	0.7	2.5	2.5	24' TOP	257.36 261.77
11	DMH	N/A	N/A	N/A	42' IN/OUT 15' IN TOP	256.27 258.52 262.62
32	DMH	N/A	N/A	N/A	24' IN/OUT TOP	257.33 261.71
33	6-72 INLET	0.9	3.2	3.2	24' OUT TOP	257.39 261.77
34	DMH	N/A	N/A	N/A	24' IN/OUT TOP	257.75 262.21
35	6-72 INLET	1.2	4.2	4.2	24' TOP	257.81 262.28
36	DMH	N/A	N/A	N/A	24' IN/OUT TOP	258.38 263.00
37	DMH	N/A	N/A	N/A	24' IN/OUT TOP	259.78 264.93

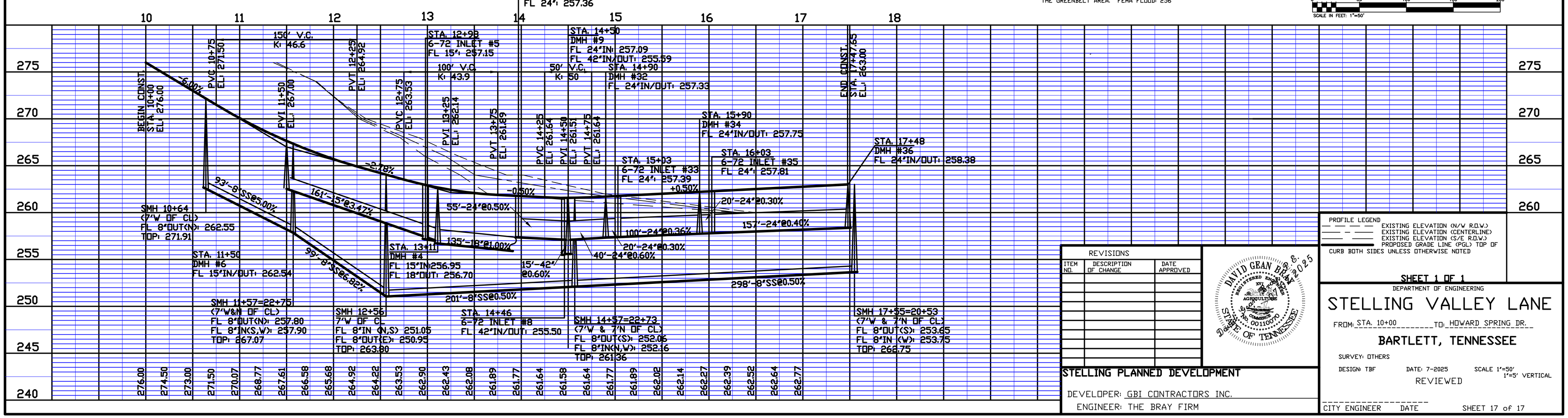
* Detained flow

PUBLIC STORM DRAINAGE PIPE DATA

FROM #		TO #		DIA. in.	LENGTH ft.	SLOPE %	AREA ac.	Q25 cfs	Qc cfs	V25 f/s
2	254.00	1	253.78	42"	90	0.30	32.0	51.5*	55.1	5.7
4	256.70	3	255.35	18"	135	1.00	2.3	8.0	10.5	5.9
5	257.05	4	256.95	15"	20	1.00	0.9	3.2	6.4	5.3
6	262.54	4	256.95	15"	161	3.47	1.4	4.9	11.9	9.7
7	264.33	6	262.54	15"	54	3.50	1.4	4.9	12.0	9.8
8	255.50	3	255.35	42"	25	0.60	28.9	72.5	77.9	8.1
9	255.59	8	255.50	42"	15	0.60	27.6	71.8	77.9	8.1
10	257.36	9	257.09	24"	55	0.50	0.7	2.5	15.9	5.1
11	256.27	10	255.59	42"	170	0.40	22.0	57.2	63.6	6.6
32	257.33	10	257.09	24"	40	0.60	4.9	15.9	17.5	5.6
33	257.39	32	257.33	24"	20	0.30	0.9	3.2	12.3	3.9
34	257.75	33	257.39	24"	100	0.36	4.0	13.0	13.3	4.2
35	257.81	34	257.75	24"	20	0.30	1.2	4.2	12.3	3.9
36	258.38	34	257.75	24"	157	0.40	2.8	9.6	14.3	4.6
37	259.78	36	258.38	24"	350	0.40	2.8	9.6	14.3	4.6

A PORTION OF THIS PROPERTY IS LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA (ZONE A) PER FEMA FLOOD MAP #47157C0190G AND 47157C0301G DATED FEBRUARY 6, 2013. ZONE A IS LOCATED WITHIN THE GREENBELT AREA. FEMA FLOOD: 256

SCALE IN FEET: 1"=50'



PROFILE LEGEND

EXISTING ELEVATION (N/W R.O.W.)
EXISTING ELEVATION (CENTERLINE)
EXISTING ELEVATION (S/E R.O.W.)
PROPOSED GRADE LINE (PGL) TOP OF CURB BOTH SIDES UNLESS OTHERWISE NOTED

SHEET 1 OF 1

REVISIONS

ITEM NO.	DESCRIPTION OF CHANGE	DATE APPROVED

DAVID GEAN BIRD
REGISTERED ENGINEER
AGRICULTURE
00110070
STATE OF TENNESSEE
8-8-2025

DEPARTMENT OF ENGINEERING

STELLING VALLEY LANE

FROM: STA. 10+00 TO: HOWARD SPRING DR.

BARTLETT, TENNESSEE

SURVEY: OTHERS

DESIGN: TBF DATE: 7-2025 SCALE 1"=50' 1"=5' VERTICAL

REVIEWED

CITY ENGINEER DATE SHEET 17 of 17

STELLING PLANNED DEVELOPMENT

DEVELOPER: GBI CONTRACTORS INC.

ENGINEER: THE BRAY FIRM

PC Construction Plan Application

Date: 07/07/2025

Project Information

Property Address:	0 Ellendale Road	Present Zoning:	RS-15
Project Name:		# of Lots:	10

Description: SFR

Applicant / Owner

Applicant Name:	Vernon Castleton	Owner Name:	Vernon Castleton
Company Name:		Company Name:	
Address:	5021 Misty River Road	Address:	5021 Misty River Road
City, State, Zip:	Bartlett, TN 38135	City, State, Zip:	Bartlett, TN 38135
Phone:	8015924072	Phone:	8015924072
Email:	vernoncastleton@gmail.com	Email:	vernoncastleton@gmail.com

Architect / Engineer

Architect Contact:		Architect Contact:	David Bray
Company Name:		Company Name:	The Bray Firm
Address:		Address:	2950 Stage Plaza North
City, State, Zip:		City, State, Zip:	Bartlett, TN 38134
Phone:		Phone:	9013838668
Email:		Email:	dgbray@comcast.net

I do hereby certify that the information contained herein is true and correct.

David Gean Bray	07/07/2025
Name	Date

Bartlett Planning and
Economic Development Department
6382 Stage Road, P.O. Box 341148
Bartlett, TN 38184-1148
901-385-6417 FAX 901-385-6419
www.cityofbartlett.org

Construction Plan Checklist

The applicant shall either indicate that the following items have been completed by a check (√) or that they are not applicable (n/a).
In addition to all the requirements of the Master Plan, the Construction Plan shall show

_____ Signature and Seal of Designer, a Professional Civil Engineer Registered in Tennessee

X * Grading Plan, existing & finished contours for the site and fifty (50) feet beyond property

X * Extent and elevation of land below the 100-year flood

X Detailed plan of sewer layouts

X Plan and profile sheets and engineering data for streets, storm drainage, controls for surface and ground water, water and sewer layouts

X Landscape plan and planting schedule as required

X Comprehensive drainage plan

X Construction traffic access plan

Certificates: (As applicable)

X Suitability of Soils for Septic Tanks

X Approval of Water and Sewerage Systems

X Accuracy of Engineering and Design

X Approval of Water and Sewer Lines

X Approval of Street and Drainage Improvements

X Quality of Construction

X Compliance with requirements of EPA

X Approval of Flood Administrator

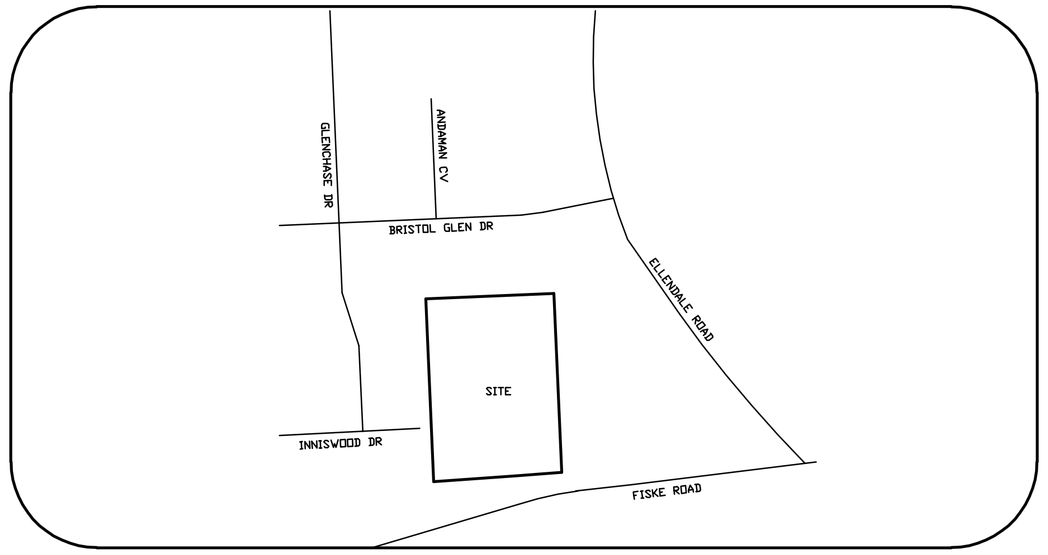
In addition to the Construction Plan drawings, the following shall be provided:

X One PDF file of the pictorial portion of the Construction Plan sheets indicated above by an asterisk (*), for display at the Planning Commission meeting.

Include a fee of $500.00 plus $20.00 per lot with this application (check payable to the City of Bartlett).
The fee is not refundable.

INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED

VICINITY MAP n.t.s.



CONSTRUCTION DRAWINGS

CASTLETON SUBDIVISION

BARTLETT, TENNESSEE

VERNON CASTLETON
DEVELOPER

THE BRAY FIRM
ENGINEER

SCHEDULE OF DRAWINGS

COVER PAGE	1
FINAL PLAT (2 SHEETS)	2
CONSTRUCTION NOTES	4
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SANITARY SEWER PLAN	8
GRADING AND DRAINAGE PLAN	9
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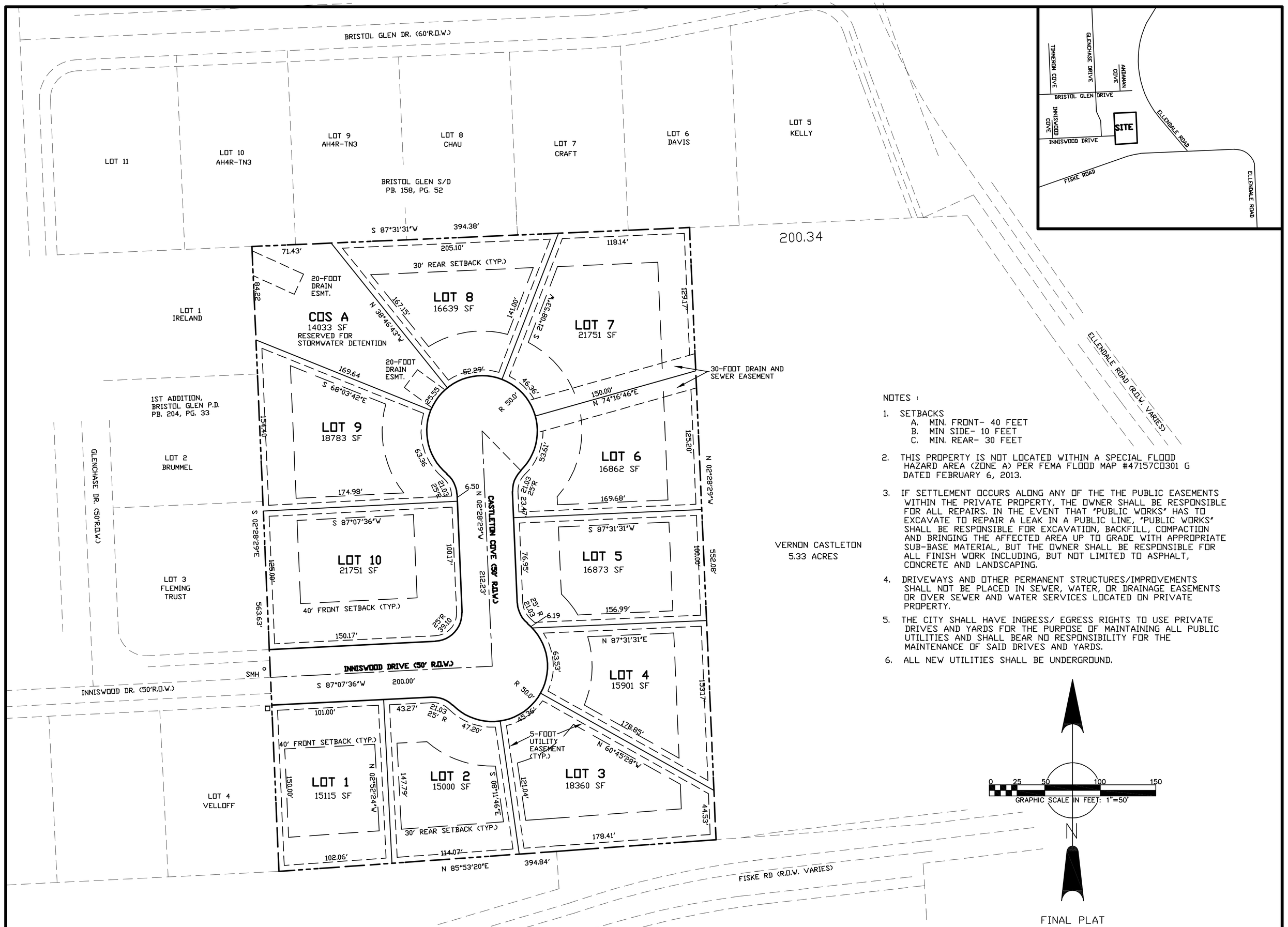
TREE PLAN	11
INNISWOOD DRIVE	12
CASTLETON COVE	13

GENERAL NOTES

CONSTRUCTION NOTES:

1. PROPERTY LINES SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. GRADING, CLEARING AND THE ERECTION OR REMOVAL OF FENCES ALONG PROPERTY LINES SHALL BE FULLY COORDINATED WITH ADJACENT PROPERTY OWNERS.
2. THE CONTRACTOR SHALL VERIFY ANY EXISTING DATA AND REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ENGINEER.
3. THE CONTRACTOR SHALL NOT ENTER UPON, WORK UPON NOR CAUSE DAMAGE TO ANY ADJACENT PROPERTIES WITHOUT PRIOR PERMISSION FROM SAID PROPERTY OWNER.
4. LOCATION OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE AND ARE NOT NECESSARILY ALL OF SAME, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE APPROPRIATE UTILITY COMPANY TO DETERMINE THE EXACT LOCATION OF ALL UTILITIES AND/OR UNDERGROUND STRUCTURES PRIOR TO THE INITIATION OF ANY CONSTRUCTION. CONTRACTOR SHALL ALSO ASSUME FULL RESPONSIBILITY FOR DAMAGE TO ANY EXISTING UTILITIES ENCOUNTERED WITHIN THE CONSTRUCTION PERIMETERS. FOR SITE LOCATION OF EXISTING UTILITIES INVOLVING M.L.G&W., SOUTH CENTRAL BELL, AND/OR TEXAS GAS COMPANY, PLEASE CALL 1-800-351-1111. FOR SEWER SERVICE LOCATIONS, CALL 385-6499.
5. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES.
6. TYPICAL SIDE SLOPES TO BE 1 FOOT VERTICAL TO 4 FEET HORIZONTAL.
7. ALL AREAS IN CUT OR FILL WHERE VEGETATION HAS BEEN REMOVED SHALL BE SEEDED, MULCHED, FERTILIZED, AND/OR SODDED AS REQUIRED TO PREVENT EROSION.
8. 24 HOURS PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE CITY OF BARTLETT ENGINEER'S OFFICE AT 385-6499.
9. ALL CONSTRUCTION MATERIALS & PROCEDURES SHALL MEET STANDARD CITY OF BARTLETT SPECIFICATIONS.
10. ALL FILL AND/OR TRENCH BACKFILL SHALL BE COMPACTED (IN 6 INCH LIFTS) TO 95% STANDARD PROCTOR WITHIN 3% OF OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D698-78 LATEST REVISION (STANDARD PROCTOR).
11. THE CONTRACTOR SHALL INSTALL AND MAINTAIN A SILT FENCE AT THE TOP OF ALL DITCH BANKS FOR THE WIDTH OF THE CONSTRUCTION LIMITS AND CONTINUOUSLY ALONG THE "STREAMSIDE" CONSTRUCTION LIMIT.
12. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN EROSION CONTROL DURING CONSTRUCTION BY THE PLACEMENT OF SILT FENCES WHERE NECESSARY TO PREVENT DOWNSTREAM SILTATION OF ANY DITCHES, PIPES, DRAINAGE STRUCTURES OR ADJACENT PROPERTIES. THE CONTRACTOR SHALL PROVIDE ANY ADDITIONAL EROSION CONTROL AS NEEDED OR AS DIRECTED BY THE ENGINEER.
13. CONTRACTOR SHALL PROVIDE ALL NECESSARY EROSION CONTROL METHODS AS PER THE CITY OF BARTLETT, SHELBY COUNTY, AND STATE OF TENNESSEE REGULATIONS.
14. ENGINEERS CERTIFICATE: THIS PROJECT HAS BEEN DESIGNED IN ACCORDANCE WITH THE CITY OF BARTLETT SUBDIVISION REGULATIONS AND SPECIFICATIONS.
15. LOT GRADING AND DRAINAGE:
    FINISH GRADE SHALL BE SLOPED AWAY FROM THE FOUNDATION FOR DRAINAGE. THE FINISH GRADE MUST BEGIN AT LEAST 10 INCHES BELOW THE TOP OF THE FOUNDATION WALL OR THE GRADE OF THE CONCRETE SLAB AND FOUNDATION. THE MINIMUM GRADE AWAY FROM THE FOUNDATION WALL SHALL BE AT LEAST 5 PERCENT IN ALL DIRECTIONS. THE DRIVEWAY SHALL BE SLOPED DOWN AT 2 PERCENT FOR AT LEAST 8 FEET FROM THE STRUCTURE.
16. THE CITY OF BARTLETT SHALL HAVE INGRESS/EGRESS RIGHT TO USE PRIVATE DRIVES AND YARDS FOR THE PURPOSE OF MAINTAINING ALL PUBLIC UTILITIES AND SHALL BEAR NO RESPONSIBILITY FOR THE MAINTENANCE OF SAID DRIVES AND YARDS.



NOTES :

1. SETBACKS
   A. MIN. FRONT- 40 FEET
   B. MIN SIDE- 10 FEET
   C. MIN. REAR- 30 FEET

2. THIS PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA (ZONE A) PER FEMA FLOOD MAP #47157C0301 G DATED FEBRUARY 6, 2013.

3. IF SETTLEMENT OCCURS ALONG ANY OF THE THE PUBLIC EASEMENTS WITHIN THE PRIVATE PROPERTY, THE OWNER SHALL BE RESPONSIBLE FOR ALL REPAIRS. IN THE EVENT THAT 'PUBLIC WORKS' HAS TO EXCAVATE TO REPAIR A LEAK IN A PUBLIC LINE, 'PUBLIC WORKS' SHALL BE RESPONSIBLE FOR EXCAVATION, BACKFILL, COMPACTION AND BRINGING THE AFFECTED AREA UP TO GRADE WITH APPROPRIATE SUB-BASE MATERIAL, BUT THE OWNER SHALL BE RESPONSIBLE FOR ALL FINISH WORK INCLUDING, BUT NOT LIMITED TO ASPHALT, CONCRETE AND LANDSCAPING.

4. DRIVEWAYS AND OTHER PERMANENT STRUCTURES/IMPROVEMENTS SHALL NOT BE PLACED IN SEWER, WATER, OR DRAINAGE EASEMENTS OR OVER SEWER AND WATER SERVICES LOCATED ON PRIVATE PROPERTY.

5. THE CITY SHALL HAVE INGRESS/ EGRESS RIGHTS TO USE PRIVATE DRIVES AND YARDS FOR THE PURPOSE OF MAINTAINING ALL PUBLIC UTILITIES AND SHALL BEAR NO RESPONSIBILITY FOR THE MAINTENANCE OF SAID DRIVES AND YARDS.

6. ALL NEW UTILITIES SHALL BE UNDERGROUND.

FINAL PLAT

CASTLETON SUBDIVISION
BARTLETT, TENNESSEE

VERNON CASTLETON
5021 MISTY RIVER ROAD
BARTLETT, TN 38135
APPLICANT

THE BRAY FIRM
2950 STAGE PLAZA NORTH
BARTLETT, TN 38134
901-383-8668
ENGINEER

DATE: JULY 2025 SCALE: 1"=50' LOTS: 10 5.05 ACRES ZONED: RS-15

CERTIFICATE OF ADEQUACY OF STORM DRAINAGE

I, DAVID GEAN BRAY, HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL CIVIL ENGINEER, AND THAT I HAVE DESIGNED ALL STORM WATER DRAINAGE FOR AUSTIN PLANNED DEVELOPMENT TO ASSURE THAT NEITHER SAID SUBDIVISION NOR ADJOINING PROPERTY WILL BE DAMAGED OR THE CHARACTER OF LAND USE BE AFFECTED BY THE VELOCITY AND VOLUME OF WATER ENTERING OR LEAVING SAME.

IN WITNESS WHEREOF, I, THE SAID PROFESSIONAL CIVIL ENGINEER HERETO SET OUT HAND AND AFFIX MY SEAL THIS _____ DAY OF JULY, 2025

PROFESSIONAL CIVIL ENGINEER _____ *David Gean Bray* P.E.
STATE OF TENNESSEE CERTIFICATE NO. 110070 07.02.2025

DAVID GEAN BRAY · STATE OF TENNESSEE · No. 110700 · AGRICULTURE · STATE OF TENNESSEE

CERTIFICATE OF SURVEY:

I, _____, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HAVE SURVEYED THE LANDS EMBRACED WITHIN THE PLAT DESIGNATED AS AUSTIN PLANNED DEVELOPMENT A SUBDIVISION ALL LYING WITHIN THE CORPORATE LIMITS OF THE CITY OF BARTLETT, TENNESSEE, THAT SAID PLAT IS A TRUE AND CORRECT PLAT OF THE LANDS EMBRACED THEREIN, SHOWING THE SUBDIVISION THEREOF IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF BARTLETT, TENNESSEE. I FURTHER CERTIFY THAT THE SURVEY OF THE LANDS EMBRACED WITHIN SAID PLAT HAS BEEN CORRECTLY MONUMENTED IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF BARTLETT, TENNESSEE.

IN WITNESS WHEREOF, I , THE SAID, TIMOTHY A. SULLIVAN, SURVEYOR, HEREUNTO SET OUT HAND AND AFFIX MY SEAL THIS 32nd DAY OF JUly 2025

LAND SURVEYOR
STATE OF TENNESSEE CERTIFICATE NO. 2160

BOARD OF MAYOR AND ALDERMAN CERTIFICATE;

I, _____, HEREBY CERTIFY THAT ALL REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED OR THAT A PERFORMANCE BOND OR OTHER COLLATERAL IN SUFFICIENT AMOUNT TO ASSURE COMPLETION OF ALL REQUIRED IMPROVEMENTS HAS BEEN POSTED FOR THE SUBDIVISION SHOWN ON THIS PLAT AND ARE HEREBY APPROVED BY THE CITY OF BARTLETT, TENNESSEE.

_____ _____
DATE MAYOR
CITY OF BARTLETT

PLANNING COMMISSION CERTIFICATE

I, _____, DO HEREBY CERTIFY THAT THE CITY OF BARTLETT PLANNING COMMISSION HAS APPROVED THIS PLAT OF SUBDIVISION FOR RECORDING.

_____ _____
DATE SECRETARY
BARTLETT PLANNING COMMISSION

OWNER'S CERTIFICATE:

I, VERNON CASTLETON, OWNER OF THE PROPERTY SHOWN HEREON, HEREBY ADOPT THIS PLAT AS MY PLAN OF SUBDIVISION, AND DEDICATE THE STREETS, RIGHTS-OF-WAYS, EASEMENTS, AND RIGHTS OF ACCESS AS SHOWN AND /OR DESCRIBED TO THE PUBLIC USE FOREVER, AND HEREBY CERTIFY THAT I AM THE OWNER IN FEE SIMPLE, DULY AUTHORIZED TO ACT AND THAT SAID PROPERTY IS UNENCUMBERED BY ANY TAXES WHICH HAVE BECOME DUE AND PAYABLE.

_____ _____
VERNON CASTLETON DATE

STATE OF TENNESSEE
COUNTY OF SHELBY

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC, IN AND FOR SAID STATE AND COUNTY AT MEMPHIS, DULY COMMISSIONED AND QUALIFIED, PERSONALLY APPEARED VERNON CASTLETON WITH WHOM I AM PERSONALLY ACQUAINTED AND WHO UPON OATH ACKNOWLEDGED THAT HE EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED AS HIS OWN FREE ACT AND DEED.

WITNESS MY HAND AND NOTARIAL SEAL, THIS _____DAY OF _____,2025.

MY COMMISSION EXPIRES_____

_____NOTARY PUBLIC

MORTGAGEE'S CERTIFICATE

WE, THE UNDERSIGNED, _____, MORTGAGEE OF THE PROPERTY SHOWN HEREON, HEREBY ADOPT THIS PLAT AS OUR PLAN OF SUBDIVISION AND DEDICATE THE STREETS, RIGHTS-OF-WAY, EASEMENTS, AND RIGHTS OF ACCESS AS SHOWN TO THE PUBLIC USE FOREVER, AND HEREBY CERTIFY THAT WE ARE THE MORTGAGEE DULY AUTHORIZED SO TO ACT AND THAT SAID PROPERTY IS UNENCUMBERED BY ANY TAXES WHICH HAVE BECOME DUE AND PAYABLE.

_____
NAME TITLE INSTITUTION DATE

STATE OF TENNESSEE
COUNTY OF SHELBY

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC, IN AND FOR SAID STATE AND COUNTY AT MEMPHIS, DULY COMMISSIONED AND QUALIFIED, PERSONALLY APPEARED_____ WITH WHOM I AM PERSONALLY ACQUAINTED AND WHO UPON OATH ACKNOWLEDGED HIMSELF TO BE _____ OF _____ _____ AND HE AS SUCH _____ EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSE THERIN CONTAINED BY SIGNING HIS NAME AS REPRESENTATIVE OF THE MORTGAGEE.

WITNESS MY HAND AND NOTARIAL SEAL, THIS _____DAY OF _____,2025.

MY COMMISSION EXPIRES_____

_____NOTARY PUBLIC

RESTRICTIVE COVENANTS AND SIMILAR DOCUMENTS ARE PRIVATE IN SCOPE AND NOT SUBJECT TO GOVERMENTAL APPROVAL AND ENFORCEMENT.

PROTECTIVE COVENANTS:

1. THESE COVENANTS ARE TO RUN WITH THE LAND AND SHALL BE BINDING ON ALL PARTIES AND ALL PERSONS CLAIMING UNDER THEM FOR A PEROID OF THIRTY YEARS FROM THE DATE THESE COVENANTS ARE RECORDED AFTER WHICH TIME SAID COVENANTS SHALL BE AUTOMATICALLY EXTENDED FOR SUCCESSIVE PEROIDS OF TEN YEARS UNLESS AN INSTRUMENT SIGNED BY A MAJORITY OF THE THEN OWNERS OF THE LOTS HAS BEEN RECORDED AGREEING TO CHANGE SAID COVENANTS IN WHOLE OR IN PART.

2. ENFORCEMENT SHALL BE BY ANY PROCEEDING AT LAW OR IN EQUITY AGAINST ANY PERSON OR PERSONS VIOLATING OR ATTEMPTING TO VIOLATE ANY COVENANT EITHER TO RESTRAIN VIOLATION OR TO RECOVER DAMAGES.

3. SEVERABILITY – INVALIDATION OF ANY ONE OF THESE COVENANTS BY OR COURT ORDER SHALL IN NO WAY AFFECT ANY OF THE PROVISIONS WHICH SHALL REMAIN IN FULL FORCE AND EFFECT.

4. LAND USE AND BUILDING TYPE – NO LOT SHALL BE USED EXCEPT FOR RESIDENTIAL PURPOSES. THE MINIMUM HEATED LIVING AREA OF ANY HOUSE SHALL BE 2000 SQUARE FEET EXCLUSIVE OF OPEN PORCHES AND ATTACHED GARAGE.

5. EASEMENTS – THERE ARE PERPETUAL EASEMENTS SHOWN HEREON RESERVED FOR UTILITY INSTALLATION AND MAINTENANCE FOR DRAINAGE INSTALLATION AND MAINTENANCE FOR SANITARY SEWER INSTALLATION AND MAINTENANCE.

6. BUILDING LOCATION – THE LOCATION OF ANY BUILDING CONSTRUCTED SHALL BE IN ACCORDANCE WITH CITY OF BARTLETT, TENNESSEE ZONING REGULATIONS, HOWEVER, IN NO CASE SHALL A BUILDING BE LOCATED NEARER THAN THE MINIMUM BUILDING SETBACK FROM ANY STREET IN THE SUBDIVISION. FOR THE PURPOSE OF THIS COVENANT EAVEA, STEPS AND OPEN PORCHES SHALL NOT BE CONSIDERED AS A PART OF THE BUILDING, PROVIDED, HOWEVER, THAT THIS PLAT SHALL NOT BE CONSTRUED TO PERMIT ANY PORTION OF A BUILDING ON A LOT TO ENCROACH UPON ANOTHER LOT.

7. NUISANCES – NO NOXIOUS OR OFFENSIVE ACTIVITY SHALL BE CARRIED ON UPON ANY LOT NOR SHALL ANYTHING BE DONE THEREON WHICH MAY BECOME AN ANNOYANCE OR NUISANCE TO THE NEIGHBORHOOD.

8. TEMPORARY STRUCTURE – NO STRUCTURE OF A TEMPORARY CHARACTER, TRAILER, BASEMENT, TENT, SHACK, GARAGE, BARN OR OTHER OUTBUILDING SHALL BE USED AN ANY LOT AT ANY TIME AS A RESIDENCE EITHER TEMPORARILY OR PERMANENTLY.

9. FENCING – NO FENCE OR WALL SHALL BE ERECTED, PLACED OR ALTERED ON ANY LOT NEARER TO ANY STREET THAN THE MINIMUM BUILDING SETBACK LINE. WOODEN FENCES EXCLUDING POST AND STRINGERS SHALL BE CONSTRUCTED OF WESTERN RED CEDAR.

10. A MINIMUN TWO (2) CAR ENCLOSED GARAGE IS REQUIRED FOR EVERY LOT.

11. ARCHITECTURAL CONTROL – NO BUILDING SHALL BE ERECTED, PLACED UPON ANY LOT OR ALTERED UNTIL THE DESIGN AND PLOT PLAN SHOWING THE LOCATION OF THE STRUCTURE AND THE EXTERNAL MATERIALS AND ELEVATIONS HAVE BEEN APPROVED IN WRITING BY VERNON CASTLETON OR BY REPRESENTATIVE APPOINTED BY VERNON CASTLETON. IN THE EVENT THAT VERNON CASTLETON OR THEIR REPRESENTATIVE FAILS TO APPROVE OR DISAPROVE SUCH PLANS AS TO DESIGN AND LOCATION WITHIN A PERIOD OF THIRTY (30) DAYS AFTER SUBMISSION OF PLANS AND SPECIFICATION TO THEM OR TO IT, THEN SUCH APPROVAL WILL NOT BE REQUIRED.

12. A HOMEOWNERS ASSOCIATION SHALL BE REQUIRED AND ALL LOT OWNERS SHALL BE MEMBERS OF THE HOA. HOA SHALL BE SOLELY RESPONSIBLE FOR COS A.

FINAL PLAT
SHEET 2 OF 2

CASTLETON SUBDIVISION
BARTLETT, TENNESSEE

VERNON CASTLETON
5021 MISTY RIVER ROAD
BARTLETT, TN 38135
DEVELOPER

THE BRAY FIRM
2950 STAGE PLAZA NORTH
BARTLETT, TN 38134
901-383-8668
ENGINEER

DATE: JULY 2025 SCALE: NONE LOTS: 10 5.05 ACRES ZONED: RS-15

CONSTRUCTION NOTES:

1. PROPERTY LINES SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. GRADING, CLEARING AND THE ERECTION OR REMOVAL OF FENCES ALONG PROPERTY LINES SHALL BE FULLY COORDINATED WITH ADJACENT PROPERTY OWNERS.
2. THE CONTRACTOR SHALL VERIFY ANY EXISTING DATA AND REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ENGINEER.
3. THE CONTRACTOR SHALL NOT ENTER UPON, WORK UPON NOR CAUSE DAMAGE TO ANY ADJACENT PROPERTIES WITHOUT PRIOR PERMISSION FROM SAID PROPERTY OWNER.
4. LOCATION OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE AND ARE NOT NECESSARILY ALL OF SAME, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE APPROPRIATE UTILITY COMPANY TO DETERMINE THE EXACT LOCATION OF ALL UTILITIES AND/OR UNDERGROUND STRUCTURES PRIOR TO THE INITIATION OF ANY CONSTRUCTION. CONTRACTOR SHALL ALSO ASSUME FULL RESPONSIBILITY FOR DAMAGE TO ANY EXISTING UTILITIES ENCOUNTERED WITHIN THE CONSTRUCTION PERIMETERS. FOR SITE LOCATION OF EXISTING UTILITIES INVOLVING M.L.G&W., SOUTH CENTRAL BELL, AND/OR TEXAS GAS COMPANY, PLEASE CALL 1-800-351-1111. FOR SEWER SERVICE LOCATIONS, CALL 385-6499.
5. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES.
6. TYPICAL SIDE SLOPES TO BE 1 FOOT VERTICAL TO 4 FEET HORIZONTAL.
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9. ALL CONSTRUCTION MATERIALS & PROCEDURES SHALL MEET STANDARD CITY OF BARTLETT SPECIFICATIONS.
10. ALL FILL AND/OR TRENCH BACKFILL SHALL BE COMPACTED (IN 6 INCH LIFTS) TO 95% STANDARD PROCTOR WITHIN 3% OF OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D698-78 LATEST REVISION (STANDARD PROCTOR).
11. THE CONTRACTOR SHALL INSTALL AND MAINTAIN A SILT FENCE PARALLELED WITH HAY BALES AT THE TOP OF ALL DITCH BANKS FOR THE WIDTH OF THE CONSTRUCTION LIMITS AND CONTINUOUSLY ALONG THE "STREAMSIDE" CONSTRUCTION LIMIT.
12. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN EROSION CONTROL DURING CONSTRUCTION BY THE PLACEMENT OF SILT FENCES AND HAY BALES WHERE NECESSARY TO PREVENT DOWNSTREAM SILTATION OF ANY DITCHES, PIPES, DRAINAGE STRUCTURES OR ADJACENT PROPERTIES. THE CONTRACTOR SHALL PROVIDE ANY ADDITIONAL EROSION CONTROL AS NEEDED OR AS DIRECTED BY THE ENGINEER.
13. CONTRACTOR SHALL PROVIDE ALL NECESSARY EROSION CONTROL METHODS AS PER THE CITY OF BARTLETT, SHELBY COUNTY, AND STATE OF TENNESSEE REGULATIONS.
14. ENGINEERS CERTIFICATE: THIS PROJECT HAS BEEN DESIGNED IN ACCORDANCE WITH THE CITY OF BARTLETT SUBDIVISION REGULATIONS AND SPECIFICATIONS.
15. LOT GRADING AND DRAINAGE:
    FINISH GRADE SHALL BE SLOPED AWAY FROM THE FOUNDATION FOR DRAINAGE. THE FINISH GRADE MUST BEGIN AT LEAST 10 INCHES BELOW THE TOP OF THE FOUNDATION WALL OR THE GRADE OF THE CONCRETE SLAB AND FOUNDATION. THE MINIMUM GRADE AWAY FROM THE FOUNDATION WALL SHALL BE AT LEAST 5 PERCENT IN ALL DIRECTIONS. THE DRIVEWAY SHALL BE SLOPED DOWN AT 2 PERCENT FOR AT LEAST 8 FEET FROM THE STRUCTURE.
16. THE CITY OF BARTLETT SHALL HAVE INGRESS/EGRESS RIGHT TO USE PRIVATE DRIVES AND YARDS FOR THE PURPOSE OF MAINTAINING ALL PUBLIC UTILITIES AND SHALL BEAR NO RESPONSIBILITY FOR THE MAINTENANCE OF SAID DRIVES AND YARDS.

SEWER NOTES

1. CONTRACTOR SHALL ENSURE UNINTERRUPTED SEWER SERVICE ON EXISTING SEWER AND SERVICE CONNECTIONS BY PROVIDING AMPLE TEMPORARY WASTEWATER PUMPING AND/OR BYPASSING.
2. ALL SEWER MANHOLE LIDS IN OPEN AREAS ARE TO BE CONSTRUCTED 1.5' ABOVE PROPOSED GRAD. IN BACKYARDS, MANHOLE LIDS ARE TO BE 2.0' ABOVE THE INITIAL GRADE, 0.5' ABOVE FINAL GRADE, OR A MINIMUM 1.5' ABOVE THE 100 YEAR FLOOD ELEVATION (ALT. SEALED COVER & VENT STACK).
3. SANITARY SEWER, INCLUDING SERVICE CONNECTION, WHICH HAS LESS THAN 1.5' CLEARANCE (OUTSIDE OF PIPES) WITH DRAINAGE OR IN FILL AREAS SHALL BE CLASS 50 DIP OR CONCRETE ENCASED , 10' BOTH SIDES OF CROSSING. ALL DUCTILE IRON PIPE SHALL BE POLYETHYLENE LINED OR SHALL BE TREATED WITH PROTECTO 401 OR APPROVED EQUIVALENT.
4. SERVICE CONNECTIONS SHALL BE FIELD LOCATED, AND CONTRACTOR SHALL ASSURE THAT ALL EXISTING SERVICE CONNECTIONS EXTENDING TO RIGHT-OF-WAY SHALL BE RECONNECTED TO NEW SEWER LINES.
5. ALL SEWER MANHOLES SHALL BE 4 FEET IN DIAMETER UNLESS OTHERWISE NOTED.
6. ALL SANITARY SEWER TO BE CONSTRUCTED AS PER CITY OF BARTLETT STANDARD CONSTRUCTION SPECIFICATIONS. ALL SANITARY SEWER SERVICE CONNECTIONS TO BE INSTALLED AS PER CITY OF BARTLETT DETAIL.
7. ALL 6 INCH AND 8 INCH SANITARY SEWER PIPE SHALL BE SDR-26 PVC UNLESS OTHERWISE NOTED.
8. THE CITY OF BARTLETT SHALL HAVE INGRESS/EGRESS RIGHTS TO USE PRIVATE DRIVES AND YARDS FOR THE PURPOSE OF MAINTAINING ALL PUBLIC UTILITIES AND SHALL BEAR NO RESPONSIBILITY FOR THE MAINTENANCE OF SAID PRIVATE DRIVES AND YARDS.
9. NO LARGE TREES, SHRUBS, PERMANENT STRUCTURES OR OTHER UTILITIES (EXCEPT FOR CROSSINGS) WILL BE ALLOWED WITHIN THE SANITARY SEWER EASEMENT.
10. DAMAGED OR BROKEN CURB SHALL BE REPAIRED CONSISTENT WITH THE CITY OF BARTLETT POLICY PRIOR TO RELEASE, ACCEPTANCE, OR BOND REDUCTION.
11. ALL FILL AND/OR TRENCH BACKFILL ARES SHALL BE COMPACTED IN 6" LIFTS TO 95% STANDARD PROCTOR WITHIN 3% OF OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D698-78 LATEST REVISION (STANDARD PROCTOR).

NOTE: THE TOP OF SANITARY SEWER MANHOLES LOCATED WITHIN THE STREET R.O.W. SHALL CONFORM TO THE FINAL GRADE OF THE STREET.

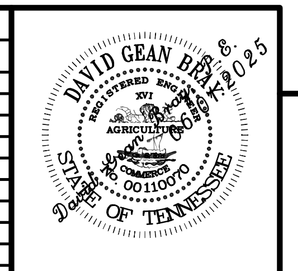
EROSION CONTROL NOTES

1. EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE AND FUNCTIONAL PRIOR TO COMMENCEMENT OF EARTH MOVING OPERATIONS.
2. ALL EROSION AND SEDIMENT CONTROL MEASURES MUST BE PROPERLY CONSTRUCTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
3. CHECK ALL EROSION AND SEDIMENT CONTROL MEASURES WEEKLY AND AFTER EACH RAINFALL. DAILY CHECKING IS REQUIRED DURING PROLONGED RAINFALL. MAINTAIN A PERMANENT LOG OF CHECKS AND MAINTENANCE MEASURES.
4. KEEP CONSTRUCTION DEBRIS FROM ENTERING STORM SEWERS.
5. PROMPTLY BACKFILL AND STABILIZE TRENCHES AND/OR PITS.
6. DESIGNATE A SPECIFIC INDIVIDUAL TO BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROLS AND TO KEEP THE PERMANENT LOG.
7. EROSION CONTROLS ARE NOT LIMITED TO THE SPECIFIED PRACTICES, HOWEVER, ALTERNATIVE MEASURES MUST BE AT LEAST AS EFFECTIVE IN CONTROLLING EROSION AND SEDIMENTATION.
8. RE-VEGETATION OF EXPOSED GROUND SHOULD BEGIN AS SOON AS CONSTRUCTION PERMITS.
9. INSTALL STAKED AND ENTRENCHED STRAW BALES AND/OR SILT FENCE ALONG THE BASE OF ALL BACKFILLS AND CUTS, ON THE DOWNHILL SIDE OF STOCKPILED SOIL, AND ALONG DITCH BANKS IN CLEARED AREAS TO PREVENT EROSION INTO DITCHES, DO NOT PLACE SILT FENCE IN FLOWING DITCH.

NOTE: THIS PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA PER FEMA FLOOD MAP #47157C301 G
DATED: FEBRUARY 6, 2013

REVISIONS

ITEM NO.	DESCRIPTION OF CHANGE	DATE APPROVED



CASTLETON SUBDIVISION

DEVELOPER: VERNON CASTLETON

ENGINEER: THE BRAY FIRM

DEPARTMENT OF ENGINEERING

CONSTRUCTION NOTES

BARTLETT, TENNESSEE

SURVEY: OTHERS

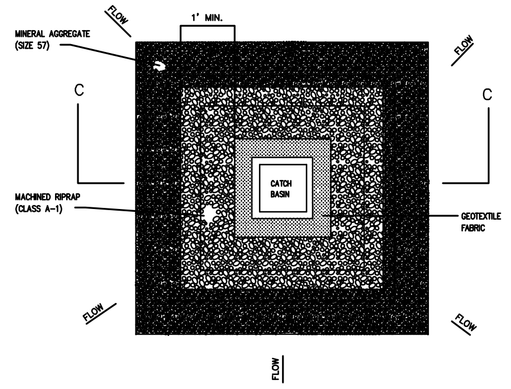
DESIGN: TBF DATE: 6-2025 SCALE: NONE

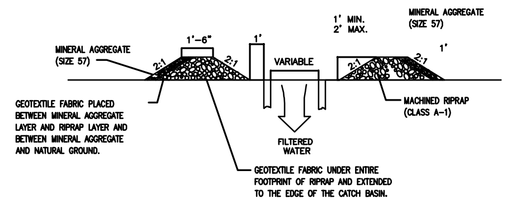
REVIEWED

CITY ENGINEER DATE

SHEET 4 OF 13

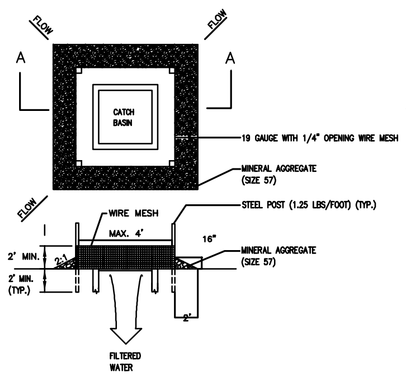
CATCH BASIN PROTECTION





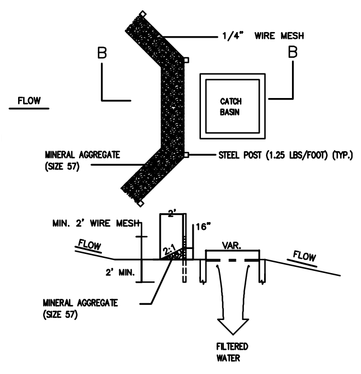
SECTION C-C

HARDWARE CLOTH AND GRAVEL INLET PROTECTION



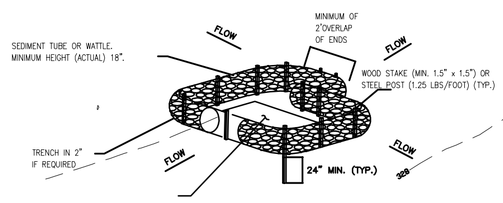
SECTION A-A

HARDWARE CLOTH AND GRAVEL INLET PROTECTION (FLOW FROM ONE SIDE)

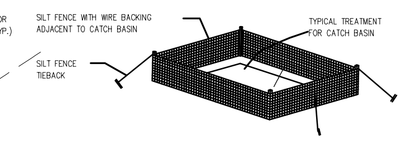


SECTION B-B

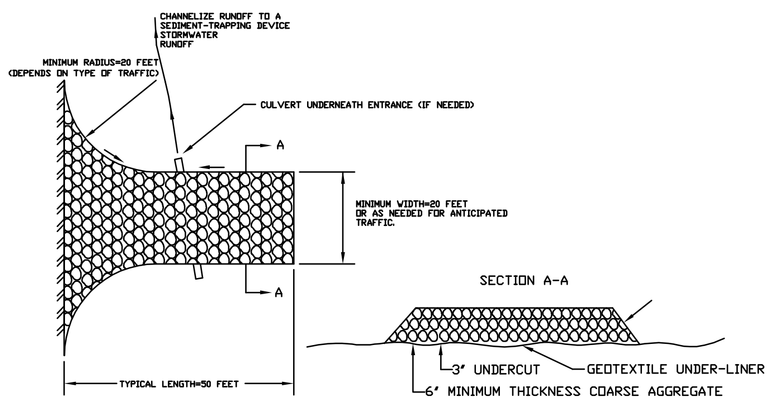
CATCH BASIN PROTECTION (TYPE D)

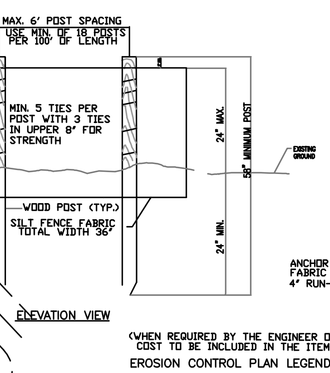


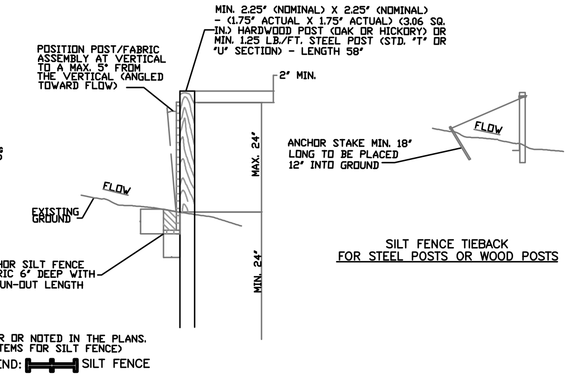
CATCH BASIN PROTECTION (TYPE E)



CONSTRUCTION EXIT







SILT FENCE TIEBACK FOR STEEL POSTS OR WOOD POSTS

(WHEN REQUIRED BY THE ENGINEER OR NOTED IN THE PLANS. COST TO BE INCLUDED IN THE ITEMS FOR SILT FENCE)

EROSION CONTROL PLAN LEGEND: SILT FENCE

SILT FENCE DETAIL

DISTURBED AREA: 3.5 ACRES

NOTE TO DEVELOPER AND CONTRACTOR:
1. STATE NPDES PERMITS ARE REQUIRED PRIOR TO LAND DISTURBANCE
2. IF FULL IMPLEMENTATION OF THIS PLAN DOES NOT PROVIDE EFFECTIVE SEDIMENT CONTROL AND EROSION PROTECTION, ADDITIONAL MEASURES MAY BE REQUIRED.

MEASURES SHOWN ON THIS SHEET TO BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION

THIS PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA PER FEMA FLOOD MAP #47157C301 G DATED: FEBRUARY 6, 2013

0 25 50 100 150

GRAPHIC SCALE IN FEET: 1"=50'

EROSION CONTROL NOTES:
1. EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE AND FUNCTIONAL PRIOR TO COMMENCEMENT OF EARTH MOVING OPERATIONS.
2. ALL EROSION AND SEDIMENT CONTROL MEASURES MUST BE PROPERLY CONSTRUCTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
3. CHECK ALL EROSION AND SEDIMENT CONTROL MEASURES PER TDEC TWICE WEEKLY AT LEAST 72 HOURS APART. DAILY CHECKING IS REQUIRED DURING PROLONGED RAINFALL. MAINTAIN A PERMANENT LOG OF CHECKS AND MAINTENANCE MEASURES.
4. KEEP CONSTRUCTION DEBRIS FROM ENTERING STORM SEWER.
5. PROMPTLY BACKFILL AND STABILIZE TRENCHES AND/OR PITS.
6. DESIGNATE A SPECIFIC INDIVIDUAL (MUST BE TDEC LEVEL 1 CERTIFIED) TO BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROLS AND TO KEEP THE PERMANENT LOG.
7. EROSION CONTROLS ARE NOT LIMITED TO THE SPECIFIED PRACTICES, HOWEVER, ALTERNATIVE MEASURES MUST BE AT LEAST AS EFFECTIVE IN CONTROLLING EROSION AND SEDIMENTATION.
8. RE-VEGETATION OF EXPOSED GROUND SHOULD BEGIN AS SOON AS CONSTRUCTION IS COMPLETED
9. INSTALL STAKED AND ENTRENCHED SILT FENCE ALONG THE BASE OF ALL BACKFILLS AND CUTS, ON THE DOWNHILL SIDE OF STOCKPILED SOIL, AND ALONG DITCH BANKS IN CLEARED AREAS TO PREVENT EROSION INTO DITCHES, DO NOT PLACE SILT FENCE IN FLOWING DITCH.

REVISIONS

ITEM NO.	DESCRIPTION OF CHANGE	DATE APPROVED

DAVID GEAN BRAY
REGISTERED ENGINEER
No. 111007
AGRICULTURE
STATE OF TENNESSEE
Date: 6/13/2025

CASTLETON SUBDIVISION

DEVELOPER: VERNON CASTLETON
ENGINEER: THE BRAY FIRM

DIVISION OF ENGINEERING

EROSION CONTROL PLAN PHASE 1

BARTLETT, TENNESSEE

SURVEY: OTHERS

DESIGN: TBF DATE: 6-2025 SCALE 1"=50'

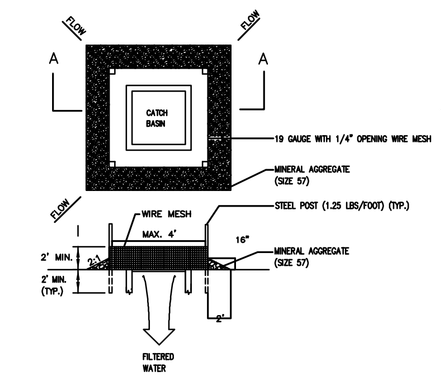
REVIEWED

CITY ENGINEER DATE

SHEET 5 of 13

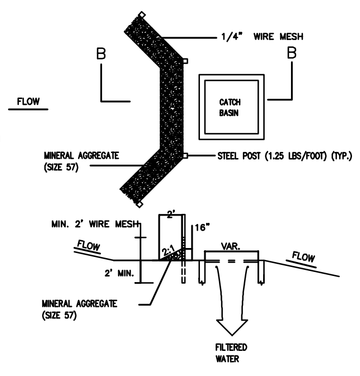
CATCH BASIN PROTECTION

HARDWARE CLOTH AND GRAVEL INLET PROTECTION



SECTION A–A

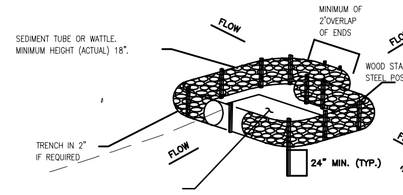
HARDWARE CLOTH AND GRAVEL INLET PROTECTION (FLOW FROM ONE SIDE)



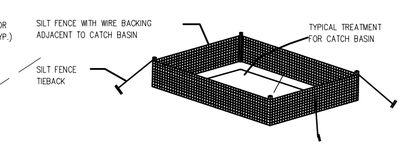
SECTION B–B

SECTION C–C

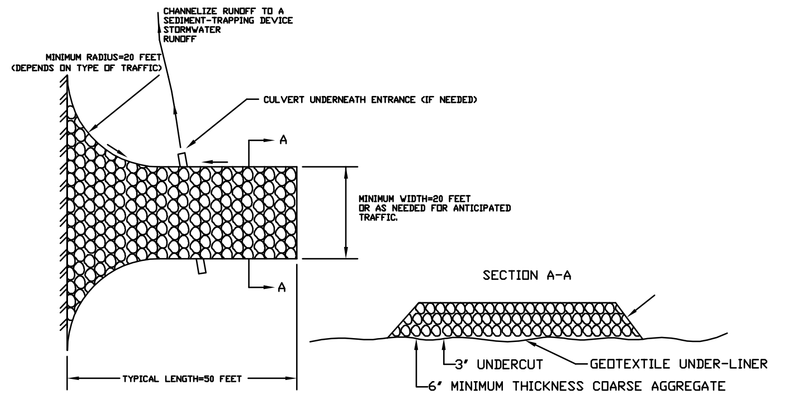
CATCH BASIN PROTECTION (TYPE D)

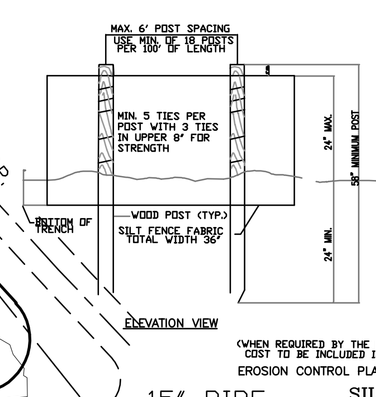


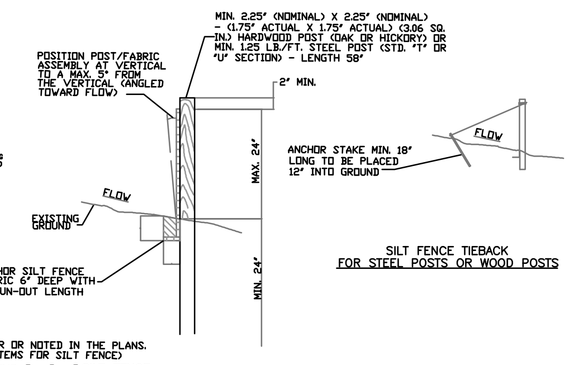
CATCH BASIN PROTECTION (TYPE E)



CONSTRUCTION EXIT







SILT FENCE TIEBACK
FOR STEEL POSTS OR WOOD POSTS

(WHEN REQUIRED BY THE ENGINEER OR NOTED IN THE PLANS. COST TO BE INCLUDED IN THE ITEMS FOR SILT FENCE)
EROSION CONTROL PLAN LEGEND: SILT FENCE

SILT FENCE DETAIL

DISTURBED AREA: 3.5 ACRES
NOTE TO DEVELOPER AND CONTRACTOR:
1. STATE NPDES PERMITS ARE REQUIRED PRIOR TO LAND DISTURBANCE
2. IF FULL IMPLEMENTATION OF THIS PLAN DOES NOT PROVIDE EFFECTIVE SEDIMENT CONTROL AND EROSION PROTECTION, ADDITIONAL MEASURES MAY BE REQUIRED.

THIS PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA PER FEMA FLOOD MAP #47157C301 G
DATED: FEBRUARY 6, 2013

0 25 50 100 150
GRAPHIC SCALE IN FEET: 1"=50'

EROSION CONTROL NOTES:
1. EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE AND FUNCTIONAL PRIOR TO COMMENCEMENT OF EARTH MOVING OPERATIONS.
2. ALL EROSION AND SEDIMENT CONTROL MEASURES MUST BE PROPERLY CONSTRUCTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
3. CHECK ALL EROSION AND SEDIMENT CONTROL MEASURES PER TDEC TWICE WEEKLY AT LEAST 72 HOURS APART. DAILY CHECKING IS REQUIRED DURING PROLONGED RAINFALL. MAINTAIN A PERMANENT LOG OF CHECKS AND MAINTENANCE MEASURES.
4. KEEP CONSTRUCTION DEBRIS FROM ENTERING STORM SEWER.
5. PROMPTLY BACKFILL AND STABILIZE TRENCHES AND/OR PITS.
6. DESIGNATE A SPECIFIC INDIVIDUAL (MUST BE TDEC LEVEL 1 CERTIFIED) TO BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROLS AND TO KEEP THE PERMANENT LOG.
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REVISIONS

ITEM NO.	DESCRIPTION OF CHANGE	DATE APPROVED

DAVID GEAN BRAY & DAVID M. GEAN REGISTERED ENGINEER No. 20110007 AGRICULTURE STATE OF TENNESSEE 6/30/2025

CASTLETON SUBDIVISION

DEVELOPER: VERNON CASTLETON
ENGINEER: THE BRAY FIRM

DIVISION OF ENGINEERING

EROSION CONTROL PLAN
PHASE 2

BARTLETT, TENNESSEE

SURVEY: OTHERS
DESIGN: TBF DATE: 6-2025 SCALE 1"=50'
REVIEWED

CITY ENGINEER DATE SHEET 6 of 13

HOME BUILDERS WILL BE REQUIRED TO GET PERMIT COVERAGE FOR EACH HOME UNDER CONSTRUCTION.

THIS PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA PER FEMA FLOOD MAP #47157C301 G DATED: FEBRUARY 6, 2013

0 25 50 100 150

GRAPHIC SCALE IN FEET: 1"=50'

REVISIONS

ITEM NO.	DESCRIPTION OF CHANGE	DATE APPROVED

DAVID GEAN BRAY
REGISTERED ENGINEER
AGRICULTURE
No. 0011007
STATE OF TENNESSEE
Date: 6-30-2025

CASTLETON SUBDIVISION

DEVELOPER: VERNON CASTLETON
ENGINEER: THE BRAY FIRM

DIVISION OF ENGINEERING

EROSION CONTROL PLAN PHASE 3

BARTLETT, TENNESSEE

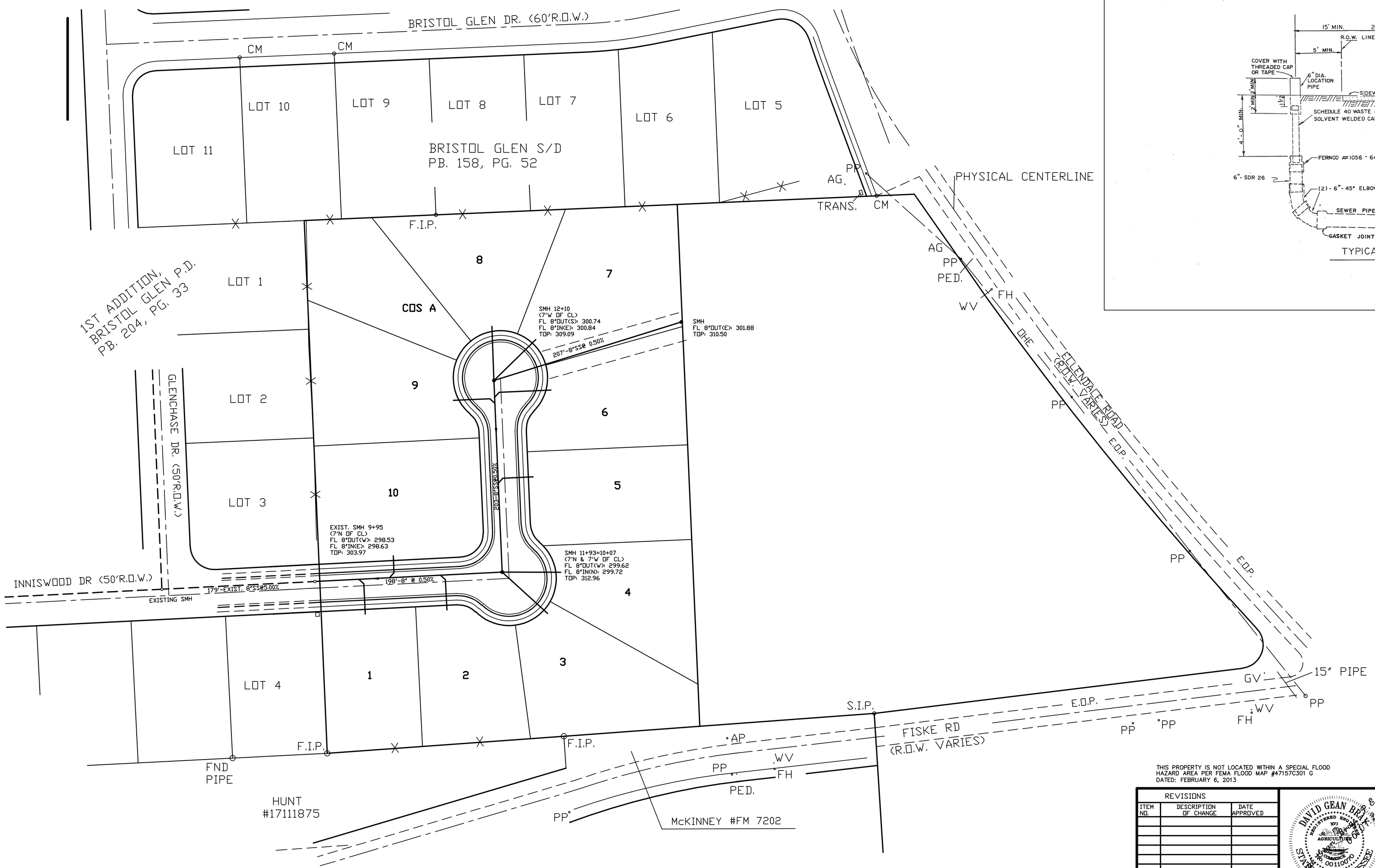
SURVEY: OTHERS

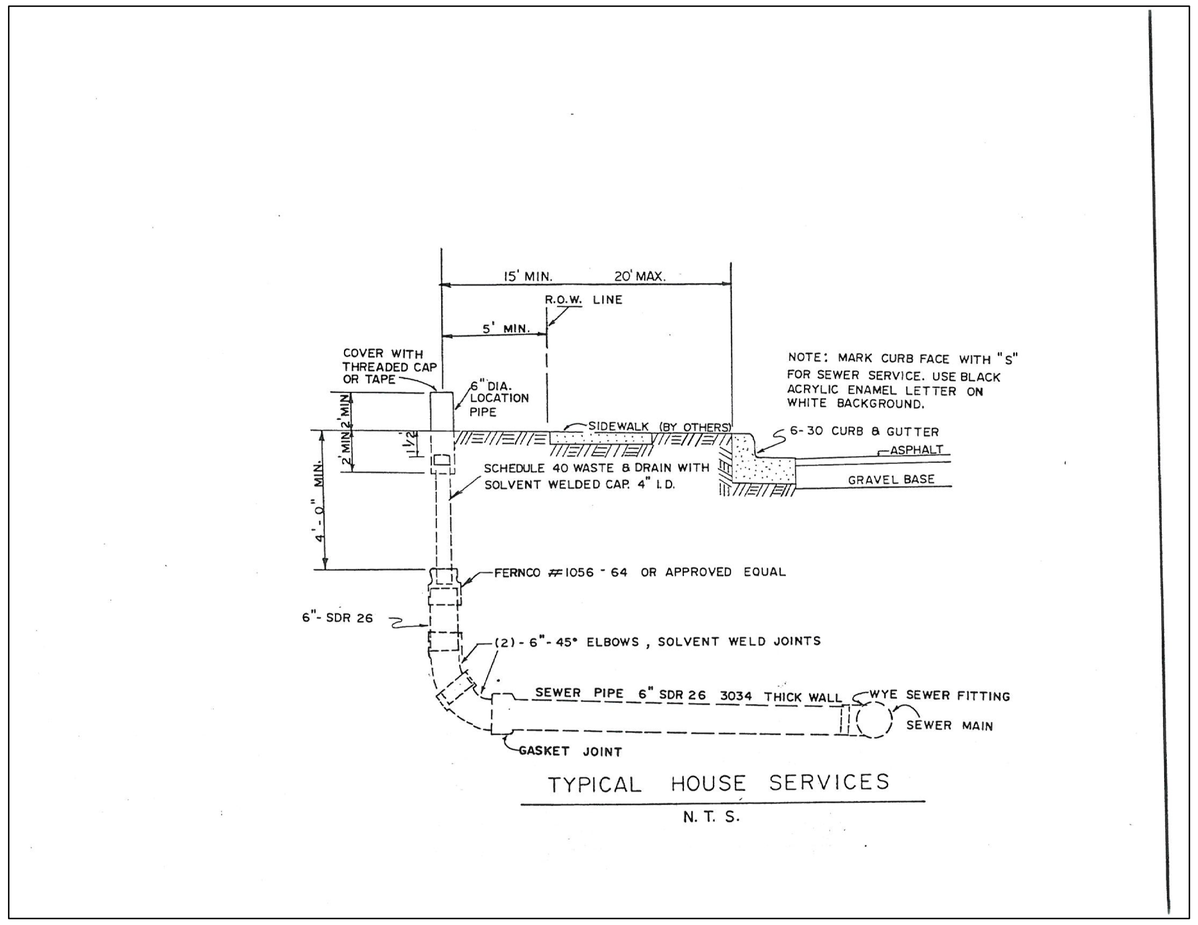
DESIGN: TBF DATE: 6-2025 SCALE 1"=50'

REVIEWED

CITY ENGINEER DATE

SHEET 8 of 13





TYPICAL HOUSE SERVICES

N. T. S.

THIS PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA PER FEMA FLOOD MAP #47157C301 G DATED: FEBRUARY 6, 2013

REVISIONS

ITEM NO.	DESCRIPTION OF CHANGE	DATE APPROVED

DAVID GEAN BRAY, P.E. REGISTERED ENGINEER 201 AGRICULTURE & ENVIRONMENTAL SCIENCES 001100PG STATE OF TENNESSEE Date: 6 SEPT 2025

0 25 50 100 150

GRAPHIC SCALE IN FEET: 1"=50'

CASTLETON SUBDIVISION

DEVELOPER: VERNON CASTLETON

ENGINEER: THE BRAY FIRM

DIVISION OF ENGINEERING

SANITARY SEWER PLAN

BARTLETT, TENNESSEE

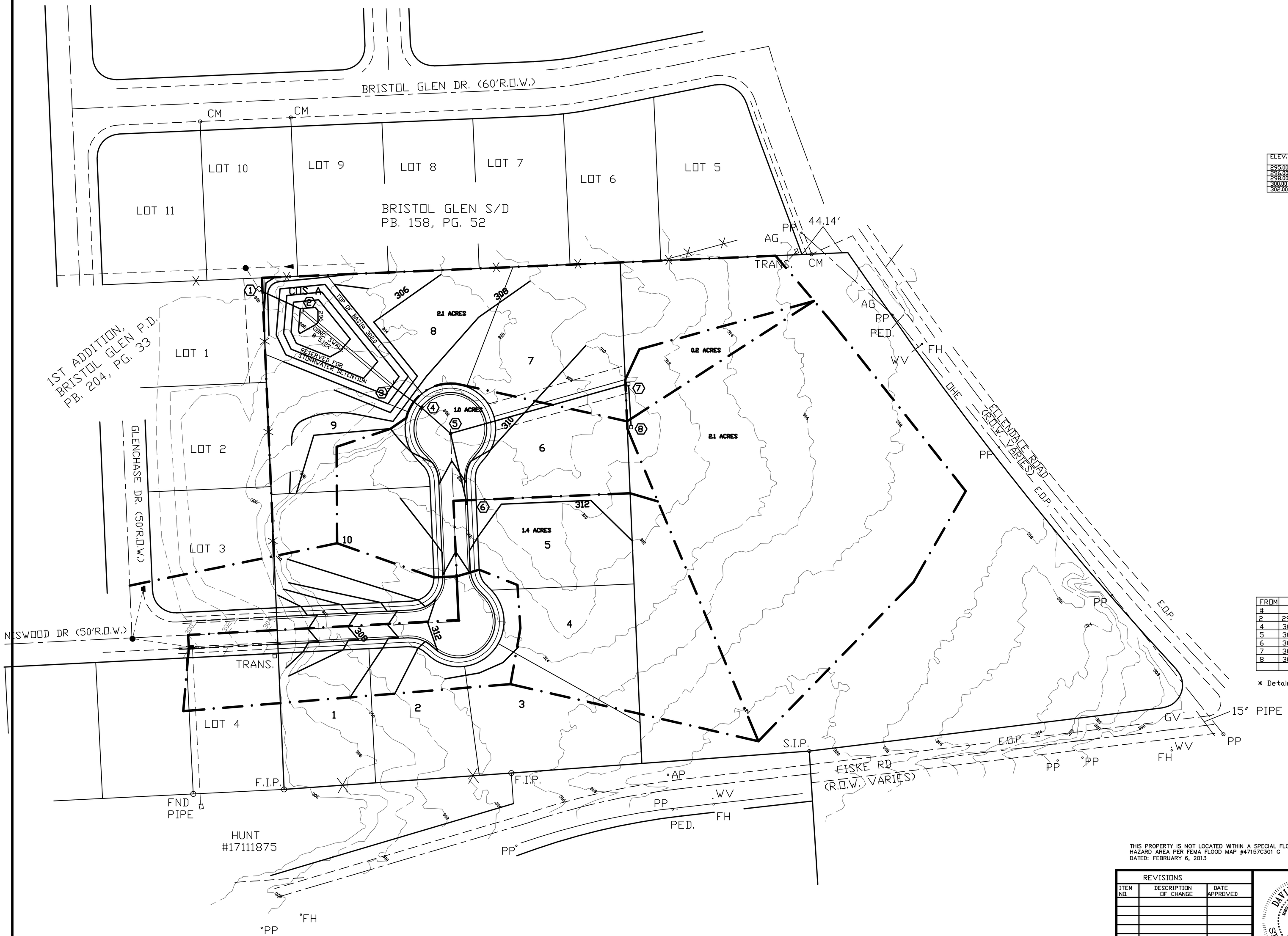
SURVEY: OTHERS

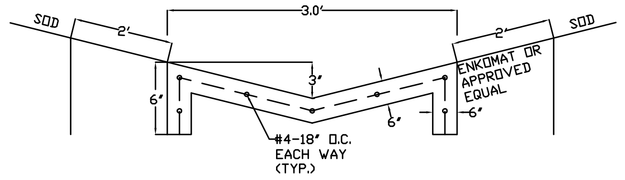
DESIGN: TBF DATE: 6-2025 SCALE 1"=50'

REVIEWED

CITY ENGINEER DATE

SHEET 8 of 13





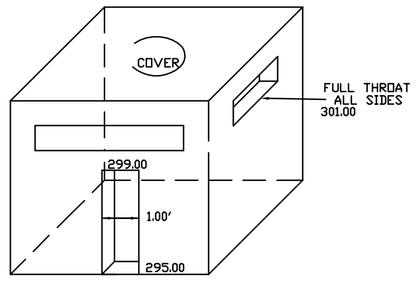
CONCRETE SWALE TO BE LOCATED IN DETENTION BASIN n.t.s.

ELEV.	STORAGE CUFT
295.00	0
296.00	769
298.00	5748
300.00	15129
302.00	29966

DETENTION BASIN SUMMARY - CDS A
DRAINAGE AREA: 6.8 AC.

Cpre=0.35 Tc=10 min Cpost=0.50 Tc=10 min

	ALLOWABLE	ACTUAL		
RETURN	FLOW	OUTFLOW	STORAGE	W.S.E.
YRS	CFS	CFS	CUFT	FT
2	11.7	11.4	4844	297.64
5	13.5	13.2	5550	297.95
10	14.7	14.2	6080	298.07
25	16.8	15.6	7034	298.27
100	19.9	18.3	8715	298.63



INLET CONTROL OPENING

PUBLIC DRAINAGE STRUCTURE INFORMATION

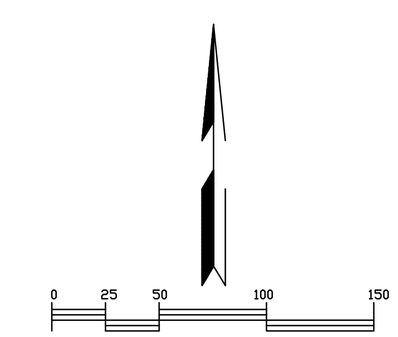
STRUCTURE		AREA	Q25	Qin	ITEM	
#	TYPE	ac.	cfs	cfs		
1	CONVERT EXIST. STRUCTURE TO 3070 INLET				24' IN THROAT	293.18 299.00
2	3x3 INLET see detail	6.8	15.6*	15.6*	24' THROAT	293.66 301.00
3	Type D HW	N/A	N/A	N/A	18' TOP	301.60 304.50
4	6-72 INLET	1.0	3.5	3.5	18' IN/OUT TOP	302.52 308.50
5	DMH	N/A	N/A	N/A	18' IN/OUT 15' IN TOP	303.51 303.76 309.40
6	6-72 INLET	1.4	4.9	4.9	15' TOP	304.54 310.94
7	3070 INLET	0.2	0.7	0.7	18' IN/OUT THROAT	305.12 308.00
8	3x3 INLET	2.1	7.4	7.4	18' OUT THROAT	305.52 308.00

* Detained flow

PUBLIC STORM DRAINAGE PIPE DATA

FROM		TO		DIA.	LENGTH	SLOPE	AREA	Q25	Qc	V25
#		#		in.	ft.	%	ac.	cfs	cfs	f/s
2	293.66	1	293.18	24'	48	1.00	6.8	15.6*	22.6	7.2
4	302.52	3	301.60	18'	40	2.30	4.7	15.3	15.9	9.0
5	303.51	4	302.52	18'	43	2.30	4.7	15.3	15.9	9.0
6	304.54	5	303.76	15'	78	1.00	1.4	4.9	6.4	5.3
7	305.12	5	303.51	18'	201	0.80	2.3	8.1	9.3	5.3
8	305.52	7	305.12	18'	50	0.80	2.1	7.4	9.3	5.3

* Detained flow



GRAPHIC SCALE IN FEET: 1"=50'

THIS PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA PER FEMA FLOOD MAP #47157C301 G DATED: FEBRUARY 6, 2013

REVISIONS

ITEM NO.	DESCRIPTION OF CHANGE	DATE APPROVED

DAVID GEAN BRAY
REGISTERED ENGINEER
AGRICULTURE
STATE OF TENNESSEE
Date: 06/30/2025

CASTLETON SUBDIVISION

DEVELOPER: VERNON CASTLETON
ENGINEER: THE BRAY FIRM

DIVISION OF ENGINEERING

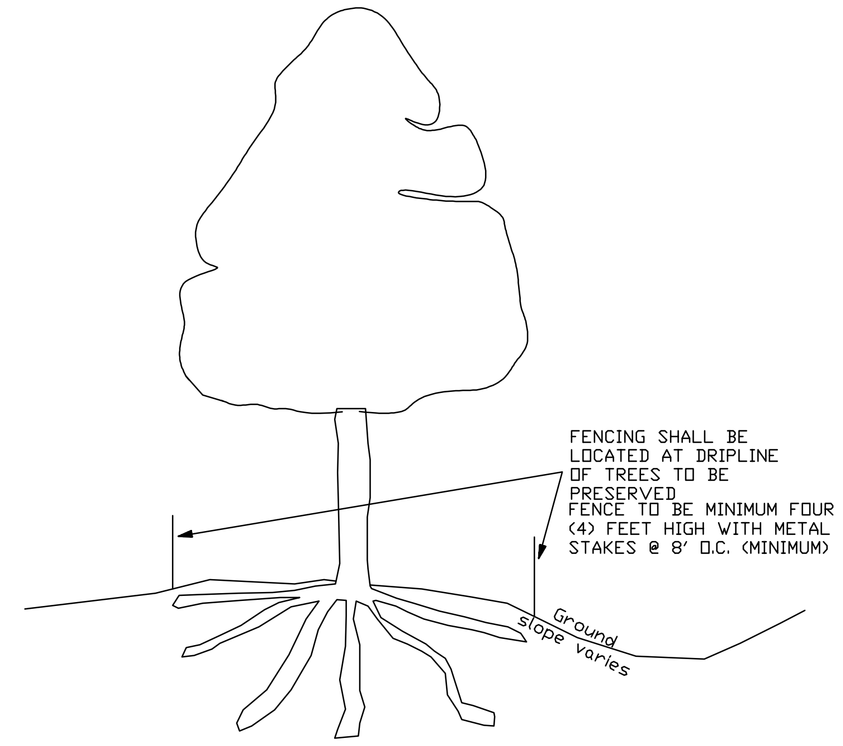
GRADING AND DRAINAGE PLAN

BARTLETT, TENNESSEE

SURVEY: OTHERS
DESIGN: TBF DATE: 6-2025 SCALE 1"=50'
REVIEWED

CITY ENGINEER DATE

SHEET 9 of 13



LOCATION OF ORANGE PROTECTIVE FENCING
n.t.s.

NOTES: NO CONSTRUCTION ACTIVITY OF ANY KIND MAY COMMENCE UNTIL PROTECTIVE FENCING HAS BEEN PLACED AROUND AREAS TO BE PRESERVED.

NO HEAVY EQUIPMENT SHALL BE ALLOWED WITH CONFINES OF PROTECTIVE FENCING (NO STAGING, PARKING STORAGE, DUMPING OR CLEANOUT SHALL BE ALLOWED WITHIN THE ROOT PROTECTION ZONES). ALL WORK WITHIN AREAS OF TREES TO BE PRESERVED SHALL BE DONE ONLY AFTER NOTICE HAS BEEN PROVIDED TO CITY OF BARTLETT CONSTRUCTION INSPECTION OFFICE.

TREE FENCING TO BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION

THIS PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA PER FEMA FLOOD MAP #47157C301 G DATED: FEBRUARY 6, 2013

0 25 50 100 150
GRAPHIC SCALE IN FEET: 1"=50'

REVISIONS		
ITEM NO.	DESCRIPTION OF CHANGE	DATE APPROVED

DAVID GEAN BRAY
REGISTERED ENGINEER
AGRICULTURE
No. 00110070
STATE OF TENNESSEE
Date: 6-26-2025

CASTLETON SUBDIVISION

DEVELOPER: VERNON CASTLETON
ENGINEER: THE BRAY FIRM

DIVISION OF ENGINEERING

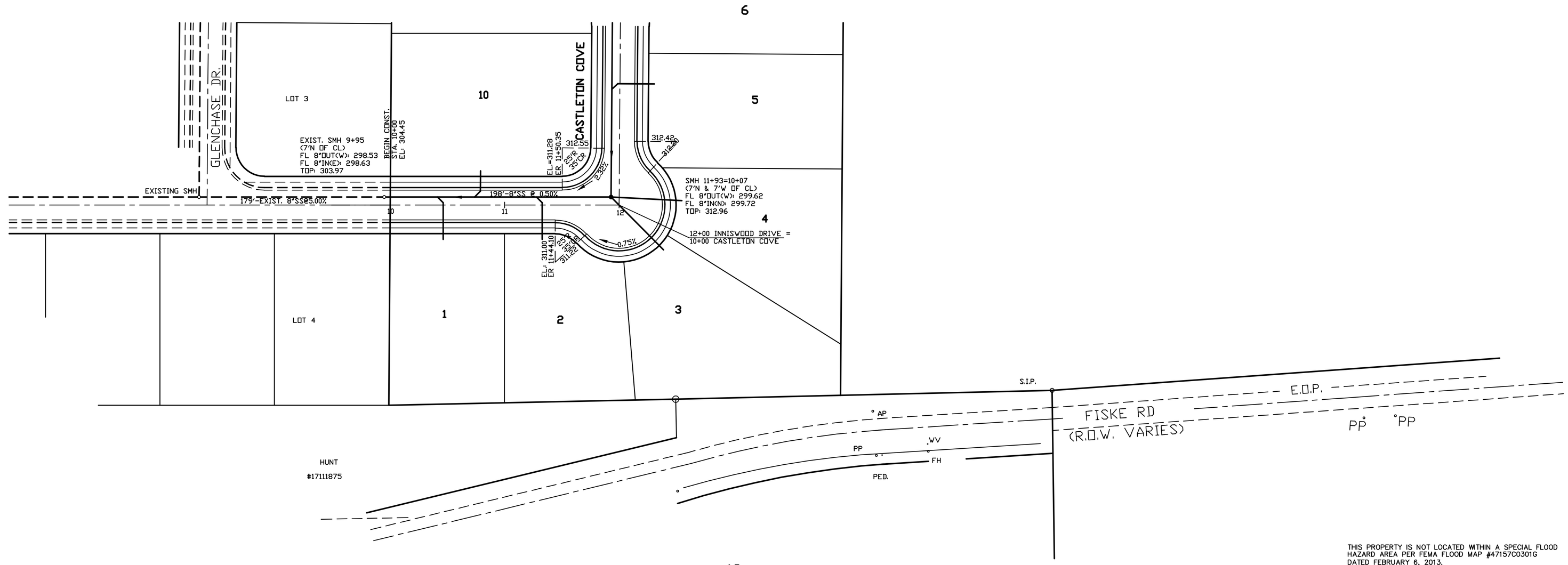
TREE PROTECTION PLAN

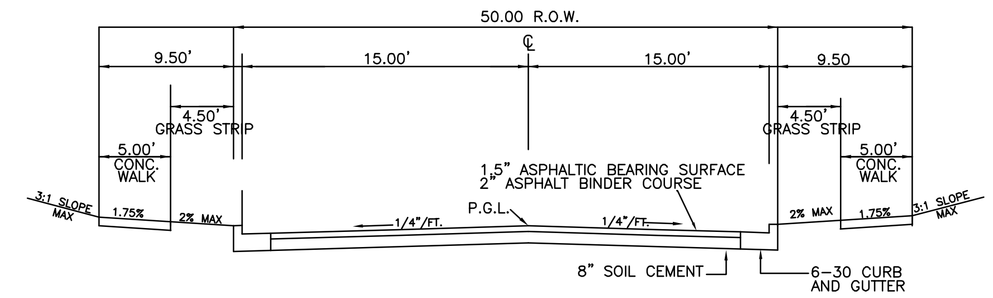
BARTLETT, TENNESSEE

SURVEY: OTHERS
DESIGN: TBF DATE: 6-2025 SCALE 1"=50'
REVIEWED

CITY ENGINEER DATE

SHEET 11 of 13



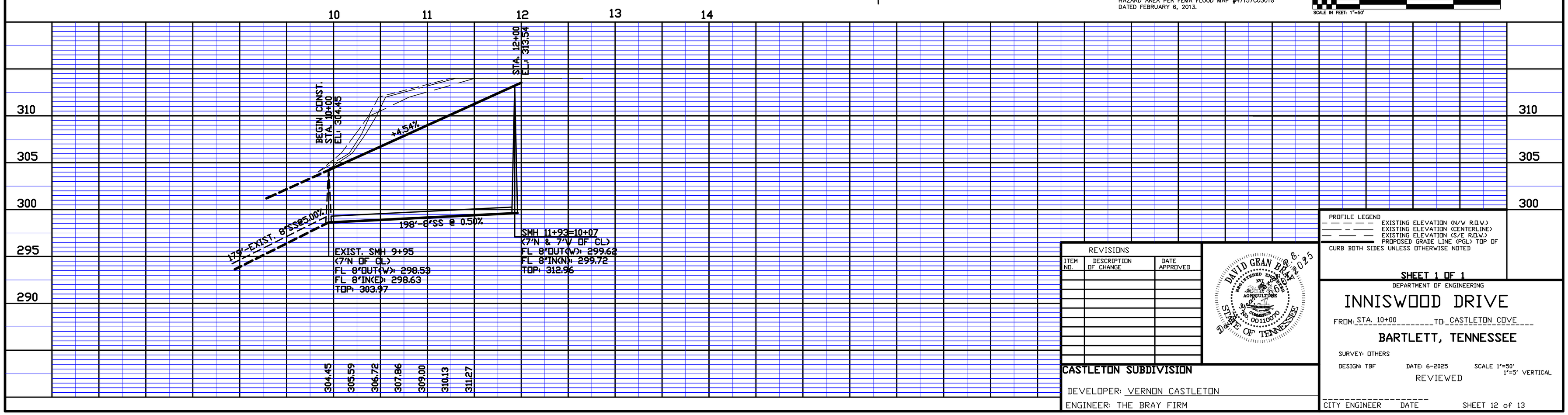


TYPICAL SECTION

n.t.s.

THIS PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA PER FEMA FLOOD MAP #47157C0301G DATED FEBRUARY 6, 2013.

SCALE IN FEET: 1"=50'



PROFILE LEGEND

- EXISTING ELEVATION (N/W R.O.W.)
- EXISTING ELEVATION (CENTERLINE)
- EXISTING ELEVATION (S/E R.O.W.)
- PROPOSED GRADE LINE (PGL) TOP OF CURB BOTH SIDES UNLESS OTHERWISE NOTED

SHEET 1 OF 1

REVISIONS

ITEM NO.	DESCRIPTION OF CHANGE	DATE APPROVED

DAVID GEAN BRAY JR. REGISTERED ENGINEER No. 112472 AGRICULTURE No. 0011070 STATE OF TENNESSEE 9/24/2025

DEPARTMENT OF ENGINEERING

INNISWOOD DRIVE

FROM: STA. 10+00 TO: CASTLETON COVE

BARTLETT, TENNESSEE

SURVEY: OTHERS

DESIGN: TBF DATE: 6-2025 SCALE 1"=50' 1"=5' VERTICAL

REVIEWED

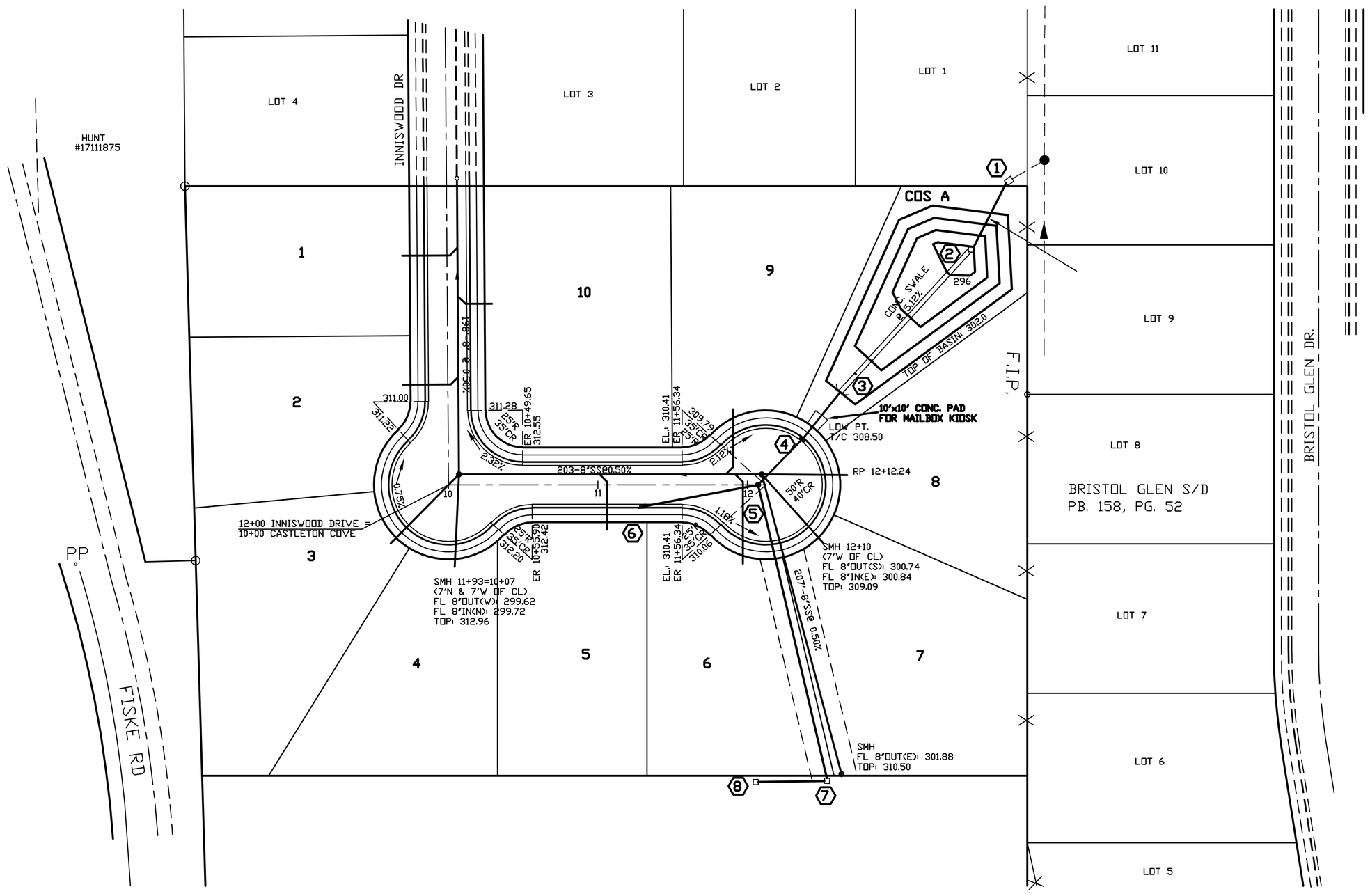
CITY ENGINEER DATE

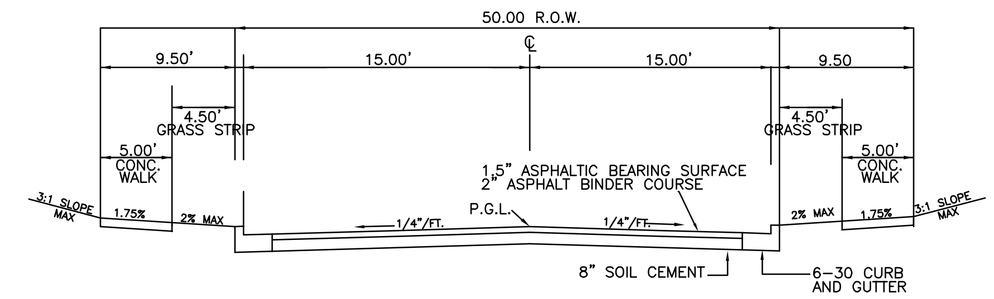
SHEET 12 of 13

CASTLETON SUBDIVISION

DEVELOPER: VERNON CASTLETON

ENGINEER: THE BRAY FIRM





TYPICAL SECTION
n.t.s.

PUBLIC DRAINAGE STRUCTURE INFORMATION

STRUCTURE #	TYPE	AREA ac.	Q25 cfs	Qin cfs	ITEM	
1	CONVERT EXIST. STRUCTURE TO 3070 INLET				24" IN THROAT	293.18 299.00
2	3x3 INLET see detail	6.8	15.6*	15.6*	24" THROAT	293.66 301.00
3	Type D HW	N/A	N./A	N/A	18" TOP	301.60 304.50
4	6-72 INLET	1.0	3.5	3.5	18" IN/OUT TOP	302.52 308.50
5	DMH	N/A	N/A	N/A	18" IN/OUT 15" IN TOP	303.51 303.76 309.40
6	6-72 INLET	1.4	4.9	4.9	15" TOP	304.54 310.94
7	3070 INLET	0.2	0.7	0.7	18" IN/OUT THROAT	305.12 308.00
8	3x3 INLET	2.1	7.4	7.4	18" OUT THROAT	305.52 308.00

* Detained flow

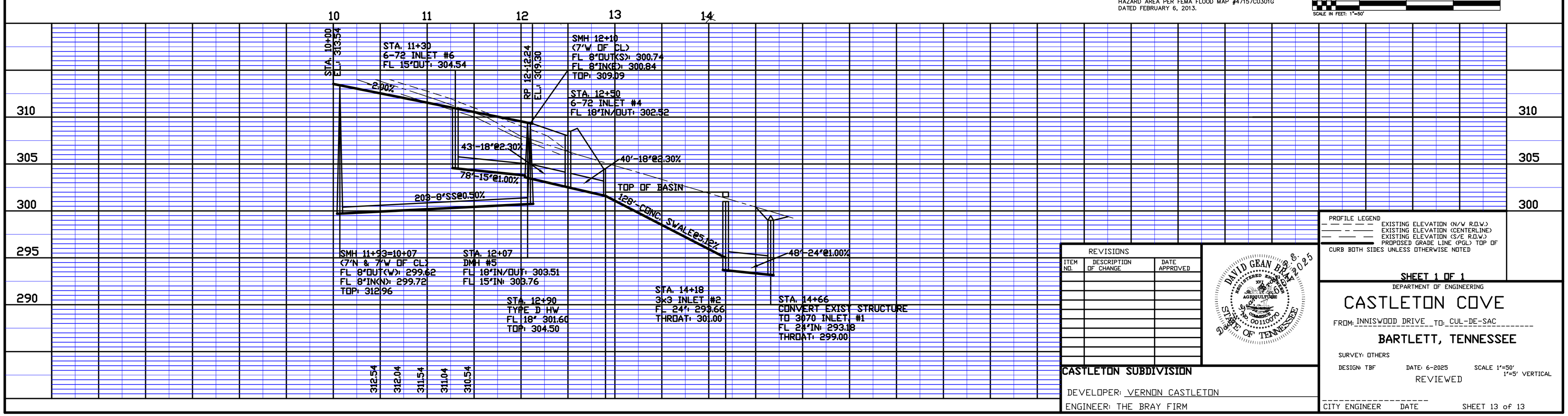
PUBLIC STORM DRAINAGE PIPE DATA

FROM #		TO #		DIA. in.	LENGTH ft.	SLOPE %	AREA ac.	Q25 cfs	Qc cfs	V25 f/s
2	293.66	1	293.18	24"	48	1.00	6.8	15.6*	22.6	7.2
4	302.52	3	301.60	18"	40	2.30	4.7	15.3	15.9	9.0
5	303.51	4	302.52	18"	43	2.30	4.7	15.3	15.9	9.0
6	304.54	5	303.76	15"	78	1.00	1.4	4.9	6.4	5.3
7	305.12	5	303.51	18"	201	0.80	2.3	8.1	9.3	5.3
8	305.52	7	305.12	18"	50	0.80	2.1	7.4	9.3	5.3

* Detained flow

THIS PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA PER FEMA FLOOD MAP #47157C0301G DATED FEBRUARY 6, 2013.

0 50 100 150 200
SCALE IN FEET: 1"=50'



PROFILE LEGEND
EXISTING ELEVATION (N/W R.O.W.)
EXISTING ELEVATION (CENTERLINE)
EXISTING ELEVATION (S/E R.O.W.)
PROPOSED GRADE LINE (PGL) TOP OF CURB BOTH SIDES UNLESS OTHERWISE NOTED

SHEET 1 OF 1

REVISIONS

ITEM NO.	DESCRIPTION OF CHANGE	DATE APPROVED

DAVID GEAN BRAY
REGISTERED ENGINEER
No. 00110070
AGRICULTURE
STATE OF TENNESSEE
DECEMBER 4, 2025

CASTLETON SUBDIVISION

DEVELOPER: VERNON CASTLETON

ENGINEER: THE BRAY FIRM

DEPARTMENT OF ENGINEERING

CASTLETON COVE

FROM: INNISWOOD DRIVE TO: CUL-DE-SAC

BARTLETT, TENNESSEE

SURVEY: OTHERS

DESIGN: TBF DATE: 6-2025 SCALE 1"=50' 1"=5' VERTICAL

REVIEWED

CITY ENGINEER DATE

SHEET 13 of 13

Bartlett Planning and Economic Development Department 6382 Stage Road, P.O. Box 341148 Bartlett, TN 38184-1148 901-385-6417 FAX 901-385-6419 www.cityofbartlett.org	**Bartlett Planning Commission** **Application for Site Plan Approval**

Project Name Panda Express - Store #D38584

Project Address 8030 U.S. Highway 64 / Bartlett, TN

Owner/Developer Contact Brian Kan Phone 626-799-9898 EXT. 8412

Company Name Panda Restaurant Group, Inc. Fax

Address 1683 Walnut Grove Avenue / Rosemead, CA 91770

Email Address brian.kan@pandarg.com

Architect Contact Virginia Hart Phone 918-587-8602

Company Name SGA Design Group Fax

Address 1437 South Boulder Suite 550 / Tulsa, OK 74119-3609

Email Address vhart@sgadesigngroup.com

Engineer Contact Eric Lord, P.E. (c.o. Justin Crable) Phone 586-786-9800 224-230-0551

Company Name Atwell, LLC Fax

Address 1250 E. Diehl Road Suite 300 / Naperville, IL 60563

Email Address elord@atwell.com

Submitted by Justin Crable (printed name) (signature) 07/07/2025 (date)

Email Address jcrable@atwell.com **Phone** 224.230.0551 **Fax** N/A

X Acknowledge (by initials in the blank to the left) that the "**Application Instructions: Planning Commission**" were obtained and read prior to submitting this application.

X The "**Site Plan Checklist**" has been completed and required all items have been provided. (See reverse page/or attached checklist)

X Provide ~~18 folded~~ 4 FOLDED (± 10"x13") sets of plans with a copy of the signed application attached to each set.

X Provide an electronic PDF file of the plans. Note that an updated electronic file is required when plans are revised. The electronic file shall be labeled with the project name and accurately dated.

X **Without Contract:** Include a fee of $400.00 with this application (check payable to the City of Bartlett).

____ **With Contract:** Include a fee of $500.00 with this application (check payable to the City of Bartlett).

The fee is non-refundable. Approval may be granted to the entire development for construction purposes, or approval may be granted by stages. Any unauthorized deviation from the approved Site Plan shall constitute a violation of the Building Permit. If the site is subject to the Subdivision process, all requirements of the Subdivision Ordinance must be met.

I, the property owner(s) hereby authorize the filing of this application.

Kaud Cet Steves Aquestiosta c. (print name) (signature) 7-3-25 (date)

Bartlett Planning and
Economic Development Department
6382 Stage Road, P.O. Box 341148
Bartlett, TN 38184-1148
901-385-6417 FAX 901-385-6419
www.cityofbartlett.org

Site Plan Checklist

The site plan package shall include the information below, with dimensions as necessary to show compliance with the Zoning Ordinance and to locate required features:

_X_ a. The proposed development's name and location, the name(s) and address(es) of the owner(s), and the name of the designer of the site plan.

_X_ b. A site location (vicinity) map.

_X_ c. Date, north point and *graphic* scale. Draw to scale on sheets **no larger than 24" x 36"**. Scale shall be no smaller than 1" = 100′ and large enough to show required detail clearly and distinctly. Use an engineer's scale. An architect's scale may be used for building elevations.

_X_ d. The locations of existing and platted property lines and any existing streets, buildings, easements, etc.

_X_ e. The locations and dimensions of proposed streets, buildings, easements, lot lines and other site plan features.

_X_ f. The proposed types of uses and their locations, height of buildings, arrangement, lot coverage, yards and open spaces.

_X_ g. A grading and drainage plan that has provisions for detention. Also, provide flood hazard details when applicable.

_X_ h. Floor area of proposed buildings or building additions (each floor, in square feet).

_X_ i. Proposed off-street parking with parking spaces shown and dimensioned.

_X_ j. Landscaping and screening plan, evidence of compliance with required landscaping.

N/A k. Table on the landscape plan showing compliance with the Tree Ordinance.

_X_ l. Other information as may be required by the Planning Commission.

N/A m. A tree survey by a certified arborist is required if there are trees larger than 6" in diameter on the site.

N/A n. A tree protection plan that is signed by a surveyor <u>and</u> arborist showing trees to be removed and saved is required.

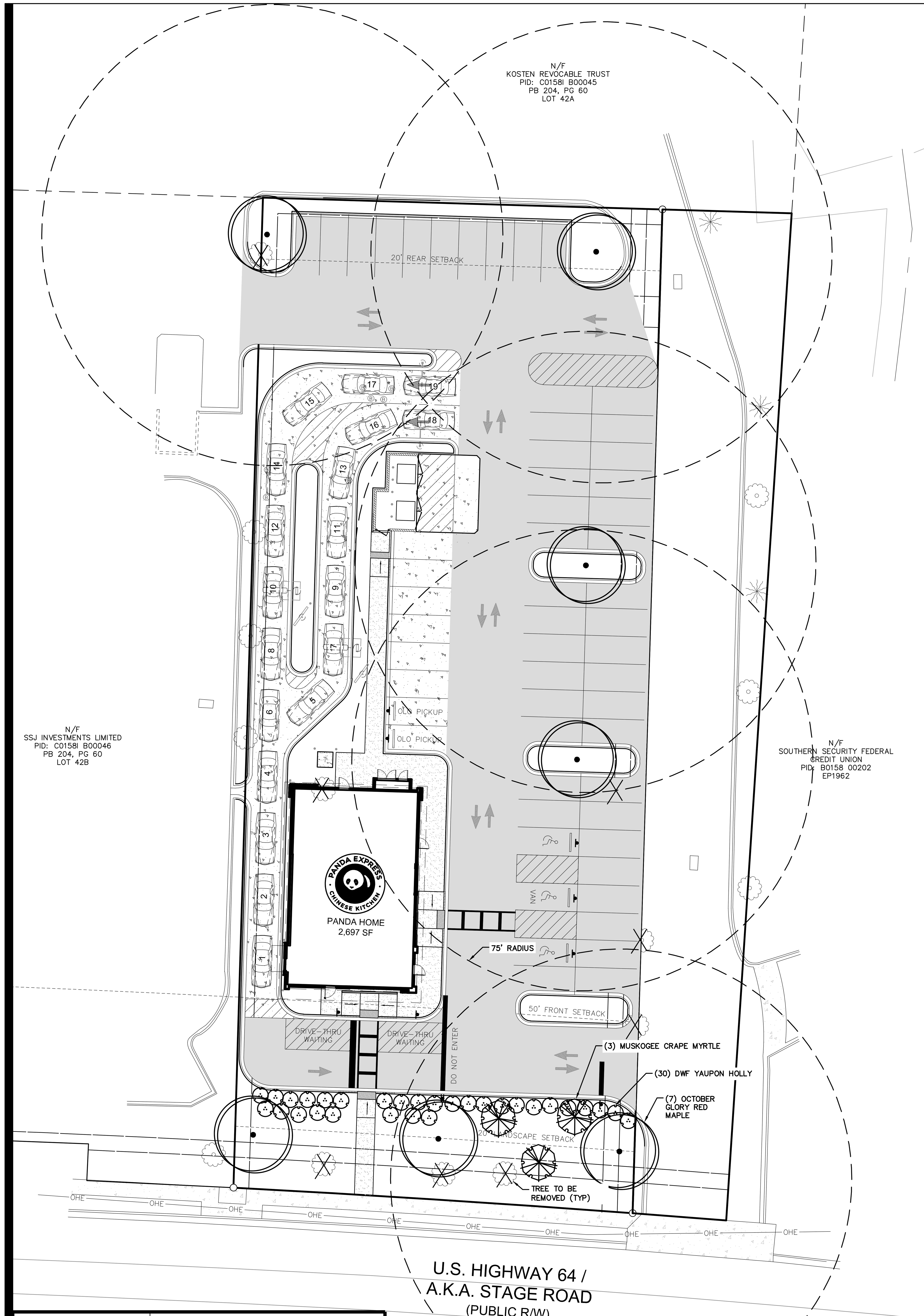
_X_ o. Erosion control plan.

_X_ p. Location of sewer and water services and water meter sizes.

_X_ q. The applicant must provide one PDF file of the pictorial portion of the site plan (and also one of any separate landscaping plan), for display at the Planning Commission meeting.

Plans shall be sealed, signed and dated by an engineer that is registered in the State of Tennessee.

INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED



811
Know what's **below.**
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:

CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR; NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

GENERAL

1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING ALL WORK AS SPECIFIED IN ACCORDANCE WITH THE PLANS AND AS LISTED IN THE GENERAL NOTES.
2. BEFORE BEGINNING ANY WORK, ALL UTILITIES AND UNDERGROUND CONSTRUCTION SHALL BE LOCATED BY THE LANDSCAPE CONTRACTOR SO THAT PROPER PRECAUTIONS MAY BE TAKEN NOT TO DISTURB OR DAMAGE ANY SUBSURFACE IMPROVEMENTS. WHERE PUBLIC UTILITIES ARE PRESENT, THE LANDSCAPE CONTRACTOR SHALL REQUEST ON-SITE LOCATIONS BY ALL UTILITY COMPANIES AND CONFIRM THAT SUCH LOCATIONS HAVE BEEN COMPLETED. THE LANDSCAPE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MAKING, AT HIS OWN EXPENSE, ALL REPAIRS TO DAMAGED UTILITIES RESULTING FROM WORK COVERED BY THIS CONTRACT.
3. ANY DAMAGE DONE BY THE LANDSCAPE CONTRACTOR TO ANY PAVING, BUILDINGS, CURB, OR WALKS SHALL BE REPAIRED OR REPLACED BY THE LANDSCAPE CONTRACTOR.
4. THE LANDSCAPE CONTRACTOR SHALL TAKE MEASURES TO PREVENT DUST, MUD, MARKS, ETC FROM SOILING AND DAMAGING IMPROVEMENTS. ANY DAMAGE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
5. THE LANDSCAPE CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE FROM ALL PARTS OF THE PROJECT.
6. ALL PROPOSED PLANT MATERIALS SHALL BE FREE FROM INJURY, PEST, DISEASE, OR ROOT DEFECTS AND SHALL MEET OR EXCEED STANDARDS SET FORTH IN THE CURRENT EDITION OF 'AMERICAN STANDARD FOR NURSERY STOCK'. THE LANDSCAPE ARCHITECT MAY REJECT PLANT MATERIAL OR INSTALLATION WHICH DOES NOT COMPLY WITH THE SPECIFICATIONS OF THIS DRAWING AT ANY TIME PRIOR TO FINAL ACCEPTANCE.
7. PLANTS SHALL BE WATERED PRIOR TO TRANSPORTATION AND SHALL BE KEPT MOIST UNTIL PLANTED. ALL PLANTS SHALL BE PROTECTED FROM DESICCATION DURING DELIVERY WITH A PROTECTIVE COVERING OR ENCLOSED TRUCK.
8. THE PLANT LIST IS FOR THE LANDSCAPE CONTRACTORS CONVENIENCE. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE COUNT FROM THE PLAN AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.
9. ALL LANDSCAPE AREAS WHERE ASPHALT OR CURBING HAS BEEN REMOVED AND ALL LANDSCAPE ISLANDS MUST HAVE CLEAN, FRIALBE TOPSOIL TO A TOTAL DEPTH OF TWO (2) FEET.
10. THE LANDSCAPE CONTRACTOR SHALL FURNISH ALL MATERIALS INCLUDING, BUT NOT LIMITED TO, TOPSOIL, MULCHES, LIMES, AND FERTILIZERS NECESSARY FOR THE HEALTHY GROWTH OF PLANT MATERIAL.
11. INSTALL TREES PLUMB. DO NOT DEPEND ON STAKING TO PULL PLANTS TO PLUMB POSITION. STAKING SHALL BE ON AN AS-NEEDED BASIS.
12. ALL MOWABLE LAWN AREAS SHALL BE SODDED WITH BERMUDA GRASS. ALL SLOPES 3:1 OR GREATER SHALL BE SEEDED AS NOTED ON PLAN.
13. MULCH ALL GROUND COVER AND PLANTING BEDS AND A 4'-0" DIAMETER BASE AROUND ALL FREE STANDING TREES WITH 4" MIN. FRESH PINE STRAW.
14. WHERE TREES ARE PLANTED CLOSER THAN 5 FEET FROM CURB OR SIDEWALK, EITHER CONCRETE OR HDPE (HIGH DENSITY POLYURETHANE PLASTIC) ROOT BARRIERS MUST BE INSTALLED. THESE ROOT BARRIERS MUST BE A MINIMUM OF 30 INCHES DEEP.
15. ALL TEMPORARY CONSTRUCTION ACTIVITIES WILL OCCUR IN PARKING LOT AREAS ON THE SITE.
16. SHRUB HEIGHTS SHALL BE MAINTAINED AT 2'-0" AND TREE CANOPIES SHALL BE ABOVE 6'-0" AT ALL PLANTING ISLANDS AND DRIVE OPENINGS WITHIN THE PARKING LOT AND INTERSECTING STREETS BY LANDSCAPE CONTRACTOR AND OWNER TO INSURE SAFE SIGHT DISTANCES.
17. ALL CONSTRUCTION DEBRIS IS TO BE ENTIRELY REMOVED FROM SITE BY THE LANDSCAPE CONTRACTOR.
18. THE LANDSCAPE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE MAINTENANCE, INCLUDING WATERING, WEEDING, PRUNING, MOWING OF LAWNS, AND RE-MULCHING OF THIS WORK UNTIL DATE OF FINAL ACCEPTANCE.

GRASSING

1. PREPARE AREAS TO BE GRASSED BY REFINED GRADING TO INSURE PROPER DRAINAGE AND DISCOURAGE EROSION.
2. ELIMINATE UNDESIRABLE GRASS AND WEED GROWTH IN AREAS TO BE GRASSED AND TAKE MEASURES AS NECESSARY TO PREVENT REGROWTH OF UNDESIRABLE PLANTS. SOIL SHALL BE TILLED OR LOOSENED TO 4" MIN. DEPTH, INCORPORATING FERTILIZER, LIME AND OTHER APPROPRIATE ADDITIVES AS INDICATED BY SOIL TEST INTO THE TOP 2" TO 3".

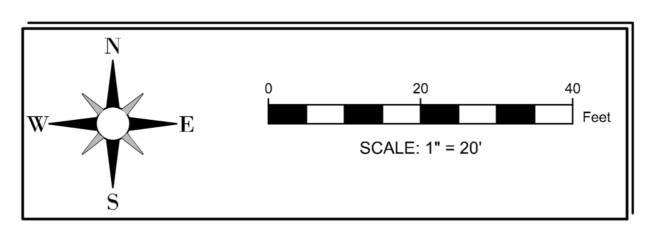
INSPECTION

1. THE OWNER'S REPRESENTATIVE SHALL INSPECT THE TOTAL WORK FOR ACCEPTANCE UPON REQUEST OF THE LANDSCAPE CONTRACTOR. ANY UNSATISFACTORY ITEMS SHALL BE NOTED AND MUST BE REMEDIED BY THE LANDSCAPE CONTRACTOR PRIOR TO ACCEPTANCE. UPON SATISFACTORY COMPLETION OF ALL WORK, THE OWNER'S REPRESENTATIVE SHALL CERTIFY IN WRITING ACCEPTANCE OF THE WORK. PAYMENT FOR CONTRACT WORK TO THE CONTRACTOR PURSUANT TO ISSUANCE OF ACCEPTANCE SHALL BE DEEMED THE FINAL PAYMENT FOR SAID WORK.

WARRANTY

1. ALL PLANT MATERIAL SHALL BE WARRANTEED BY THE LANDSCAPE CONTRACTOR FOR A PERIOD OF ONE YEAR FOLLOWING ACCEPTANCE. THE LANDSCAPE CONTRACTOR SHALL REPLACE, AT NO EXPENSE TO THE OWNER, UNHEALTHY PLANTS WITHIN 15 DAYS. THIS ASSUMES THAT THE OWNER HAS FOLLOWED THE APPROPRIATE MAINTENANCE PROCEDURES AND THAT NO SUCH REPLACEMENTS ARE NECESSITATED BY NEGLECT OR ABUSE BY OWNER, BY VANDALISM OR BY ACTS-OF-GOD DAMAGE.
2. REPLACEMENT SIZES SHALL BE COMPARABLE TO THOSE ATTAINED BY ADJACENT THRIVING PLANTS. ALL REPLACEMENT STOCK WILL BE SUBJECT TO THE SAME WARRANTY REQUIREMENTS AS THE ORIGINAL STOCK. REPLACEMENT WARRANTY BEGINS ON DAY OF INSTALLATION.
3. THE LANDSCAPE CONTRACTOR SHALL MAKE ALL NECESSARY REPAIRS TO GRADES, VEGETATIVE COVER AND PAVING REQUIRED BECAUSE OF PLANT REPLACEMENTS. SUCH REPAIRS SHALL BE DONE AT NO EXTRA COST TO THE OWNER.

	QTY	COMMON NAME	BOTANICAL NAME	SIZE/UNIT	SIZE/UNIT	COMMENTS
	7	OCTOBER GLORY RED MAPLE	ACER RUBRUM ' OCTOBER GLORY'	2.5"	17.5	B&B, 14-16' HT.
	3	MUSKOGEE CRAPE MYRTLE	LAGERSTROEMIA INDICA 'MUSKOGEE'	2.5"	7.5	B&B, 14-16' HT.
	30	DWF YAUPON HOLLY	ILEX VOMITORIA 'NANA'	3-GAL		FULL CONTAINER
				TOTAL	25	



LEGEND

- BOUNDARY LINE
- EXISTING ROW
- BOUNDARY ADJACENT LINE
- EXISTING EASEMENT LINE
- EXISTING SETBACK LINE
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- EXISTING CENTERLINE OF DITCH
- EXISTING FENCE
- PROPOSED FENCE
- EXISTING VEGETATION LINE
- (4) PARKING SPACE COUNT
- ADA RAMP
- ACCESSIBLE PARKING SPACE
- PROPOSED SIGN
- ADA — PROPOSED ACCESSIBLE PARKING SPACE SIGN
- S — PROP. STOP SIGN
- BC — DIMENSION TO BACK OF CURB
- PL — DIMENSION TO PROPERTY LINE
- EXISTING ASPHALT
- EXISTING CONCRETE
- EXISTING BUILDING
- PROPOSED CONCRETE PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED HEAVY DUTY ASPHALT PAVEMENT

SITE BOUNDARY, TOPOGRAPHY, UTILITY, AND ROAD INFORMATION TAKEN FROM A SURVEY PREPARED BY ATWELL, LLC DATED 04/10/2025.

SITE INFORMATION:

JURISDICTION: CITY OF BARTLETT, TENNESSEE
ZONING DISTRICT: C-H (COMMERCIAL)

SITE AREA CALCULATIONS	EXISTING	PROPOSED
LOT 42C	0.967 ACRES	--
PART OF 42A TO BE COMBINED W/ 42C	0.273 ACRES	--
TOTAL SITE AREA	1.24 ACRES	1.24 ACRES
PERVIOUS AREA	0.24 ACRES	0.25 ACRES
IMPERVIOUS AREA	1.00 ACRES	0.99 ACRES

DISTURBED AREA 1.05 ACRES
BUILDING AREA 2,697 SF

LANDSCAPE REQUIREMENTS	
TOTAL SITE AREA	1.24 ACRES
DENSITY REQUIRED	20 UNITS/AC (24.8 UNITS)
DENSITY PROPOSED	25 UNITS
FRONT LANDSCAPE STRIP	PROPOSED PLATE 23A
PARKING LOT TREES	ALL PARKING TO BE WITHIN 75' OF TREE
SEASONAL COLOR REQUIRED	1% (540 SF)

BUILDING SETBACK	REQUIRED	PROVIDED
FRONT (SOUTH)	50'*	65.4'
SIDE (EAST)	5'	105.4'
SIDE (WEST)	5'	14.7'
REAR (NORTH)	20'	191.3'

* RECORDED PLAT FOR LOT 42C HAS A 50 FOOT SETBACK LINE.

PARKING SETBACK	REQUIRED
FRONT (SOUTH)	N/A
SIDE (EAST)	N/A
SIDE (WEST)	N/A
REAR (NORTH)	N/A

PARKING DATA:

REQUIRED PARKING CALCULATION: 13.6 SPACES PER 1,000 SQUARE FEET; OR 36 SPACES PER 100 SEATS, PLUS 7 SPACES, WHICHEVER IS GREATER.

TOTAL REQUIRED SPACES 37 SPACES

PROVIDED
REGULAR (9' X 20') 53 SPACES
ADA (9' X 20') 3 SPACES
TOTAL PROVIDED SPACES 56 SPACES

DRIVE-THRU STACKING PROVIDED: 19
DRIVE AISLE WIDTH: 24'

FLOOD HAZARD: ZONE X (AREA OF MINIMAL FLOOD HAZARD)
FIRM MAP NO. 47157C0310G, DATED 02/06/2013

SITE LIGHTING:
PHOTOMETRICS DESIGNED BY OTHERS. POLE LOCATIONS ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY FINAL LOCATIONS WITH PHOTOMETRICS PLAN AND OWNER PRIOR TO CONSTRUCTION.

PANDA EXPRESS, INC.
1683 WALNUT GROVE AVE.
ROSEMEAD, CALIFORNIA 91770
TELEPHONE: 626.799.9898
FACSIMILE: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

ISSUE DATE:
01 PRELIMINARY SITE PLANS 07/07/25

DRAWN BY: CMP/AMW

PANDA PROJECT #: S8-27-D38584
PANDA STORE #: D38584
CIVIL PROJECT #: 25002113

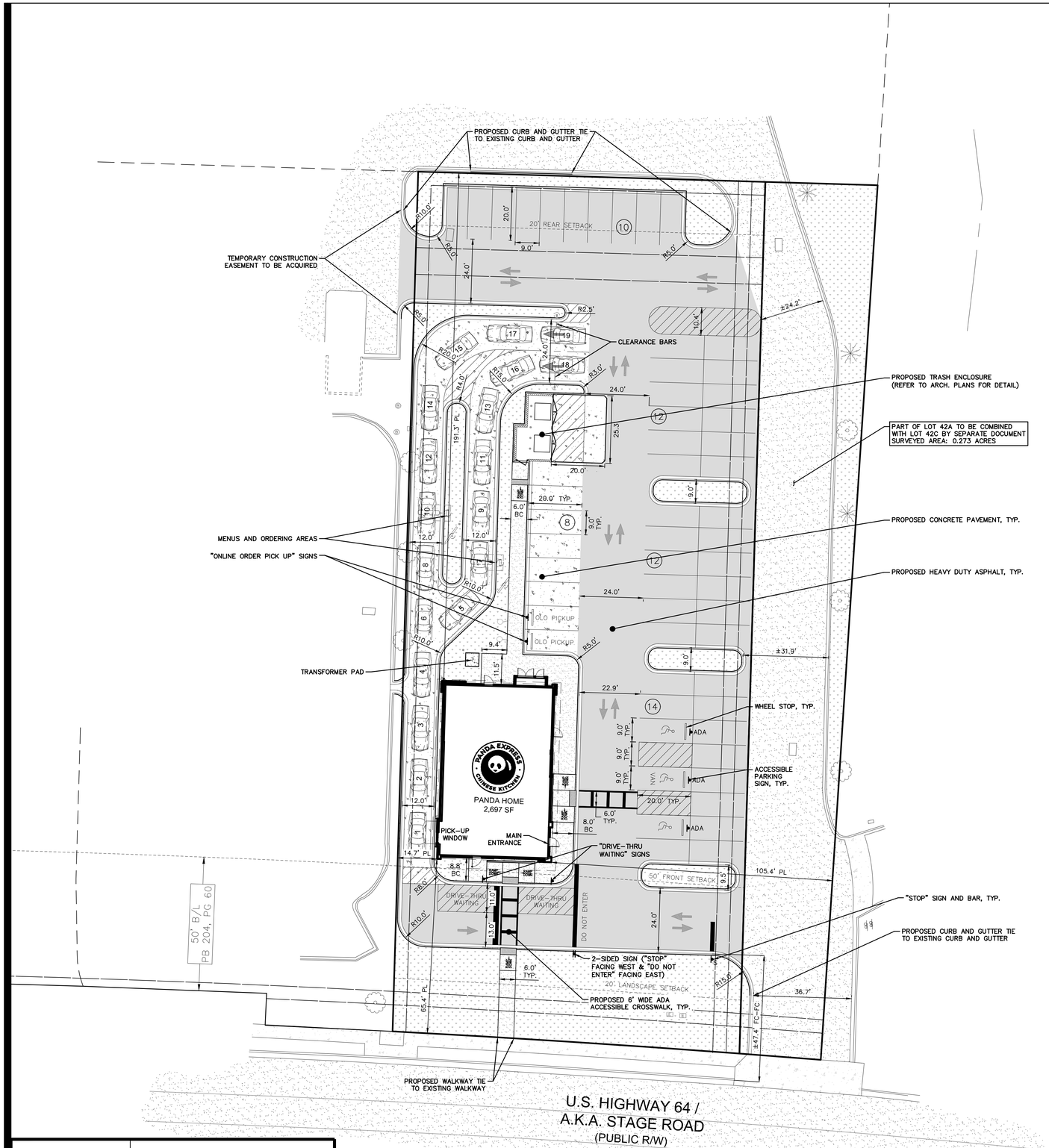
ATWELL
866.850.4200 www.atwell-group.com
1250 E DIEHL ROAD, STE 300
NAPERVILLE, IL 60563
630-281-8459

ERIC MATTHEW LORD — REGISTERED ENGINEER — AGRICULTURE COMMERCE — NO. 111752 — STATE OF TENNESSEE
07-07-2025

PRELIMINARY LANDSCAPE PLAN

C07.0

PANDA HOME ESSENTIALS R2



LEGEND

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SITE BOUNDARY, TOPOGRAPHY, UTILITY, AND ROAD INFORMATION TAKEN FROM A SURVEY PREPARED BY ATWELL, LLC DATED 04/10/2025.

NOTES:

1. REFERENCE THE STANDARD NOTES SHEET FOR ADDITIONAL INFORMATION.
2. REFERENCE THE ALTA/NSPS LAND TITLE SURVEY FOR ADDITIONAL EXISTING FEATURES AND PROPERTY BOUNDARY INFORMATION.
3. ALL DIMENSIONS ARE TO EDGE OF BUILDING OR FACE OF CURB UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS ARE MEASURED TO THE STRUCTURAL FACE OF THE BUILDING, NOT THE BUILDING FACADE.
5. REFER TO ARCHITECTURAL/FOUNDATION PLANS FOR BUILDING DIMENSIONS.
6. ALL SIDEWALK ADJDACENT TO THE BUILDING SHALL BE INTEGRAL WALK UNLESS OTHERWISE NOTED.
7. LIGHT POLE LOCATIONS ARE SHOWN FOR REFERENCE ONLY. SEE SITE LIGHTING ELECTRICAL PLANS FOR LIGHT POLE DETAILS, LOCATION, AND INTENSITIES.
8. ALL PAVEMENT MARKINGS AND STRIPING AREA MEASURED TO THE CENTERLINE.
9. ALL STRIPING SHALL BE 4" WHITE PAINT UNLESS OTHERWISE NOTED. ALL STRIPING SHALL BE APPLIED WITH TWO COATS OF PAINT AT MANUFACTURER'S RECOMMENDED RATE. SEE STRIPING DETAIL.

SITE INFORMATION:

JURISDICTION: CITY OF BARTLETT, TENNESSEE
ZONING DISTRICT: C-H (COMMERCIAL)

SITE AREA CALCULATIONS	EXISTING	PROPOSED
LOT 42C	0.967 ACRES	--
PART OF 42A TO BE COMBINED W/ 42C	0.273 ACRES	--
TOTAL SITE AREA	1.24 ACRES	1.24 ACRES
PERVIOUS AREA	0.24 ACRES	0.25 ACRES
IMPERVIOUS AREA	1.00 ACRES	0.99 ACRES
DISTURBED AREA	1.05 ACRES	
BUILDING AREA	2,697 SF	

BUILDING SETBACK	REQUIRED	PROVIDED
FRONT (SOUTH)	50'*	65.4'
SIDE (EAST)	5'	105.4'
SIDE (WEST)	5'	14.7'
REAR (NORTH)	20'	191.3'

* RECORDED PLAT FOR LOT 42C HAS A 50 FOOT SETBACK LINE.

PARKING SETBACK	REQUIRED
FRONT (SOUTH)	N/A
SIDE (EAST)	N/A
SIDE (WEST)	N/A
REAR (NORTH)	N/A

PARKING DATA:

REQUIRED PARKING CALCULATION: 13.6 SPACES PER 1,000 SQUARE FEET; OR 36 SPACES PER 100 SEATS, PLUS 7 SPACES, WHICHEVER IS GREATER.

TOTAL REQUIRED SPACES 37 SPACES

PROVIDED
REGULAR (9' X 20') 53 SPACES
ADA (9' X 20') 3 SPACES
TOTAL PROVIDED SPACES 56 SPACES

DRIVE-THRU STACKING PROVIDED: 19
DRIVE AISLE WIDTH: 24'

FLOOD HAZARD: ZONE X (AREA OF MINIMAL FLOOD HAZARD)
FIRM MAP NO. 47157C0310G, DATED 02/06/2013

SITE LIGHTING:
PHOTOMETRICS DESIGNED BY OTHERS. POLE LOCATIONS ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY FINAL LOCATIONS WITH PHOTOMETRICS PLAN AND OWNER PRIOR TO CONSTRUCTION.

811 Know what's **below.** **Call** before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR; NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

N W E S
0 20 40 Feet
SCALE: 1" = 20'

PANDA EXPRESS CHINESE KITCHEN

PANDA EXPRESS, INC.
1683 WALNUT GROVE AVE.
ROSEMEAD, CALIFORNIA 91770
TELEPHONE: 626.799.9898
FACSIMILE: 626.372.8288

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REVISIONS:

ISSUE DATE:

01	PRELIMINARY SITE PLANS	07/07/25

DRAWN BY: CMP/AMW

PANDA PROJECT #: S8-27-D38584
PANDA STORE #: D38584
CIVIL PROJECT #: 25002113

ATWELL
866.850.4200 www.atwell-group.com
1250 E DIEHL ROAD, STE 300
NAPERVILLE, IL 60563
630-281-8459

ERIC MATTHEW LOVE REGISTERED ENGINEER AGRICULTURE NO. 115750 STATE OF TENNESSEE
07-07-2025

SITE LAYOUT PLAN

C03.0

PANDA HOME ESSENTIALS R2

SHEET INDEX

NO.	TITLE	ISSUE 01 - CIVIL PRELIMINARY PLANS 2.0 07/07/2025					
C01.0	COVER SHEET	●					
C02.0	ALTA-NSPS LAND TITLE SURVEY	●					
C03.0	SITE LAYOUT PLAN	●					
C04.0	PRELIMINARY UTILITY PLAN	●					
C05.0	PRELIMINARY GRADING & STORMWATER PLAN	●					
C06.0	SOIL EROSION & SEDIMENTATION CONTROL PLAN	●					
C07.0	PRELIMINARY LANDSCAPE PLAN	●					

SITE DEVELOPMENT PLANS

STORE: #D38584
8030 U.S. HIGHWAY 64
BARTLETT, TN, 38133
SHELBY COUNTY, TN

PREPARED BY:

ATWELL, LLC

1250 E. Diehl Road, Suite 300
Naperville, IL 60563
Telephone: 630-577-0800

PREPARED FOR:

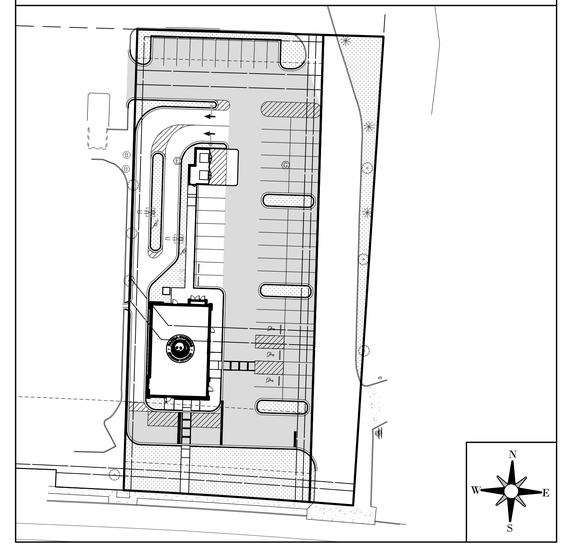
PANDA RESTAURANT GROUP INC.

1683 Walnut Grove Ave.
Rosemead, CA 91770
Telephone: 626.799.9898
Facsimile: 626.372.8288

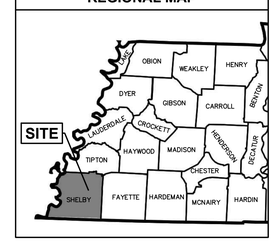
PROJECT CONTACTS

SELLER/LANDLORD	DEVELOPER	CIVIL ENGINEER
HAND CUT STEAKS ACQUISITIONS, INC 11719 HINSON ROAD, SUITE 100 LITTLE ROCK, AR 72212-3471	PANDA RESTAURANT GROUP BRIAN KAN 1683 WALNUT GROVE AVE. ROSEMEAD, CA 91770-3711 EMAIL: BRIAN.KAN@PANDARG.COM PHONE: (626) 799-9898 x 8412	ATWELL, LLC ERIC LORD, P.E. 1250 E. DIEHL ROAD, SUITE 300 NAPERVILLE, IL 60563 EMAIL: ELORD@ATWELL.COM PHONE: (586) 786-9800
ARCHITECT	**MEP**	**LAND SURVEYOR**
SGA DESIGN GROUP VIRGINIA HART - PRINCIPAL 1437 SOUTH BOULDER, SUITE 550 TULSA, OK 74119-3609 EMAIL: VHART@SGADESIGNGROUP.COM PHONE: (918) 587-8602	DIALECTIC ENGINEERING 310 W. 20TH STREET, SUITE 100 KANSAS CITY, MO 64108 EMAIL: CONTACTUS@DIALECTICENG.COM PHONE: (816) 997-9601	ATWELL, LLC BENJAMIN YOUNG 1850 PARKWAY PLACE, SUITE 650 MARIETTA, GA 30067 EMAIL: BYOUNG@ATWELL.COM PHONE: (205) 907-4328
SIGNAGE	**MUNICIPAL SEWER AGENCY**	**MUNICIPAL WATER AGENCY**
CITY OF BARTLETT CODE ENFORCEMENT LYNSON ROBBINS - COMBINATION INSPECTOR 6382 STAGE ROAD BARTLETT, TN 38134 EMAIL: LYSON.ROBBINS@CITYOFBARTLETT.ORG PHONE: (901) 385-5586	CITY OF BARTLETT ENGINEERING DALAN HUBBARD - UTILITIES ENGINEER 6382 STAGE ROAD BARTLETT, TN 38134 EMAIL: DHUBBARD@CITYOFBARTLETT.ORG PHONE: (901) 385-5586	CITY OF BARTLETT ENGINEERING DALAN HUBBARD - UTILITIES ENGINEER 6382 STAGE ROAD BARTLETT, TN 38134 EMAIL: DHUBBARD@CITYOFBARTLETT.ORG PHONE: (901) 385-5586
NATURAL GAS	**TELEPHONE/CABLE**	**FIRE**
MEMPHIS LIGHT, GAS, AND WATER PO BOX 430 MEMPHIS, TN 38101 EMAIL: MLGWBSC@MLGW.ORG PHONE: (901) 528-4270	AT&T FOR BUSINESS PHONE: (844) 335-4220 COMCAST BUSINESS PHONE (877) 289-8849	CITY OF BARTLETT FIRE PROTECTION CRAIG JONES - DEPUTY FIRE MARSHAL 6400 STAGE ROAD BARTLETT, TN 38134 EMAIL: CJONES@CITYOFBARTLETT.ORG PHONE: (901) 385-6400
LANDSCAPE ARCHITECT	**ELECTRIC**	**SITE LIGHTING**
ATWELL, LLC JUSTIN CRABLE, PLA 1250 E. DIEHL ROAD, SUITE 300 NAPERVILLE, IL 60563 EMAIL: JCRABLE@ATWELL.COM PHONE: (630) 281-8459	MEMPHIS LIGHT, GAS, AND WATER PO BOX 430 MEMPHIS, TN 38101 EMAIL: MLGWBSC@MLGW.ORG PHONE: (901) 528-4270	TBD

SITE PLAN



REGIONAL MAP



LOCATION MAP

N

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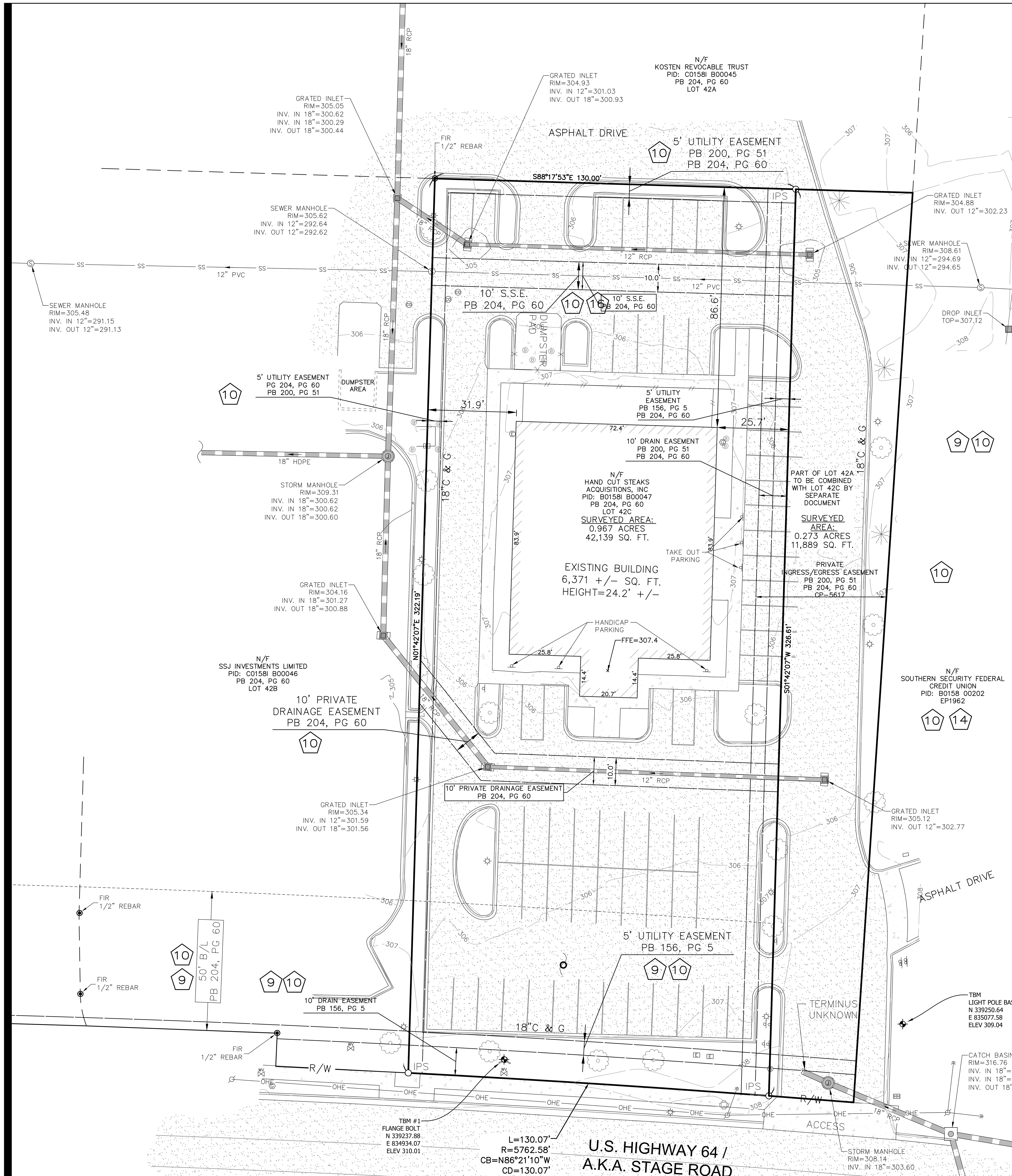
ERIC MATTHEW LORD
REGISTERED ENGINEER
AGRICULTURE
No. 111795
STATE OF TENNESSEE
07-07-2025

COVER SHEET

C01.0



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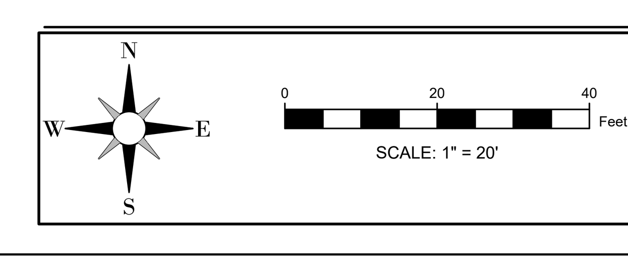

EXHIBIT "A" TITLE LEGAL DESCRIPTION

LAND SITUATED IN SHELBY COUNTY, TENNESSEE:

LOT , 42C BARTLETT CORPORATE PARK-EAST RESUBDIVISION OF LOT 42, AS SHOWN ON PLAT OF RECORD IN PLAT BOOK 204, PAGE 60, IN THE REGISTER'S OFFICE OF SHELBY COUNTY, TENNESSEE, TO WHICH PLAT REFERENCE IS HEREBY MADE FOR A MORE PARTICULAR DESCRIPTION OF SAID LAND.

BEING THE SAME PROPERTY CONVEYED TO HAND CUT STEAKS ACQUISITIONS INC., A AN ARKANSAS CORPORATION BY WARRANTY DEED OF RECORD AT INSTRUMENT NO. 05053282, DATED FEBRUARY 4, 2005 AND RECORDED APRIL 6, 2005, IN THE REGISTER'S OFFICE OF SHELBY COUNTY, TENNESSEE.

TITLE COMMITMENT

FIDELITY NATIONAL TITLE INSURANCE COMPANY
COMMITMENT NO. 12332475
COMMITMENT DATE: MARCH 26, 2025 AT 8:00AM
SCHEDULE B SECTION II - EXCEPTIONS

THE POLICY WILL NOT INSURE AGAINST LOSS OR DAMAGE RESULTING FROM THE TERMS AND CONDITIONS OF ANY LEASE OR EASEMENT IDENTIFIED IN SCHEDULE A, AND WILL INCLUDE THE FOLLOWING EXCEPTIONS UNLESS CLEARED TO THE SATISFACTION OF THE COMPANY:

1. DEFECTS, LIENS, ENCUMBRANCES, ADVERSE CLAIMS OR OTHER MATTERS, IF ANY, CREATED, FIRST APPEARING IN THE PUBLIC RECORDS OR ATTACHING SUBSEQUENT TO THE EFFECTIVE DATE BUT PRIOR TO THE DATE THE PROPOSED INSURED ACQUIRES FOR VALUE OF RECORD THE ESTATE OR INTEREST OR MORTGAGE THEREON COVERED BY THE FORM.
2. ANY ENCROACHMENT, ENCUMBRANCE, VIOLATION, VARIATION, OR ADVERSE CIRCUMSTANCE AFFECTING THE TITLE THAT WOULD BE DISCLOSED BY AN ACCURATE AND COMPLETE LAND SURVEY OF THE LAND.
3. EASEMENTS, OR CLAIMS OF EASEMENTS, NOT SHOWN BY THE PUBLIC RECORDS.
4. ANY LIEN OR RIGHT TO A LIEN, FOR SERVICES, LABOR OR MATERIAL HERETOFORE OR HEREAFTER FURNISHED, IMPOSED BY LAW AND NOT SHOWN BY THE PUBLIC RECORDS.
5. THE RIGHTS OR CLAIMS OF PARTIES IN POSSESSION NOT SHOWN BY THE PUBLIC RECORDS.
6. TAXES OR SPECIAL ASSESSMENTS WHICH ARE NOT SHOWN AS EXISTING LIENS BY THE PUBLIC RECORDS.
7. ANY TAXES OR ASSESSMENTS NOT POSTED ON THE RECORD OF THE TAXING AUTHORITY(IES) OF WHICH THE LAND DESCRIBED IN SCHEDULE A HEREOF IS SUBJECT, INCLUDING BUT NOT LIMITED TO: SUPPLEMENTAL, REVISED, AND/OR CORRECTED ASSESSMENTS PURSUANT TO T.C.A. SECTION 67-5-509 AND 67-5-603 ET SEQ. DEALING WITH ANY IMPROVEMENTS COMPLETED AFTER JANUARY 1 AND BEFORE SEPTEMBER 1 OF ANY YEAR; OR BACK ASSESSMENTS PURSUANT TO T.C.A. SECTION 67-1-1001 ET. SEQ.; OR TAXES BASED ON A CHANGE IN THE CLASSIFICATION OF THE INSURED LAND (ROLL BACK TAXES) PURSUANT TO T.C.A. SECTION 67-5- 1001 ET SEQ.
8. CITY OF BARTLETT AND SHELBY COUNTY TAXES FOR THE YEAR 2025, LIENS, NOT YET DUE OR PAYABLE.
9. SUBDIVISION RESTRICTIONS, BUILDING LINES AND EASEMENTS OF RECORD IN PLAT BOOK 156, PAGE 5, IN THE REGISTER'S OFFICE OF SHELBY COUNTY, TENNESSEE.
   - AFFECTS; BUILDING LINE, DRAIN EASEMENT AND UTILITY EASEMENT ARE SHOWN HEREON.
10. SUBDIVISION RESTRICTIONS, BUILDING LINES AND EASEMENTS OF RECORD IN PLAT BOOK 200, PAGE 51, AS RE-RECORDED IN PLAT BOOK 201, PAGE 21, AS RE-RE-RECORDED IN PLAT BOOK 204, PAGE 60, IN THE AFORESAID REGISTER'S OFFICE.
    - AFFECTS; BUILDING LINE, DRAIN EASEMENTS, INGRESS/EGRESS EASEMENT, SEWER EAESMENT AND UTILITY EASEMENTS ARE SHOWN HEREON.
11. DEED RESTRICTIONS CONTAINED IN SPECIAL WARRANTY DEED OF RECORD AT INSTRUMENT NO. LB-5821, IN THE AFORESAID REGISTER'S OFFICE.
    - AFFECTS THE SUBJECT PROPERTY WITH NO PLOTTABLE ITEMS.
12. AMENDED AND RESTATED OPERATION AND RECIPROCAL EASEMENT DECLARATION (ORED) OF RECORD AT INSTRUMENT NO. CV- 3256 AS AMENDED AT GT-7584 & 03015054, IN THE AFORESAID REGISTER'S OFFICE.
    - AFFECTS THE SUBJECT PROPERTY WITH NO PLOTTABLE ITEMS.
13. DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS OF RESUBDIVISION OF LOT 42 OF BARTLETT CORPORATE PARK - EAST OF RECORD AT INSTRUMENT NO. 03015055, IN THE AFORESAID REGISTER'S OFFICE.
    - AFFECTS THE SUBJECT PROPERTY WITH NO PLOTTABLE ITEMS.
14. PERMANENT INGRESS AND EGRESS EASEMENT AGREEMENT OF RECORD AT INSTRUMENT NO. CP-5617, IN THE AFORESAID REGISTER'S OFFICE.
    - AFFECTS. PRIVATE INGRESS AND EGRESS EASEMENT IS SHOWN HEREON.
15. EASEMENT CONTRACT OF RECORD AT INSTRUMENT NO. CS-5428, IN THE AFORESAID REGISTER'S OFFICE.
    - DOES NOT AFFECT THE SUBJECT PROPERTY.
16. HWY 64/GERMANTOWN SEWER EXTENSION EASEMENT OF RECORD AT INSTRUMENT NO. AF-0748, IN THE AFORESAID REGISTER'S OFFICE.
    - AFFECTS, SEWER EASEMENT IS SHOWN HEREON.
17. EASEMENT CONTRACT OF RECORD AT INSTRUMENT NO. ED-6156, IN THE AFORESAID REGISTER'S OFFICE.
    - AFFECT IS NOT DETERMINDED, RECORD INSTRUMENT NOT PROVIDED
18. DEVELOPMENT AND EASEMENT AGREEMENT OF RECORD AT INSTRUMENT NO. EG-4003 AS AMENDED AT GZ-6166, IN THE AFORESAID REGISTER'S OFFICE.
    - AFFECTS THE SUBJECT PROPERTY WITH NO PLOTTABLE ITEMS.
19. ACCESS EASEMENT DECLARATION OF RECORD AT INSTRUMENT NO. GZ-6169, IN THE AFORESAID REGISTER'S OFFICE.
    - DOES NOT AFFECT THE SUBJECT PROPERTY.
20. ACCESS EASEMENT DECLARATION OF RECORD AT INSTRUMENT NO. GZ-6172, IN THE AFORESAID REGISTER'S OFFICE.
    - DOES NOT AFFECT THE SUBJECT PROPERTY.
21. EASEMENT AGREEMENT OF RECORD AT INSTRUMENT NO. GZ-8880, IN THE AFORESAID REGISTER'S OFFICE.
    - DOES NOT AFFECT THE SUBJECT PROPERTY.

DATUMS

HORIZONTAL: GRID NORTH, NAD83, TENNESSEE STATE PLANE
(NORTH AMERICAN DATUM OF 1983) (2011)
U.S. SURVEY FOOT, SHELBY COUNTY, GEORGIA
VERTICAL: NAVD88 (NORTH AMERICAN VERTICAL DATUM OF 1988)
GEOID: GEOID18 (CONUS)

BM #1: FLANGE BOLT NEXT TO CITY/STATE MARK ON FIRE HYDRANT
ELEVATION: 310.01 (NAVD88)

BM #2: CHISELED "X" ON LIGHT POLE BASE
ELEVATION: 309.04 (NAVD88)

LEGEND

- BOUNDARY LINE
- EXISTING ROW
- BOUNDARY ADJACENT LINE
- EXISTING EASEMENT LINE
- EXISTING SETBACK LINE
- EXISTING CONTOUR (XXX)
- EXISTING CURB AND GUTTER
- EXISTING SANITARY SEWER (SS)
- EXISTING STORM SEWER
- EXISTING WATER LINE (W)
- EXISTING UNDERGROUND GAS (G)
- EXISTING UNDERGROUND TELEPHONE (T)
- EXISTING UNDERGROUND ELECTRIC (E)
- EXISTING OVERHEAD ELECTRIC (OHE)
- EXISTING UNDERGROUND CABLE (TV)
- EXISTING CENTERLINE OF DITCH
- EXISTING FENCE (X)
- EXISTING VEGETATION LINE
- SECTION CORNER
- MONITORING WELL
- FOUND IRON ROD (F)
- SET IRON ROD (S)
- FOUND PK NAIL (×F)
- FOUND MONUMENT (F)
- EXISTING SIGN
- EXISTING BOLLARD (B)
- EXISTING TREE
- EXISTING CLEANOUT (C.O.)
- EXISTING SANITARY MANHOLE
- EXISTING FLARED END SECTION
- EXISTING STORM CATCH BASIN/MANHOLE
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING WATER METER (W)
- EXISTING GAS METER (G)
- EXISTING GAS VALVE (G)
- EXISTING GAS RISER (g)
- EXISTING TELEPHONE RISER (T)
- EXISTING TELEPHONE MANHOLE (T)
- EXISTING TRAFFIC SIGNAL
- EXISTING ELECTRIC TRANSFORMER (e)
- EXISTING ELECTRIC BOX (E)
- EXISTING ELECTRIC METER (E)
- EXISTING UTILITY POLE (U.P.)
- EXISTING LIGHT POLE
- EXISTING CABLE RISER (CATV)
- EXISTING FLAG POLE (FP)
- EXISTING SPOT ELEVATION (XXX.XX)
- EXISTING ASPHALT
- EXISTING CONCRETE
- EXISTING BUILDING

SITE BOUNDARY, TOPOGRAPHY, UTILITY, AND ROAD INFORMATION TAKEN FROM A SURVEY PREPARED BY ATWELL, LLC DATED 04/10/2025.

SURVEY NOTES

1. THIS SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS, OR ENTITY NAMED HEREON. THIS PLAT DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS OR ENTITY WITHOUT EXPRESS WRITTEN CERTIFICATION BY THE SURVEYOR NAMING SAID PERSON, PERSONS, OR ENTITY.
2. NORTH ARROW AND BEARINGS SHOWN HEREON ARE BASED ON STATE PLANE COORDINATE SYSTEM - NAD83 - TENNESSEE ZONE. ALL DISTANCES ARE HORIZONTAL GROUND MEASUREMENTS EXPRESSED IN U.S. SURVEY FEET.
3. ACCORDING TO THE FLOOD INSURANCE RATE MAP (FIRM), COMMUNITY PANEL NO. 47157C0310G, DATED 02/06/2013, THE SUBJECT PROPERTY LIES WITHIN ZONE "X" AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.
4. ELEVATIONS SHOWN HEREON ARE PURSUANT TO THE NORTH AMERICAN VERTICAL DATUM OF 1988. ONE FOOT ELEVATION CONTOURS SHOWN HEREON..
5. NO UNDERGROUND UTILITIES LOCATED OR SHOWN HEREON.
6. NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES WAS MADE AVAILABLE TO THE SURVEYOR BY THE CONTROLLING JURISDICTION NOR WAS ANY EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
7. THERE WAS NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR ADDITIONS ON THE SUBJECT PROPERTY OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
8. THE PROPERTY HAS INDIRECT ACCESS TO HIGHWAY 64, WHICH IS A PUBLIC RIGHT-OF-WAY.
9. THE PROPERTY SHOWN HEREON IS THE SAME TRACT OF LAND DESCRIBED IN A TITLE REPORT PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, COMMITMENT NO. 12332475, DATED MARCH 26, 2025 AT 8:00AM.
10. LOCATED ITEMS WITH DIMENSIONS ARE AS SHOWN ON SURVEY. SURVEYOR MAKES NO CLAIM OF OWNERSHIP OF IMPROVEMENTS SHOWN HEREON.
11. EQUIPMENT USED FOR MEASUREMENT:
    ANGULAR: TRIMBLE R12/S5 ROBOTIC TOTAL STATION
    LINEAR: TRIMBLE R12/S5 ROBOTIC TOTAL STATION
    GPS: TRIMBLE R12 GPS RECEIVER
12. STATE, COUNTY, & LOCAL BUFFERS AND SETBACKS MIGHT EXIST ON THE SUBJECT PROPERTY THAT ARE NOT SHOWN HEREON.
13. THERE ARE 53 REGULAR PARKING SPACES AND 4 HANDICAP PARKING SPACES FOR A TOTAL OF 57 PARKING SPACES MARKED ON THIS SITE.
14. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 132,003 FEET

PANDA EXPRESS CHINESE KITCHEN

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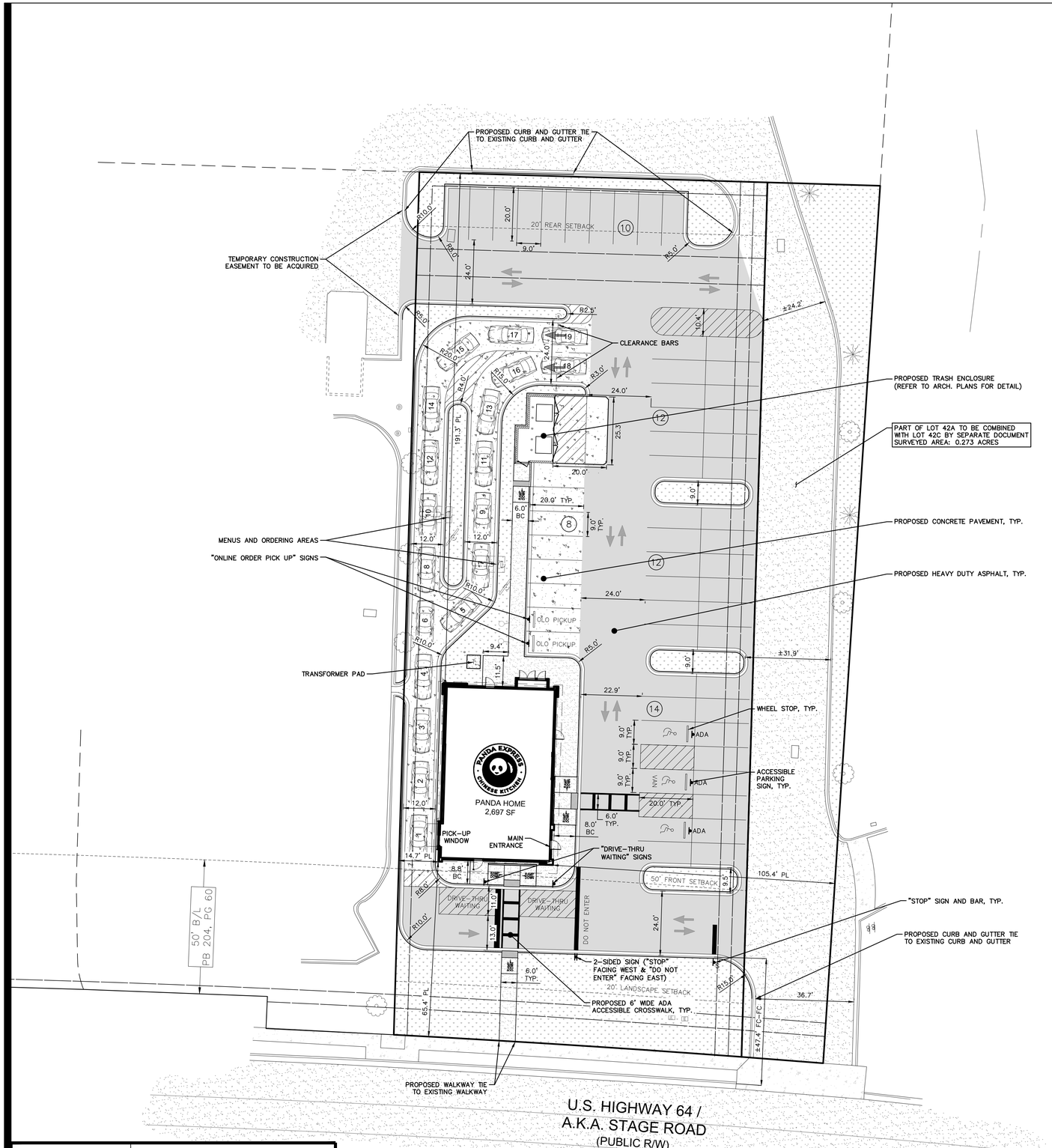
ERIC MATTHEW LORD REGISTERED ENGINEER AGRICULTURE COMMERCE NO. 111752 STATE OF TENNESSEE
07-07-2025

ALTA-NSPS LAND TITLE SURVEY

C02.0

PANDA HOME ESSENTIALS R2



LEGEND

- BOUNDARY LINE
- EXISTING ROW
- BOUNDARY ADJACENT LINE
- EXISTING EASEMENT LINE
- EXISTING SETBACK LINE
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- EXISTING CENTERLINE OF DITCH
- EXISTING FENCE
- PROPOSED FENCE
- EXISTING VEGETATION LINE
- (4) PARKING SPACE COUNT
- ADA RAMP
- ACCESSIBLE PARKING SPACE
- PROPOSED SIGN
- ADA — PROPOSED ACCESSIBLE PARKING SPACE SIGN
- S — PROP. STOP SIGN
- BC — DIMENSION TO BACK OF CURB
- PL — DIMENSION TO PROPERTY LINE
- EXISTING ASPHALT
- EXISTING CONCRETE
- EXISTING BUILDING
- PROPOSED CONCRETE PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED HEAVY DUTY ASPHALT PAVEMENT

SITE BOUNDARY, TOPOGRAPHY, UTILITY, AND ROAD INFORMATION TAKEN FROM A SURVEY PREPARED BY ATWELL, LLC DATED 04/10/2025.

NOTES:

1. REFERENCE THE STANDARD NOTES SHEET FOR ADDITIONAL INFORMATION.
2. REFERENCE THE ALTA/NSPS LAND TITLE SURVEY FOR ADDITIONAL EXISTING FEATURES AND PROPERTY BOUNDARY INFORMATION.
3. ALL DIMENSIONS ARE TO EDGE OF BUILDING OR FACE OF CURB UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS ARE MEASURED TO THE STRUCTURAL FACE OF THE BUILDING, NOT THE BUILDING FACADE.
5. REFER TO ARCHITECTURAL/FOUNDATION PLANS FOR BUILDING DIMENSIONS.
6. ALL SIDEWALK ADJDACENT TO THE BUILDING SHALL BE INTEGRAL WALK UNLESS OTHERWISE NOTED.
7. LIGHT POLE LOCATIONS ARE SHOWN FOR REFERENCE ONLY. SEE SITE LIGHTING ELECTRICAL PLANS FOR LIGHT POLE DETAILS, LOCATION, AND INTENSITIES.
8. ALL PAVEMENT MARKINGS AND STRIPING AREA MEASURED TO THE CENTERLINE.
9. ALL STRIPING SHALL BE 4" WHITE PAINT UNLESS OTHERWISE NOTED. ALL STRIPING SHALL BE APPLIED WITH TWO COATS OF PAINT AT MANUFACTURER'S RECOMMENDED RATE. SEE STRIPING DETAIL.

SITE INFORMATION:

JURISDICTION: CITY OF BARTLETT, TENNESSEE
ZONING DISTRICT: C-H (COMMERCIAL)

SITE AREA CALCULATIONS	EXISTING	PROPOSED
LOT 42C	0.967 ACRES	--
PART OF 42A TO BE COMBINED W/ 42C	0.273 ACRES	--
TOTAL SITE AREA	1.24 ACRES	1.24 ACRES
PERVIOUS AREA	0.24 ACRES	0.25 ACRES
IMPERVIOUS AREA	1.00 ACRES	0.99 ACRES
DISTURBED AREA	1.05 ACRES	
BUILDING AREA	2,697 SF	

BUILDING SETBACK	REQUIRED	PROVIDED
FRONT (SOUTH)	50'*	65.4'
SIDE (EAST)	5'	105.4'
SIDE (WEST)	5'	14.7'
REAR (NORTH)	20'	191.3'

* RECORDED PLAT FOR LOT 42C HAS A 50 FOOT SETBACK LINE.

PARKING SETBACK	REQUIRED
FRONT (SOUTH)	N/A
SIDE (EAST)	N/A
SIDE (WEST)	N/A
REAR (NORTH)	N/A

PARKING DATA:

REQUIRED PARKING CALCULATION: 13.6 SPACES PER 1,000 SQUARE FEET; OR 36 SPACES PER 100 SEATS, PLUS 7 SPACES, WHICHEVER IS GREATER.

TOTAL REQUIRED SPACES	37 SPACES
PROVIDED	
REGULAR (9' X 20')	53 SPACES
ADA (9' X 20')	3 SPACES
TOTAL PROVIDED SPACES	56 SPACES

DRIVE-THRU STACKING PROVIDED: 19
DRIVE AISLE WIDTH: 24'

FLOOD HAZARD: ZONE X (AREA OF MINIMAL FLOOD HAZARD)
FIRM MAP NO. 47157C0310G, DATED 02/06/2013

SITE LIGHTING:
PHOTOMETRICS DESIGNED BY OTHERS. POLE LOCATIONS ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY FINAL LOCATIONS WITH PHOTOMETRICS PLAN AND OWNER PRIOR TO CONSTRUCTION.

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N W E S
0 20 40 Feet
SCALE: 1" = 20'

PANDA EXPRESS, INC.
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01	PRELIMINARY SITE PLANS	07/07/25

DRAWN BY: CMP/AMW

PANDA PROJECT #: S8-27-D38584
PANDA STORE #: D38584
CIVIL PROJECT #: 25002113

ATWELL
866.850.4200 www.atwell-group.com
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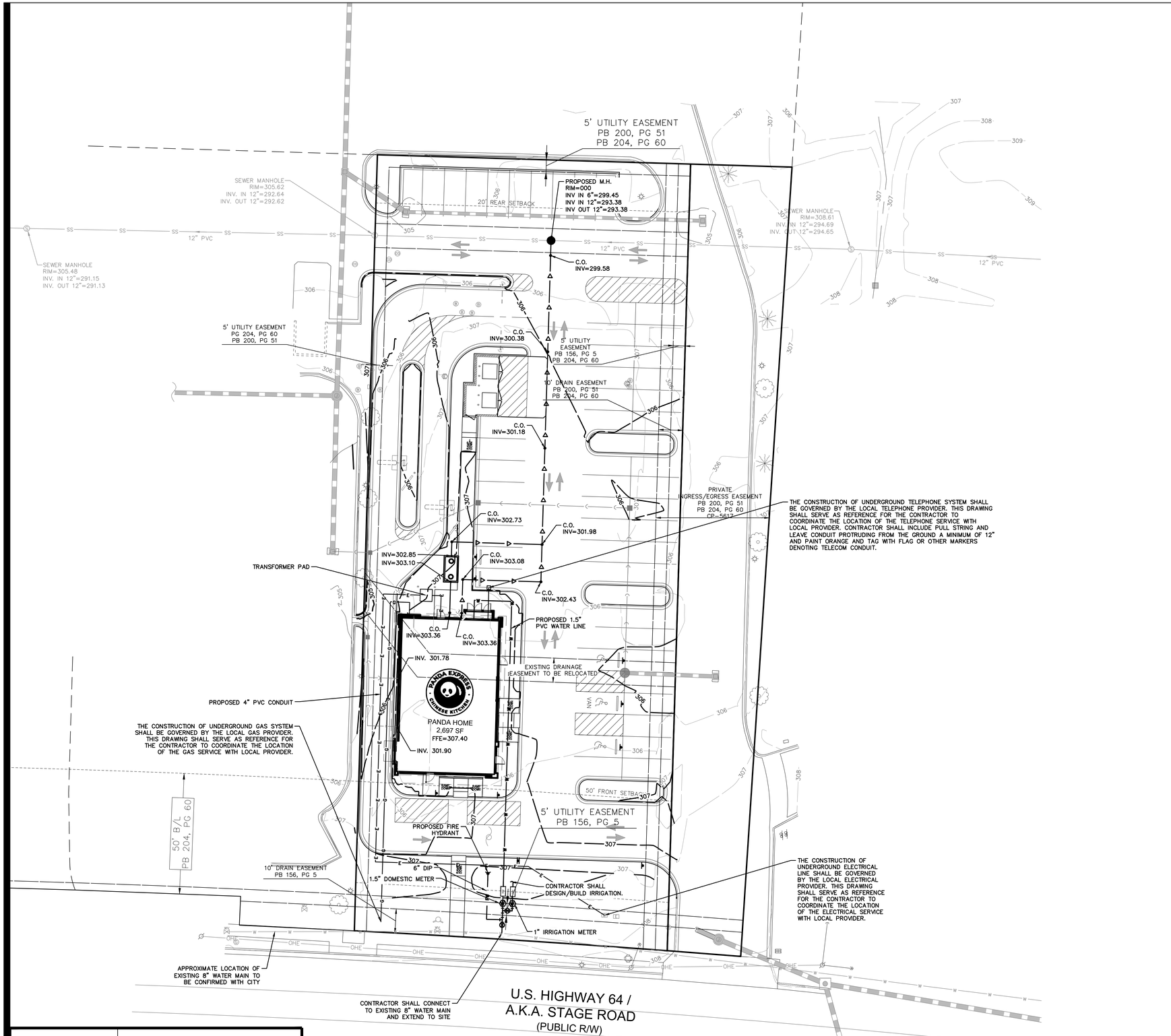
NAPERVILLE, IL 60563
630-281-8459

ERIC MATTHEW LOID
REGISTERED ENGINEER
AGRICULTURE
No. 111765
STATE OF TENNESSEE
07-07-2025

SITE LAYOUT PLAN

C03.0

PANDA HOME ESSENTIALS R2



LEGEND

- BOUNDARY LINE
- EXISTING ROW
- BOUNDARY ADJACENT LINE
- EXISTING EASEMENT LINE
- EXISTING SETBACK LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING UNDERGROUND GAS
- PROPOSED UNDERGROUND GAS
- EXISTING UNDERGROUND TELEPHONE
- PROPOSED UNDERGROUND TELEPHONE
- EXISTING UNDERGROUND ELECTRIC
- EXISTING OVERHEAD ELECTRIC
- PROPOSED UNDERGROUND ELECTRIC
- EXISTING UNDERGROUND CABLE
- PROPOSED UNDERGROUND CABLE
- EXISTING CENTERLINE OF DITCH
- EXISTING FENCE
- PROPOSED FENCE
- EXISTING VEGETATION LINE
- EXISTING LIGHT POLE
- PROPOSED LIGHT POLE/WALL PACK LIGHT
- EXISTING STORM CATCH BASIN/MANHOLE
- PROPOSED STORM CATCH BASIN/MANHOLE
- EXISTING CLEANOUT
- PROPOSED CLEANOUT
- PROPOSED DOWNSPOUT
- EXISTING END SECTION
- PROPOSED END SECTION
- EXISTING WATER VALVE
- PROPOSED WATER VALVE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- PROPOSED WATER METER
- PROPOSED REDUCER
- PROPOSED FIRE DEPARTMENT CONNECTION
- EXISTING UTILITY POLE
- PROPOSED UTILITY POLE
- PROPOSED UTILITY CROSSING, SEE UTILITY CROSSING CHART THIS SHEET

SITE BOUNDARY, TOPOGRAPHY, UTILITY, AND ROAD INFORMATION TAKEN FROM A SURVEY PREPARED BY ATWELL, LLC DATED 04/10/2025.

CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH APPROPRIATE UTILITY COMPANIES TO ENSURE THAT THE REQUIRED VERTICAL AND HORIZONTAL CLEARANCES AT ALL LOCATIONS WHERE ANY UTILITY LINE CROSSES AN EXISTING OR PROPOSED GAS, TELEPHONE OR ELECTRIC LINE ARE MET.

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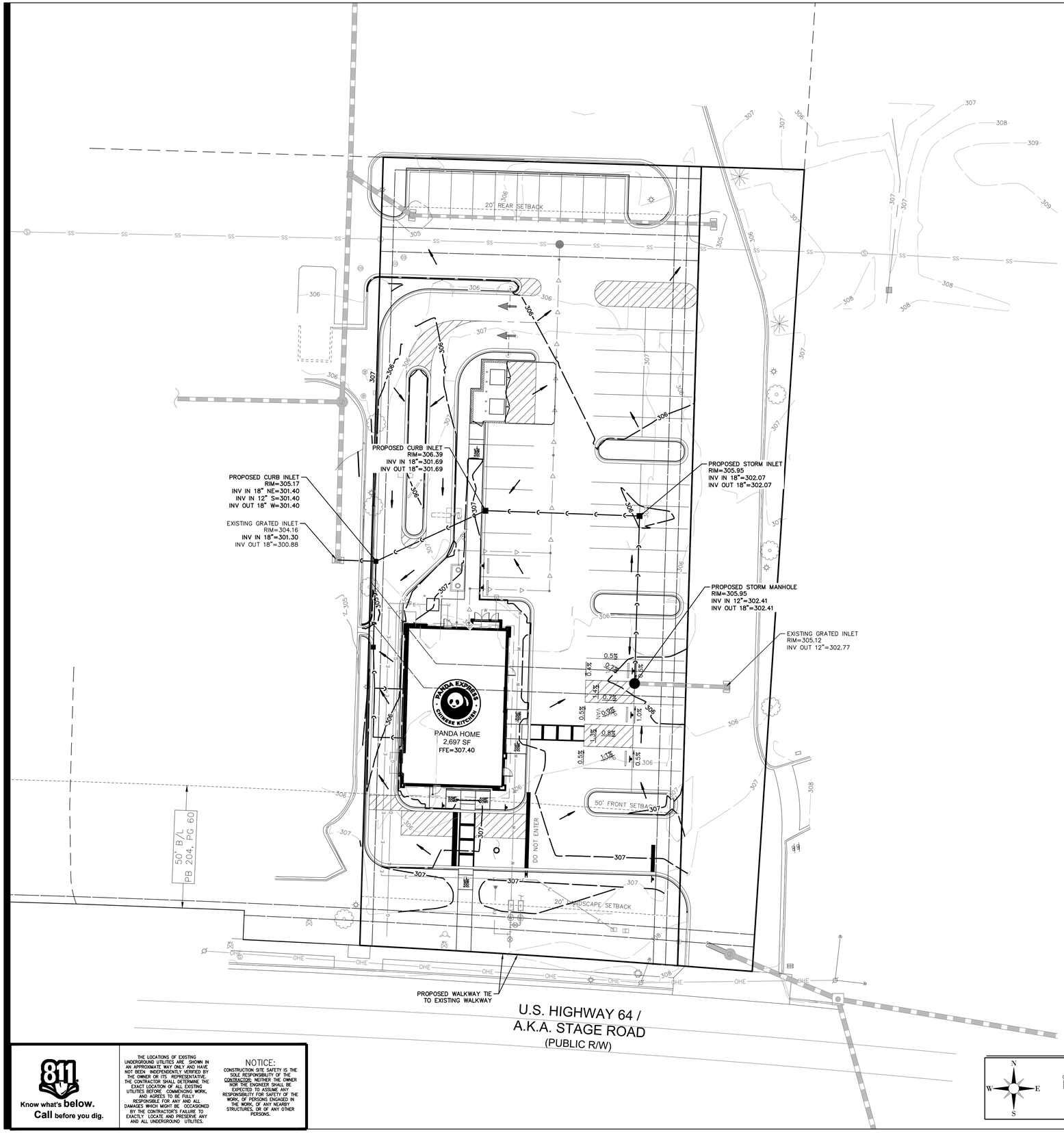
630-281-8459

ERIC MATTHEW LOND
REGISTERED ENGINEER
AGRICULTURE
CERTIFICATE NO. 111798
STATE OF TENNESSEE
07-07-2025

PRELIMINARY UTILITY PLAN

C04.0

PANDA HOME ESSENTIALS R2



LEGEND

	BOUNDARY LINE
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XXX	EXISTING CONTOUR
XXX	PROPOSED CONTOUR
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	PROPOSED CURB AND GUTTER
SS	EXISTING SANITARY SEWER
SS	PROPOSED SANITARY SEWER
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
W	EXISTING WATER LINE
W	PROPOSED WATER LINE
G	EXISTING UNDERGROUND GAS
G	PROPOSED UNDERGROUND GAS
T	EXISTING UNDERGROUND TELEPHONE
T	PROPOSED UNDERGROUND TELEPHONE
E	EXISTING UNDERGROUND ELECTRIC
OHE	EXISTING OVERHEAD ELECTRIC
E	PROPOSED UNDERGROUND ELECTRIC
TV	EXISTING UNDERGROUND CABLE
TV	PROPOSED UNDERGROUND CABLE
	EXISTING CENTERLINE OF DITCH
X	EXISTING FENCE
X	PROPOSED FENCE
	EXISTING VEGETATION LINE
	PROPOSED SWALE
	PROPOSED RIDGE LINE
	EXISTING STORM CATCH BASIN/MANHOLE
	PROPOSED STORM CATCH BASIN/MANHOLE
× XXX.XX	PROPOSED SPOT ELEVATION
× XXX.XX RIM	PROPOSED RIM ELEVATION
× XXX.XXME	MATCH EXISTING ELEVATION
× XXX.XXFG	PROPOSED FINISHED GRADE ELEVATION
× XXX.XXTC	PROPOSED TOP OF CURB ELEVATION
× XXX.XXEP	PROPOSED EDGE OF PAVEMENT ELEVATION
× XXX.XXTW	PROPOSED FINISHED GRADE AT TOP OF WALL
× XXX.XXBW	PROPOSED FINISHED GRADE AT BOTTOM OF WALL
	PROPOSED DRAINAGE ARROW

SITE BOUNDARY, TOPOGRAPHY, UTILITY, AND ROAD INFORMATION TAKEN FROM A SURVEY PREPARED BY ATWELL, LLC DATED 04/10/2025.

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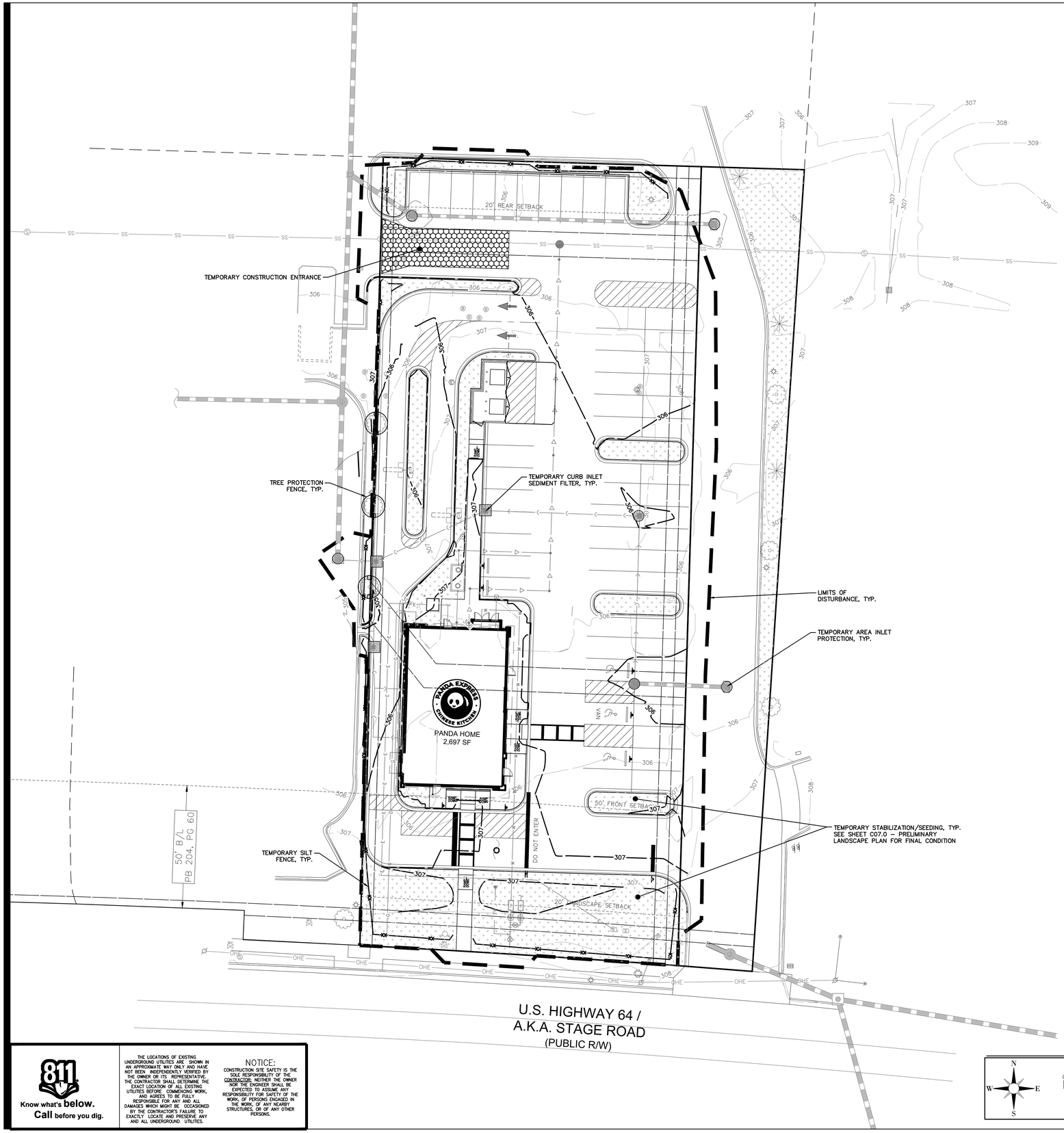
ERIC MATTHEW COLE
REGISTERED ENGINEER
AGRICULTURE
No. 111758
STATE OF TENNESSEE
07-07-2025

PRELIMINARY GRADING & STORMWATER PLAN

C05.0

PANDA HOME ESSENTIALS R2



LEGEND

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- EXISTING UNDERGROUND ELECTRIC
- EXISTING OVERHEAD ELECTRIC
- PROPOSED UNDERGROUND ELECTRIC
- EXISTING UNDERGROUND CABLE
- PROPOSED UNDERGROUND CABLE
- EXISTING CENTERLINE OF DITCH
- EXISTING FENCE
- PROPOSED FENCE
- EXISTING VEGETATION LINE
- LIMITS OF DISTURBANCE
- TEMPORARY SILT FENCE
- TREE PROTECTION FENCE
- TEMPORARY CONSTRUCTION ENTRANCE
- TEMPORARY STABILIZATION/SEEDING
- TEMPORARY AREA INLET PROTECTION
- TEMPORARY CURB INLET SEDIMENT FILTER

SITE BOUNDARY, TOPOGRAPHY, UTILITY, AND ROAD INFORMATION TAKEN FROM A SURVEY PREPARED BY ATWELL, LLC DATED 04/10/2025.

NOTES:

1. EROSION CONTROL BLANKET SHALL BE INSTALLED WHERE SHOWN IN AREAS DEPICTED ON THE LANDSCAPE PLAN AS SEED. EROSION CONTROL BLANKET IS NOT NECESSARY IN AREAS OF SOD, MULCH, OR PLUGS.
2. THE LOCATIONS OF CONSTRUCTION STAGING AREA AND TOPSOIL STOCKPILE AREA ARE SUBJECT TO CHANGE PER CONTRACTOR. STAGING AREA SHALL BE ENCLOSED WITH TEMPORARY FENCE. CONSTRUCTION TRAILERS, TEMPORARY PARKING, AND ITEMS SUCH AS SOLID WASTE RECEPTACLES, SANITARY FACILITIES, CONCRETE WASTE, FUEL TANKS, CONSTRUCTION MATERIALS, SUPPLIES, AND STOCKPILES SHALL BE PLACED IN THIS AREA IF NEEDED. TOPSOIL STOCKPILE AREA SHALL BE ENCLOSED WITH SILT FENCE.
3. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CLEAN VEHICLES PRIOR TO THEM EXITING THE SITE. ANY SEDIMENT OR DUST THAT HAS ACCUMULATED AT THE CONSTRUCTION EXIT, OR ON ANY OTHER EXISTING STABILIZED SURFACE WITHIN THE LIMITS OF DISTURBANCE, SHALL BE CLEANED IMMEDIATELY. CONSIDERATION SHALL BE GIVEN TO A WHEEL WASH SYSTEM WHERE APPROPRIATE. ANY WATER USED FOR CLEANING VEHICLES SHALL BE COLLECTED PRIOR TO LEAVING THE LIMITS OF DISTURBANCE OR BEFORE ENTERING AN EXISTING STORM DRAINAGE SYSTEM. SEE SHEET C06.1 FOR CONSTRUCTION EXIT DETAIL.
4. ALL SOIL DISTURBANCE SHALL BE LOCATED WITHIN THE LIMITS OF DISTURBANCE.

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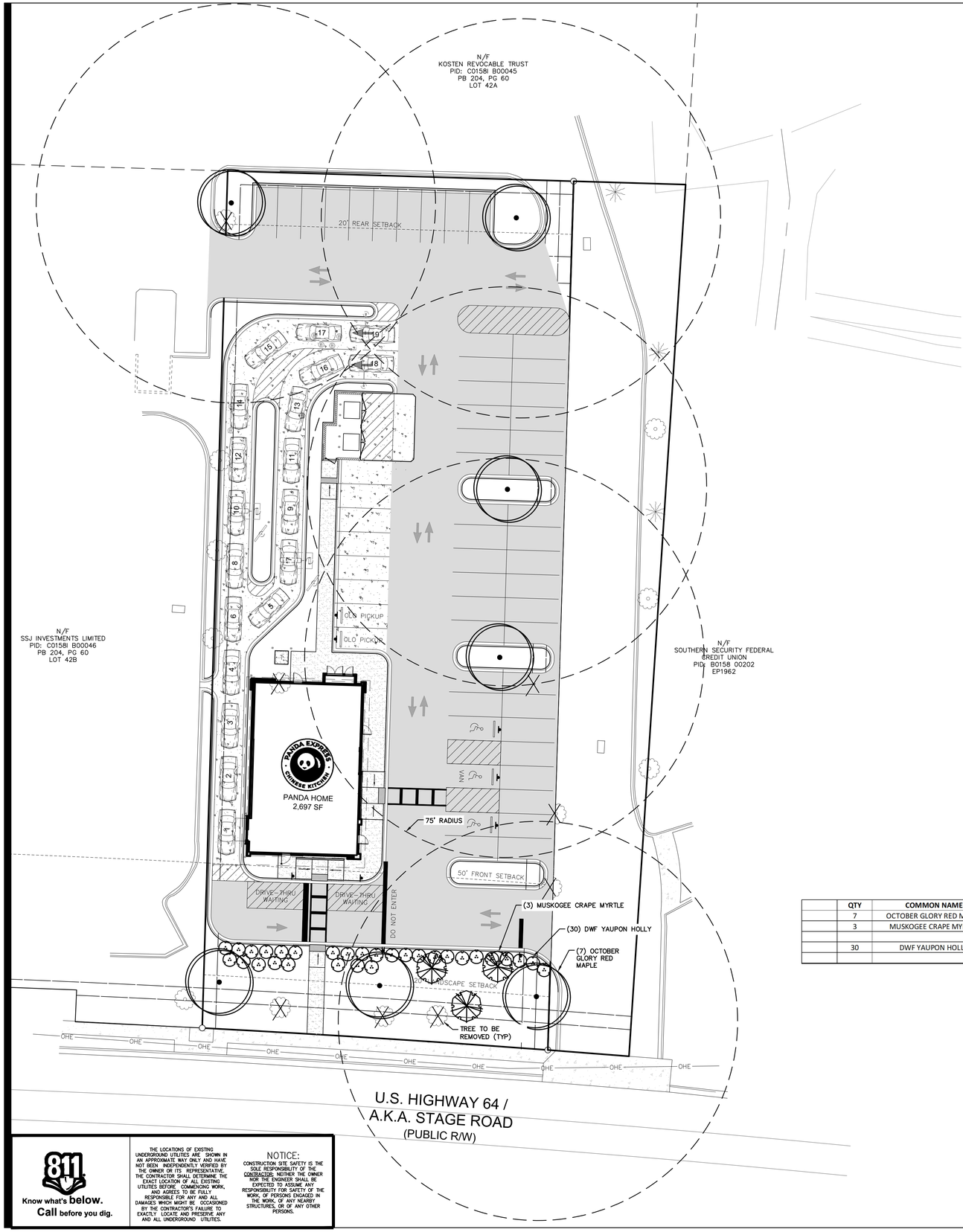
ERIC MATTHEW LOAD
REGISTERED ENGINEER
AGRICULTURE
No. 111757
STATE OF TENNESSEE
07-07-2025

SOIL EROSION &
SEDIMENTATION CONTROL PLAN

C06.0

PANDA HOME ESSENTIALS R2



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GENERAL

1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING ALL WORK AS SPECIFIED IN ACCORDANCE WITH THE PLANS AND AS LISTED IN THE GENERAL NOTES.
2. BEFORE BEGINNING ANY WORK, ALL UTILITIES AND UNDERGROUND CONSTRUCTION SHALL BE LOCATED BY THE LANDSCAPE CONTRACTOR SO THAT PROPER PRECAUTIONS MAY BE TAKEN NOT TO DISTURB OR DAMAGE ANY SUBSURFACE IMPROVEMENTS. WHERE PUBLIC UTILITIES ARE PRESENT, THE LANDSCAPE CONTRACTOR SHALL REQUEST ON-SITE LOCATIONS BY ALL UTILITY COMPANIES AND CONFIRM THAT SUCH LOCATIONS HAVE BEEN COMPLETED. THE LANDSCAPE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MAKING, AT HIS OWN EXPENSE, ALL REPAIRS TO DAMAGED UTILITIES RESULTING FROM WORK COVERED BY THIS CONTRACT.
3. ANY DAMAGE DONE BY THE LANDSCAPE CONTRACTOR TO ANY PAVING, BUILDINGS, CURB, OR WALKS SHALL BE REPAIRED OR REPLACED BY THE LANDSCAPE CONTRACTOR.
4. THE LANDSCAPE CONTRACTOR SHALL TAKE MEASURES TO PREVENT DUST, MUD, MARKS, ETC FROM SOILING AND DAMAGING IMPROVEMENTS. ANY DAMAGE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
5. THE LANDSCAPE CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE FROM ALL PARTS OF THE PROJECT.
6. ALL PROPOSED PLANT MATERIALS SHALL BE FREE FROM INJURY, PEST, DISEASE, OR ROOT DEFECTS AND SHALL MEET OR EXCEED STANDARDS SET FORTH IN THE CURRENT EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK". THE LANDSCAPE ARCHITECT MAY REJECT PLANT MATERIAL OR INSTALLATION WHICH DOES NOT COMPLY WITH THE SPECIFICATIONS OF THIS DRAWING AT ANY TIME PRIOR TO FINAL ACCEPTANCE.
7. PLANTS SHALL BE WATERED PRIOR TO TRANSPORTATION AND SHALL BE KEPT MOIST UNTIL PLANTED. ALL PLANTS SHALL BE PROTECTED FROM DESICCATION DURING DELIVERY WITH A PROTECTIVE COVERING OR ENCLOSED TRUCK.
8. THE PLANT LIST IS FOR THE LANDSCAPE CONTRACTORS CONVENIENCE. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE COUNT FROM THE PLAN AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.
9. ALL LANDSCAPE AREAS WHERE ASPHALT OR CURBING HAS BEEN REMOVED AND ALL LANDSCAPE ISLANDS MUST HAVE CLEAN, FRIALBE TOPSOIL TO A TOTAL DEPTH OF TWO (2) FEET.
10. THE LANDSCAPE CONTRACTOR SHALL FURNISH ALL MATERIALS INCLUDING, BUT NOT LIMITED TO, TOPSOIL, MULCHES, LIMES, AND FERTILIZERS NECESSARY FOR THE HEALTHY GROWTH OF PLANT MATERIAL.
11. INSTALL TREES PLUMB. DO NOT DEPEND ON STAKING TO PULL PLANTS TO PLUMB POSITION. STAKING SHALL BE ON AN AS-NEEDED BASIS.
12. ALL MOWABLE LAWN AREAS SHALL BE SODDED WITH BERMUDA GRASS. ALL SLOPES 3:1 OR GREATER SHALL BE SEEDED AS NOTED ON PLAN.
13. MULCH ALL GROUND COVER AND PLANTING BEDS AND A 4'-0" DIAMETER BASE AROUND ALL FREE STANDING TREES WITH 4" MIN. FRESH PINE STRAW.
14. WHERE TREES ARE PLANTED CLOSER THAN 5 FEET FROM CURB OR SIDEWALK, EITHER CONCRETE OR HDPE (HIGH DENSITY POLYURETHANE PLASTIC) ROOT BARRIERS MUST BE INSTALLED. THESE ROOT BARRIERS MUST BE A MINIMUM OF 30 INCHES DEEP.
15. ALL TEMPORARY CONSTRUCTION ACTIVITIES WILL OCCUR IN PARKING LOT AREAS ON THE SITE.
16. SHRUB HEIGHTS SHALL BE MAINTAINED AT 2'-0" AND TREE CANOPIES SHALL BE ABOVE 6'-0" AT ALL PLANTING ISLANDS AND DRIVE OPENINGS WITHIN THE PARKING LOT AND INTERSECTING STREETS BY LANDSCAPE CONTRACTOR AND OWNER TO INSURE SAFE SIGHT DISTANCES.
17. ALL CONSTRUCTION DEBRIS IS TO BE ENTIRELY REMOVED FROM SITE BY THE LANDSCAPE CONTRACTOR.
18. THE LANDSCAPE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE MAINTENANCE, INCLUDING WATERING, WEEDING, PRUNING, MOWING OF LAWNS, AND RE-MULCHING OF THIS WORK UNTIL DATE OF FINAL ACCEPTANCE.

GRASSING

1. PREPARE AREAS TO BE GRASSED BY REFINED GRADING TO INSURE PROPER DRAINAGE AND DISCOURAGE EROSION.
2. ELIMINATE UNDESIRABLE GRASS AND WEED GROWTH IN AREAS TO BE GRASSED AND TAKE MEASURES AS NECESSARY TO PREVENT REGROWTH OF UNDESIRABLE PLANTS. SOIL SHALL BE TILLED OR LOOSENED TO 4" MIN. DEPTH, INCORPORATING FERTILIZER, LIME AND OTHER APPROPRIATE ADDITIVES AS INDICATED BY SOIL TEST INTO THE TOP 2" TO 3".

INSPECTION

1. THE OWNER'S REPRESENTATIVE SHALL INSPECT THE TOTAL WORK FOR ACCEPTANCE UPON REQUEST OF THE LANDSCAPE CONTRACTOR. ANY UNSATISFACTORY ITEMS SHALL BE NOTED AND MUST BE REMEDIED BY THE LANDSCAPE CONTRACTOR PRIOR TO ACCEPTANCE. UPON SATISFACTORY COMPLETION OF ALL WORK, THE OWNER'S REPRESENTATIVE SHALL CERTIFY IN WRITING ACCEPTANCE OF THE WORK. PAYMENT FOR CONTRACT WORK TO THE CONTRACTOR PURSUANT TO ISSUANCE OF ACCEPTANCE SHALL BE DEEMED THE FINAL PAYMENT FOR SAID WORK.

WARRANTY

1. ALL PLANT MATERIAL SHALL BE WARRANTEED BY THE LANDSCAPE CONTRACTOR FOR A PERIOD OF ONE YEAR FOLLOWING ACCEPTANCE. THE LANDSCAPE CONTRACTOR SHALL REPLACE, AT NO EXPENSE TO THE OWNER, UNHEALTHY PLANTS WITHIN 15 DAYS. THIS ASSUMES THAT THE OWNER HAS FOLLOWED THE APPROPRIATE MAINTENANCE PROCEDURES AND THAT NO SUCH REPLACEMENTS ARE NECESSITATED BY NEGLECT OR ABUSE BY OWNER, BY VANDALISM OR BY ACTS-OF-GOD DAMAGE.
2. REPLACEMENT SIZES SHALL BE COMPARABLE TO THOSE ATTAINED BY ADJACENT THRIVING PLANTS. ALL REPLACEMENT STOCK WILL BE SUBJECT TO THE SAME WARRANTY REQUIREMENTS AS THE ORIGINAL STOCK. REPLACEMENT WARRANTY BEGINS ON DAY OF INSTALLATION.
3. THE LANDSCAPE CONTRACTOR SHALL MAKE ALL NECESSARY REPAIRS TO GRADES, VEGETATIVE COVER AND PAVING REQUIRED BECAUSE OF PLANT REPLACEMENTS. SUCH REPAIRS SHALL BE DONE AT NO EXTRA COST TO THE OWNER.

	QTY	COMMON NAME	BOTANICAL NAME	SIZE/UNIT	SIZE/UNIT	COMMENTS
	7	OCTOBER GLORY RED MAPLE	ACER RUBRUM ' OCTOBER GLORY'	2.5"	17.5	B&B, 14-16' HT.
	3	MUSKOGEE CRAPE MYRTLE	LAGERSTROEMIA INDICA 'MUSKOGEE'	2.5"	7.5	B&B, 14-16' HT.
	30	DWF YAUPON HOLLY	ILEX VOMITORIA 'NANA'	3-GAL		FULL CONTAINER
				TOTAL	25	

LEGEND

- BOUNDARY LINE
- EXISTING ROW
- BOUNDARY ADJACENT LINE
- EXISTING EASEMENT LINE
- EXISTING SETBACK LINE
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- EXISTING CENTERLINE OF DITCH
- EXISTING FENCE
- PROPOSED FENCE
- EXISTING VEGETATION LINE
- (4) PARKING SPACE COUNT
- ADA RAMP
- ACCESSIBLE PARKING SPACE
- PROPOSED SIGN
- ADA PROPOSED ACCESSIBLE PARKING SPACE SIGN
- S PROP. STOP SIGN
- BC DIMENSION TO BACK OF CURB
- PL DIMENSION TO PROPERTY LINE
- EXISTING ASPHALT
- EXISTING CONCRETE
- EXISTING BUILDING
- PROPOSED CONCRETE PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED HEAVY DUTY ASPHALT PAVEMENT

SITE BOUNDARY, TOPOGRAPHY, UTILITY, AND ROAD INFORMATION TAKEN FROM A SURVEY PREPARED BY ATWELL, LLC DATED 04/10/2025.

SITE INFORMATION:

JURISDICTION: CITY OF BARTLETT, TENNESSEE
ZONING DISTRICT: C-H (COMMERCIAL)

SITE AREA CALCULATIONS	EXISTING	PROPOSED
LOT 42C	0.967 ACRES	--
PART OF 42A TO BE COMBINED W/ 42C	0.273 ACRES	--
TOTAL SITE AREA	1.24 ACRES	1.24 ACRES
PERVIOUS AREA	0.24 ACRES	0.25 ACRES
IMPERVIOUS AREA	1.00 ACRES	0.99 ACRES
DISTURBED AREA	1.05 ACRES	
BUILDING AREA	2,697 SF	

LANDSCAPE REQUIREMENTS	
TOTAL SITE AREA	1.24 ACRES
DENSITY REQUIRED	20 UNITS/AC (24.8 UNITS)
DENSITY PROPOSED	25 UNITS
FRONT LANDSCAPE STRIP	PROPOSED PLATE 23A
PARKING LOT TREES	ALL PARKING TO BE WITHIN 75' OF TREE
SEASONAL COLOR REQUIRED	1% (540 SF)

BUILDING SETBACK	REQUIRED	PROVIDED
FRONT (SOUTH)	50'*	65.4'
SIDE (EAST)	5'	105.4'
SIDE (WEST)	5'	14.7'
REAR (NORTH)	20'	191.3'

* RECORDED PLAT FOR LOT 42C HAS A 50 FOOT SETBACK LINE.

PARKING SETBACK	REQUIRED
FRONT (SOUTH)	N/A
SIDE (EAST)	N/A
SIDE (WEST)	N/A
REAR (NORTH)	N/A

PARKING DATA:

REQUIRED PARKING CALCULATION: 13.6 SPACES PER 1,000 SQUARE FEET; OR 36 SPACES PER 100 SEATS, PLUS 7 SPACES, WHICHEVER IS GREATER.

TOTAL REQUIRED SPACES	37 SPACES
PROVIDED	
REGULAR (9' X 20')	53 SPACES
ADA (9' X 20')	3 SPACES
TOTAL PROVIDED SPACES	56 SPACES

DRIVE-THRU STACKING PROVIDED: 19
DRIVE AISLE WIDTH: 24'

FLOOD HAZARD: ZONE X (AREA OF MINIMAL FLOOD HAZARD)
FIRM MAP NO. 47157C0310G, DATED 02/06/2013

SITE LIGHTING:
PHOTOMETRICS DESIGNED BY OTHERS. POLE LOCATIONS ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY FINAL LOCATIONS WITH PHOTOMETRICS PLAN AND OWNER PRIOR TO CONSTRUCTION.

N W E S

0 20 40 Feet
SCALE: 1" = 20'

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REVISIONS:

ISSUE DATE:

01	PRELIMINARY SITE PLANS	07/07/25

DRAWN BY: CMP/AMW

PANDA PROJECT #: S8-27-D38584
PANDA STORE #: D38584
CIVIL PROJECT #: 25002113

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ERIC MATTHEW DOLL
REGISTERED ENGINEER
AGRICULTURE
COMMERCE
NO. 111755
STATE OF TENNESSEE
07-07-2025

PRELIMINARY LANDSCAPE PLAN

C07.0

PANDA HOME ESSENTIALS R2