



City of Bartlett
David Parsons, Mayor

DESIGN REVIEW COMMISSION AGENDA

Tuesday, September 16, 2025 – 6:30 P.M.

Bartlett City Hall Assembly Chamber

Opening Prayer

****Official Business of the Day****

Minutes of Tuesday, July 15, 2025 Meeting

New Business

Site Plan

1. Marathon Gas Station, 5727 Stage Road (Isaac Ayad, Marathon Gas)
2. Panda Express, 8030 Highway 64 (Justin Crable, Atwell, LLC)

Open Discussion

The public shall be provided an opportunity to address the Board or Commission during an Open Discussion period at the end of each regular and special meeting of the governing body. Prior to the start of the meeting, individuals will be required to complete and present to the Clerk the Open Discussion Citizen form provided at each meeting. The Open Discussion period for regular and special meetings of the Board or Commission shall be limited to twenty (20) minutes. Individuals shall be allowed to speak for up to three (3) minutes each. Open Discussion periods will not be held for any meeting where there are no actionable items on the agenda or meetings where the governing body is conducting a disciplinary hearing for a member of the governing body or a person whose profession or activities fall within the jurisdiction of the governing body.

Adjourn

DESIGN REVIEW COMMISSION
Tuesday, September 16, 2025 – 6:30 P.M.
Bartlett City Hall Assembly Chamber
Staff Comments

NEW BUSINESS

Site Plan

1. Marathon Gas Station, 5727 Stage Road (Isaac Ayad, Marathon Gas)

INTRODUCTION: Mr. Isaac Ayad with SSD Investments, LLC is requesting Design Review Commission (DRC) revised site plan approval for the Marathon One Stop gas station. The subject property is located at 5727 Stage Road within the “CG-MS” Commercial General Zoning District with Main Street Overlay.

BACKGROUND: On November 18, 2014, the DRC approved a revised site plan for the subject property to replace the existing convenience store and parking lot. On July 16, 2025, the City of Bartlett Code Enforcement Department was notified that the Marathon One Stop located at 5727 Stage Road had installed security bars in the storefront windows without obtaining DRC approval.

DISCUSSION: The specifics of request to the DRC is for approval to revise the building elevation to add security bars behind the window and door frames inside the store’s front elevation. The security bars are made of iron, and they are screwed into the window frames.

Recommendation: Denial of the proposed security bars since alternative security products are available for the applicant.

Planning Comments:

1. The DRC has not approved the installation of security bars in the windows since it is more of a visual deterrent than a structural deterrent.
2. Alternative security products are available for the applicant. Those alternatives include the following:
 - 3M™ Safety & Security Window Films, Safety Series for Commercial
https://www.3m.com/3M/en_US/company-us/all-3m-products/~ /3M-Safety-Security-Window-Films-Safety-Series-for-Commercial/?N=5002385+3292716679&rt=rud
 - Eastman KeepSafe laminated glass
<http://www.keeptsafe.com/Pages/default.aspx>
<https://www.youtube.com/watch?v=Z2HxWn6eP74>
<https://maclinsecuritydoor.com/security-doors/>

Planning Conditions:

1. The owner/applicant shall be present at the meeting in order to make decisions relative to any changes that may be suggested by the Design Review Commission.

2. Panda Express, 8030 Highway 64 (Justin Crable, Atwell LLC)

INTRODUCTION: Justin Crable with Atwell LLC is requesting Design Review Commission approval of a revised Site Plan for a new Panda Express restaurant. The subject property is located at 8030 Highway 64. The subject property is within the "C-H" Highway Business Zoning District.

BACKGROUND: The Design Review Commission approved the Site Plan for the existing Colton's Steakhouse building in September 2002. Colton's Steakhouse closed operations in January 2025.

On August 4, 2025, the Planning Commission approved a revised Site Plan to demolish the existing building and construct a new Panda Express restaurant. The details of the approved Site Plan were as follows:

Site Data	
Site Area:	1.24 acres/54,014.14 square feet
Total Required Parking Spaces: (13.6 spaces per 1,000 sq.ft. or 36 spaces per 100 seats plus 7 spaces, whichever is greater)	43(41 regular / 2 ADA)
Total Proposed Parking Spaces:	56 (19 drive thru stacking)
Handicap Accessible:	3 ADA
Regular:	53
Proposed Building Area:	2,697 square feet
Greenspace/Openspace:	Existing – 24% Proposed – 25.25%
Building Height:	One story

DISCUSSION: The specific request by the applicant is for DRC approval of building elevations, landscaping, and lighting details. The proposed site will have a 2,697 square foot restaurant with drive-thru lane service. Access to the site will be from an existing ingress/egress easement and driveway off Highway 64 within the Wolf Run Plaza shopping center.

Elevations: The front of the building is the south elevation, and the north elevation is the rear of the building. The west elevation is the location of the drive-thru lane service, and the east elevation is the location of the customer parking. The main customer entrance will be on the east elevation. All four elevations of the building will consist of a stone wainscot, Coronado Stone Products Strip Stone "Black Forest" with Argos charcoal mortar. Above the wainscot will be EIFS painted Sherwin Williams SW 7646 "First Star" gray up to the Berridge "Matte Black" metal trim cap and standing seam metal roof. All downspouts and metal copings will be Sherwin Williams SW 7069 "Iron Ore" black. The storefront and windows frames will be black anodized aluminum with clear glass windows. An accent black satin finish metal canopy with LED down lights will wrap around the building mounted at 10 feet. Also, an accent black aluminum roof swoop element will wrap around the top of the building. The main entrance and drive-thru window will consist of an accent wall with Fiberon Wildwood "Bamboo" composite cladding. The front elevation will be bookended with an accent EIFS column painted Sherwin Williams SW 7069 "Iron Ore" black on the west corner and a black aluminum trellis element column with an EIFS background painted Pantone "P200C – Red" on the east corner. The east elevation will also have a black aluminum trellis element column with an EIFS background painted Pantone "P200C – Red" on the north corner.

Landscaping: The majority of the proposed landscaping will be located around the perimeter of the property. The proposed landscape plantings are as follows: 7-October Glory Red Maple, 3-Muskogee Crape Myrtle, and 30-Dwarf Yaupon Holly.

Lighting: The proposed lighting will be seven Elite Lighting owp-fc-116-4K LED black fixtures on a 20-foot black pole and two foot concrete base will be lighting the parking lot. The building will have two owp-fc-116-led-3500L-DIM10-MVOLT 4K LED black wall fixtures mounted. The average foot candles for the site 2.

Mechanical: All mechanical units will be located on the roof screened by a parapet wall. The utility metering and service cabinets will be located on the rear of the building and painted Sherwin Williams SW 7069 "Iron Ore" black.

Dumpster Enclosure: The dumpster enclosure is located at the rear of the building separating the parking lot from the queue for the drive-thru window. The dumpster enclosure will be CMU walls with EIFS coating painted Sherwin Williams SW 7646 "First Star" gray. The gates will be galvanized steel painted Sherwin Williams SW 7069 "Iron Ore" black.

Recommendation: Approval with Conditions.

Planning Conditions:

1. The applicant shall provide light fixture cut sheets/spec sheets with the building permit plans. All lighting shall be installed downward facing, not outward.
2. The applicant shall paint the dumpster enclosure walls Sherwin Williams SW 7069 "Iron Ore" black to match the gates and better hide dirt.
3. All proposed signage has been submitted on a separate application to the Design Review Commission and obtained administrative approval by staff.
4. Irrigation is required for all planting on the landscape plan.
5. The property owner will be responsible for landscape maintenance of the entire lot in perpetuity.
6. The owner/applicant shall identify all utilities on site by contacting Tennessee One Call at 811 before commencing any site work.
7. The owner/applicant shall be present at the meeting in order to make decisions relative to any changes that may be suggested by the Planning Commission.

Engineering Conditions:**General:**

- 1) A Commercial Site Plan contract will be required and will be prepared by Engineering and submitted to the developer/engineer for review to cover the fees to be paid to the City of Bartlett.
- 2) Applicant/ Engineer shall provide a digital set of drawing files showing the sanitary sewer lines, drainage lines, lot lines and all improvements in AutoCAD format to therndon@cityofbartlett.org and ecampbell@cityofbartlett.org for use in the preparation of the Water Design Plan. This plan will be coordinated with the site design engineer to resolve any conflicts.
- 3) A Demolition Plan shall be added to this set of plans with a permit from Code Enforcement. All onsite demolition should be completed and approved by the City of Bartlett Code Enforcement Department prior to any work commencing on the associated Civil drawings.
- 4) A SWPPP may be required and shall be submitted to TDEC and also to the City of Bartlett Engineering office.
- 5) All new utilities shall be underground.
- 6) Fire protection must be approved by the City of Bartlett Fire Marshall.
- 7) If lots are to be combined, the existing Plat shall be modified.

Utility Plan:

- 8) Applicant/ Engineer shall provide a **digital set of drawing** files showing the sanitary sewer lines, drainage lines, lot lines and all improvements in AutoCAD format to dhubbard@cityofbartlett.org and ecampbell@cityofbartlett.org for

use in the preparation of the Public Water Design Plan. This plan will be coordinated with the site design engineer to resolve any conflicts.

- 9) Existing water and sewer connections shall be used or removed.
- 10) Irrigation and domestic water require separate taps.
- 11) If any sewer cleanout is located in a paved area, then it shall comply with the detail approved by Bartlett Codes which involves a brass connections and a concrete collar.

Erosion Control Plan:

- 12) During construction extra care will be needed to ensure that silt is not tracked out onto US HWY 64.

Erosion Control Details- NOT SUBMITTED:

- 13) Metal posts with wired backed fence are required on the proposed silt fences.

Grading & Drainage Plan:

- 14) Proposed spot elevation points and slope arrows should be added at various places on this set of plans.



DRC Site Plan Application Application

Date: 07/17/2025

Project Information

Property Address: 5727 stage road
Project Name:

Present Zoning:
of Lots: Parcel #B015600578

Description: Bars on the windows at marathon gas station

Applicant / Owner

Applicant Name: Isaac Ayad
Company Name: SSD investment LLC
Address: 5727 Stage road
City, State, Zip: Bartlett TN 380134
Phone: 6155941824
Email: Ssdinvestmentllc@gmail.com

Owner Name:
Company Name:
Address: 8769 Craddle hill cv
City, State, Zip: Bartlett TN 38002
Phone:
Email:

Architect / Engineer

Architect Contact:
Company Name:
Address:
City, State, Zip:
Phone:
Email:

Architect Contact:
Company Name:
Address:
City, State, Zip:
Phone:
Email:

I do hereby certify that the information contained herein is true and correct.

Isaac
Name

07/17/2025
Date

Site Plan Checklist

Bartlett Design Review Commission

The design of new buildings shall be compatible with the general character of the existing surroundings. Site plan applications will be reviewed for compatibility of landscaping, exterior materials, exterior colors, architectural style, scale, proportion, mass, and details. Diversity is acceptable to the extent that compatibility can be demonstrated. The applicant must explain the design to the Commission to demonstrate compatibility. A rendering and full, clear color exterior samples are required.

1. Basic Submittals

- ___ a. * Site plan.
- ___ b. * Building elevations (all four) and a color rendering of the building.
- ___ c. Floor area (square feet) in buildings.
- ___ d. One PDF file of items indicated herein by an asterisk (*), for display at the Design Review Commission meeting.

2. Landscaping

- ___ a. * Landscaping plan.
- ___ b. Identification of all existing trees, denoting those to remain and those to be removed; with grading shown to save trees where possible.
- ___ c. Proposed new trees, shrubs, and ground covers, shown graphically with plant common names and size.
- ___ d. Adequate landscape screening along property lines where required.
- ___ e. Grass strip between sidewalk and street curb.
- ___ f. Street trees on all commercial and residential site plans reviewed by the Commission, in accordance with the Bartlett Tree and Landscape Ordinance.
- ___ g. Parking lot planters.

3. Exterior Lighting

Provide details on the following:

- ___ a. Location

- ___ b. Height
- ___ c. Style of Fixtures
- ___ d. * Photometric Plan with design and arrangement to prevent intrusion on adjoining property and streets.
- ___ e. Bulb Temperature not to exceed 4K

4. Trash Collection Areas

- ___ a. Type and location indicated on plan.
- ___ b. Trash receptacles in accordance with Bartlett Codified Ordinance 17-103. (Ask for dumpster enclosure drawings.)

5. Gas And Electric Meters And Transformer Locations

- ___ a. Locations shown in rear of commercial project in accessible area.
- ___ b. Screening of all meters.
- ___ c. Water meter location.

6. Mechanical Units, Vents (Plumbing Heating, etc.).

- ___ a. Location
- ___ b. Screening required

7. Exterior Material

- | | Roofing | Exterior |
|--|---------|----------|
| ___ a. Material | _____ | _____ |
| ___ b. Colors | _____ | _____ |
| ___ c. Large samples of colors and materials must be presented at the meeting. | | |

8. Plans shall be sealed, signed and dated by an architect or engineer that is registered in the State of Tennessee.

9. Owner must arrange for debris and mud to be kept from the streets during construction or the City will remove it and charge the owner.

Include a fee of \$ 400.00 with this application (check payable to the City of Bartlett).

INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED

5727 stage road

SSD investment LLC

•
I respectfully submit this request for approval. •
of the window security bars installed at my
business located at 5727 Stage Road, Bartlett,
.TN

•
Due to multiple break-ins—most recently on •
March 5, 2025—I installed the bars out of
necessity to protect the store, inventory, and
staff. While security was our priority, I
understand the importance of city design
standards and apologize for not obtaining prior
.approval

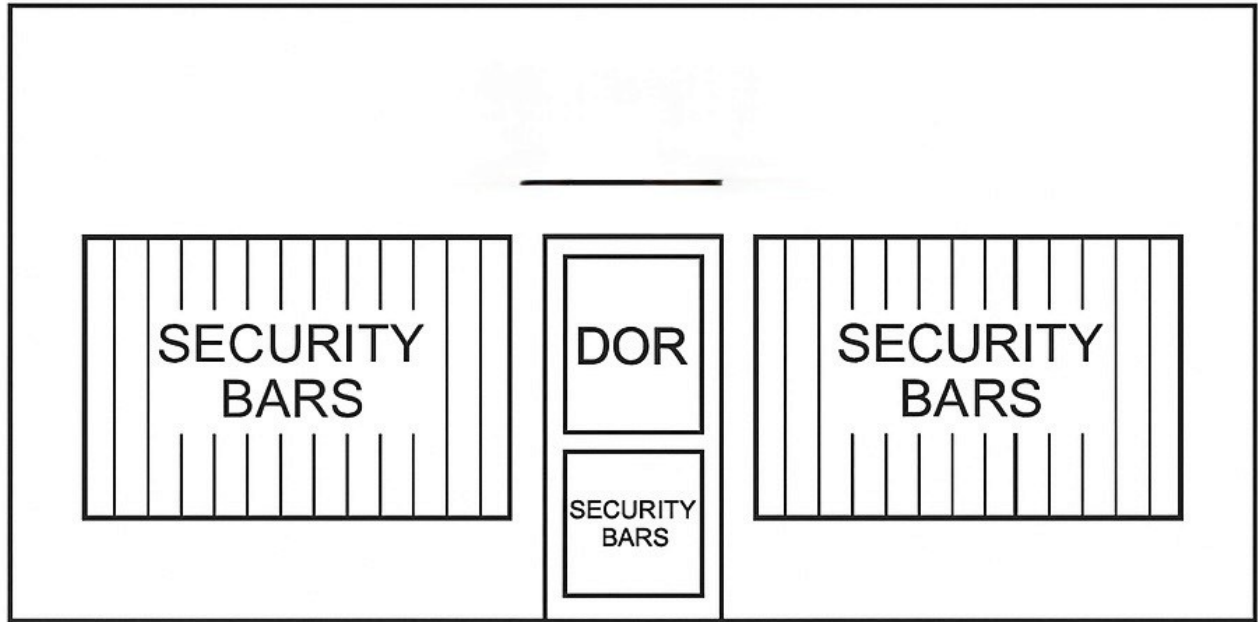
•
I sincerely apologize for not obtaining prior approval and , •
fully acknowledge the importance of complying with city
.design standards

Thank you for your time and understanding. I appreciate . •
.your guidance

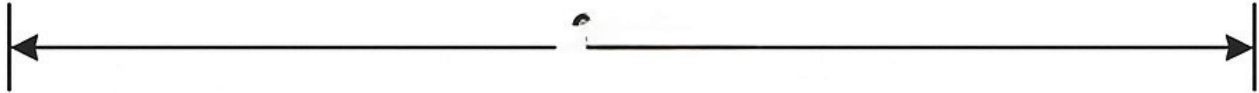
SSD investment LLC

Isaac Ayad

BUILDING



PROPERTY LINE



SITE PLAN

Installed bars



Left side
building



The door



Right side of the building





13 ft

Door 6 ft

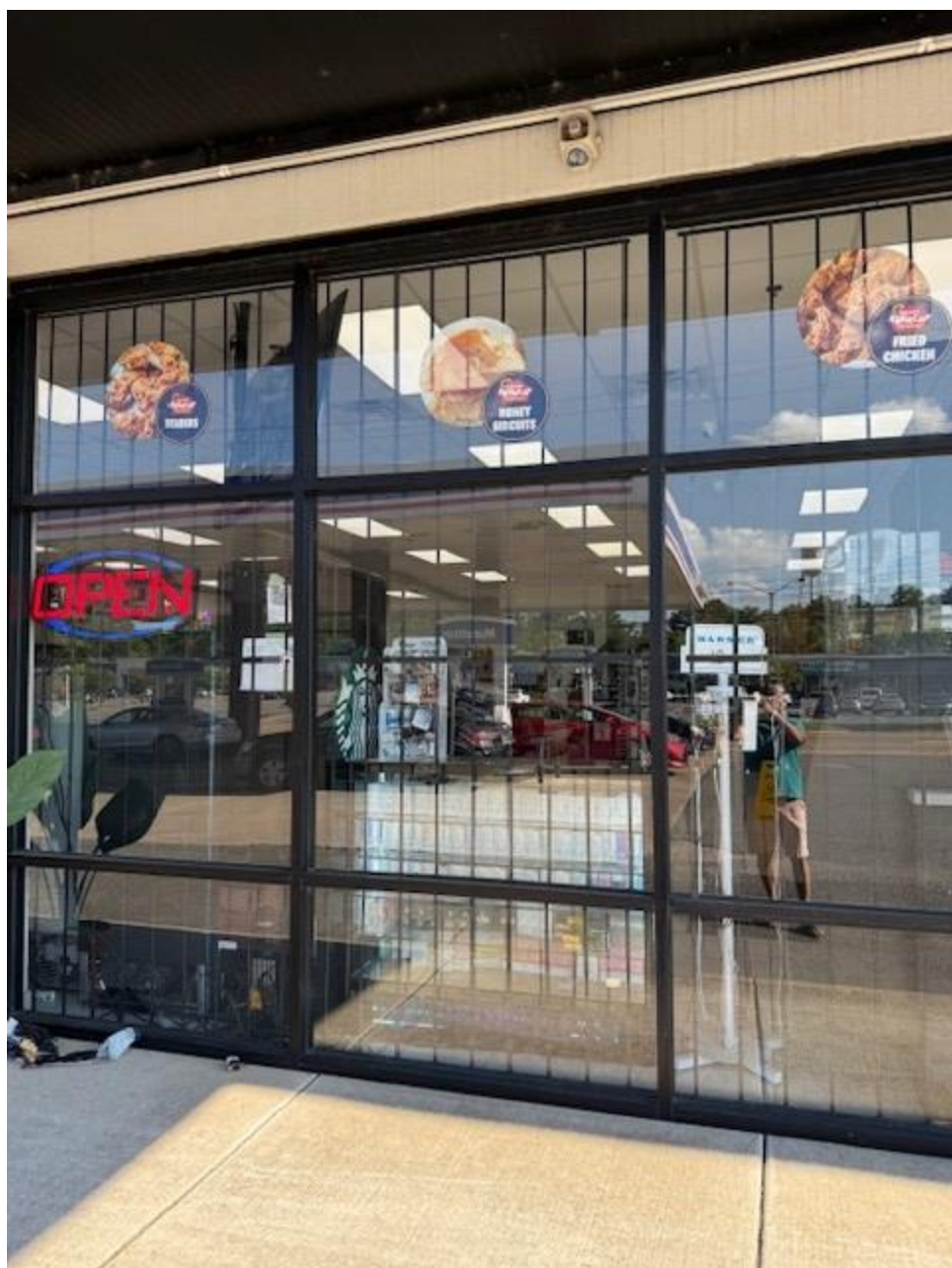
10 ft

13 ft



Front
building

















DRC Site Plan Application Application

Date: 08/19/2025

Project Information

Property Address: 8030 US Hwy 64
Project Name:

Present Zoning:
of Lots: 1

Description: Quick Serve Restaurant - Panda Express

Applicant / Owner

Applicant Name: Panda Restaurant Group
Company Name:
Address: 1683 Walnut Grove Avenue
City, State, Zip: Rosemead, CA 91770
Phone: 626-799-9898 ext 8412
Email: Brian.Kan@PandaRG.com

Owner Name: Hand Cut Steaks
Company Name:
Address: 20 Ralhing Circle, P.O Box
242869
City, State, Zip: Little Rock, AR 72223-9136
Phone: 501-821-1470
Email: pat@propertyventures.net

Architect / Engineer

Architect Contact: Virginia Hart
Company Name: SGA
Address: 1437 S. Boulder Ave, Suite
550
City, State, Zip: Tulsa, OK 74119
Phone: 918-587-8602
Email: vhart@sgadesigngroup.com

Architect Contact: Eric Lord (C/O Justin Crable)
Company Name: Atwell
Address: 1250 East Diehl Road
City, State, Zip: Naperville, IL 60563
Phone: 2242300551
Email: jcrable@atwell-group.com

I do hereby certify that the information contained herein is true and correct.

Justin Crable

Name

08/19/2025

Date

Bartlett Planning and
Economic Development Department
6400 Stage Road, P.O. Box 341148
Bartlett, TN 38184-1148
901-385-6417 FAX 901-385-6419
www.cityofbartlett.org

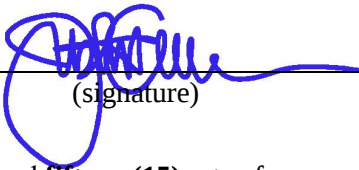
Application for Site Plan Approval to the Bartlett Design Review Commission

Project Name Panda Express - Store #D38584
Project Address 8030 U.S. Highway 64 / Bartlett, TN

Owner/Developer Contact Brian Kan
Company Name Panda Restaurant Group, Inc.
Address 1683 Walnut Grove Avenue / Rosemead, CA 91770
Phone: 626-799-9898 ext 841 Fax: _____ E-mail: brian.kan@pandarg.com

Architect Contact Virginia Hart
Company Name SGA Design Group
Address 1437 South Boulder Suite 550 / Tulsa, OK 74119-3609 vhart@sgadesigngroup.com
Phone: 918-587-8602 Fax: _____ E-mail: _____

Engineer Contact Eric Lord, P.E. (c.o. Justin Crable)
Company Name Atwell, LLC
Address 1250 E. Diehl Road Suite 300 / Naperville, IL 60563
Phone: 586-786-9800 Fax: _____ E-mail: elord@atwell.com
224-230-0551

Submitted by Justin Crable  08/19/2025
(printed name) (signature) (date)

- X Attach a checked-off “**Site Plan Checklist**” and **fifteen (15)** sets of your application.
- JC Acknowledge (by initials in the blank to the left) that the “**Application Instructions: Design Review Commission**” were obtained and read prior to submitting this application.
- X Provide an electronic PDF file of the plans. Note that an updated electronic file is required when plans are revised. The electronic file shall be labeled with the project name and accurately dated.
- X Include a fee of \$ 400.00 with this application (check payable to the City of Bartlett).

INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED

Site Plan Checklist

Bartlett Design Review Commission

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- X c. Proposed new trees, shrubs, and ground covers, shown graphically with plant common names and size.
- X d. Adequate landscape screening along property lines where required.
- X e. Grass strip between sidewalk and street curb.
- X f. Street trees on all commercial and residential site plans reviewed by the Commission, in accordance with the Bartlett Tree and Landscape Ordinance.
- X g. Parking lot planters.

3. Exterior Lighting

Provide details on the following:

- ___ a. Location
- ___ b. Height
- ___ c. Style of Fixtures
- ___ d. * Photometric Plan with design and arrangement to prevent intrusion on adjoining property and streets.
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4. Trash Collection Areas

- X a. Type and location indicated on plan.
- X b. Trash receptacles in accordance with Bartlett Codified Ordinance 17-103. (Ask for dumpster enclosure drawings.)

5. Gas And Electric Meters And Transformer Locations

- X a. Locations shown in rear of commercial project in accessible area.
- X b. Screening of all meters.
- X c. Water meter location.

6. Mechanical Units, Vents (Plumbing Heating, etc.).

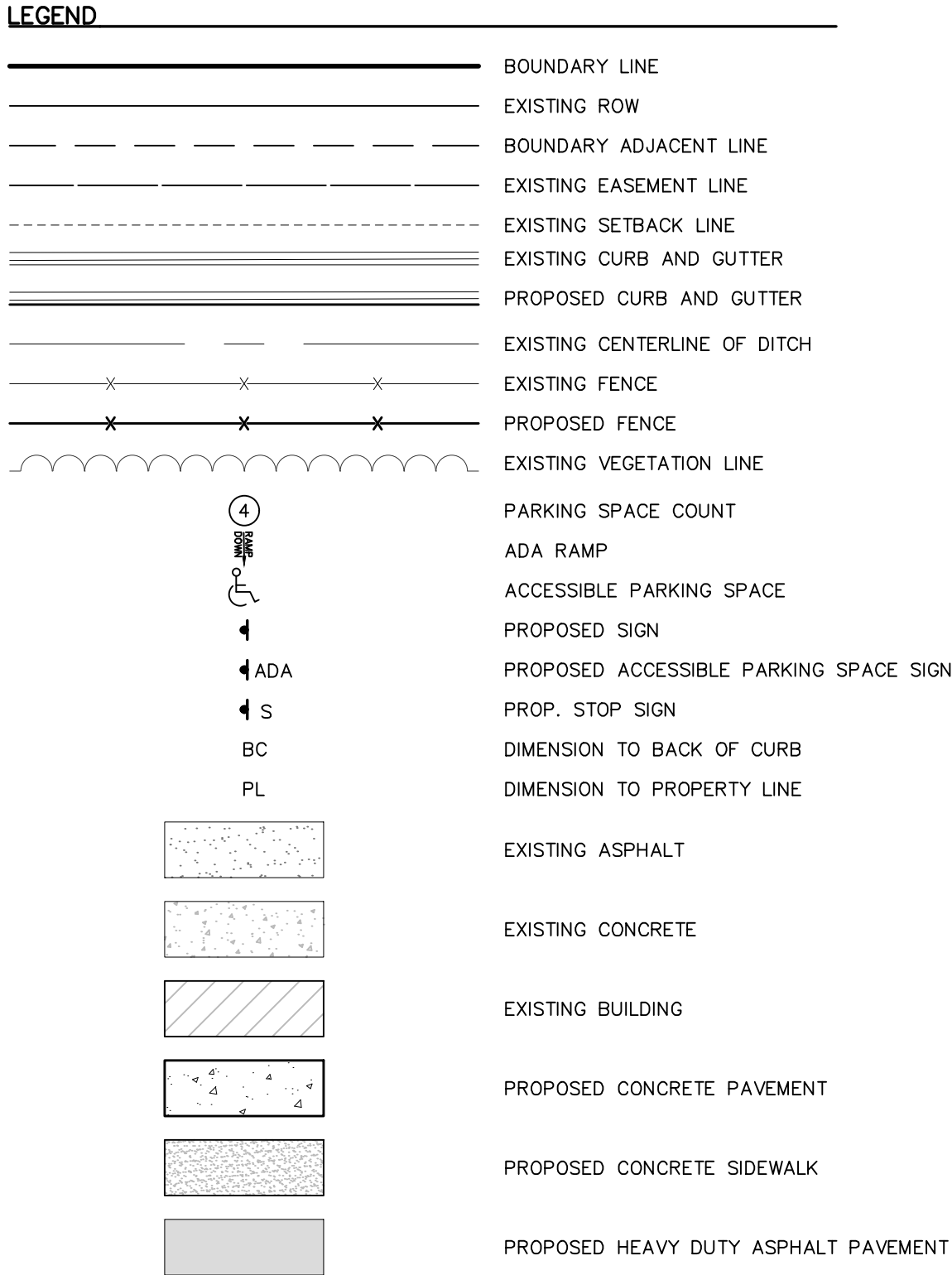
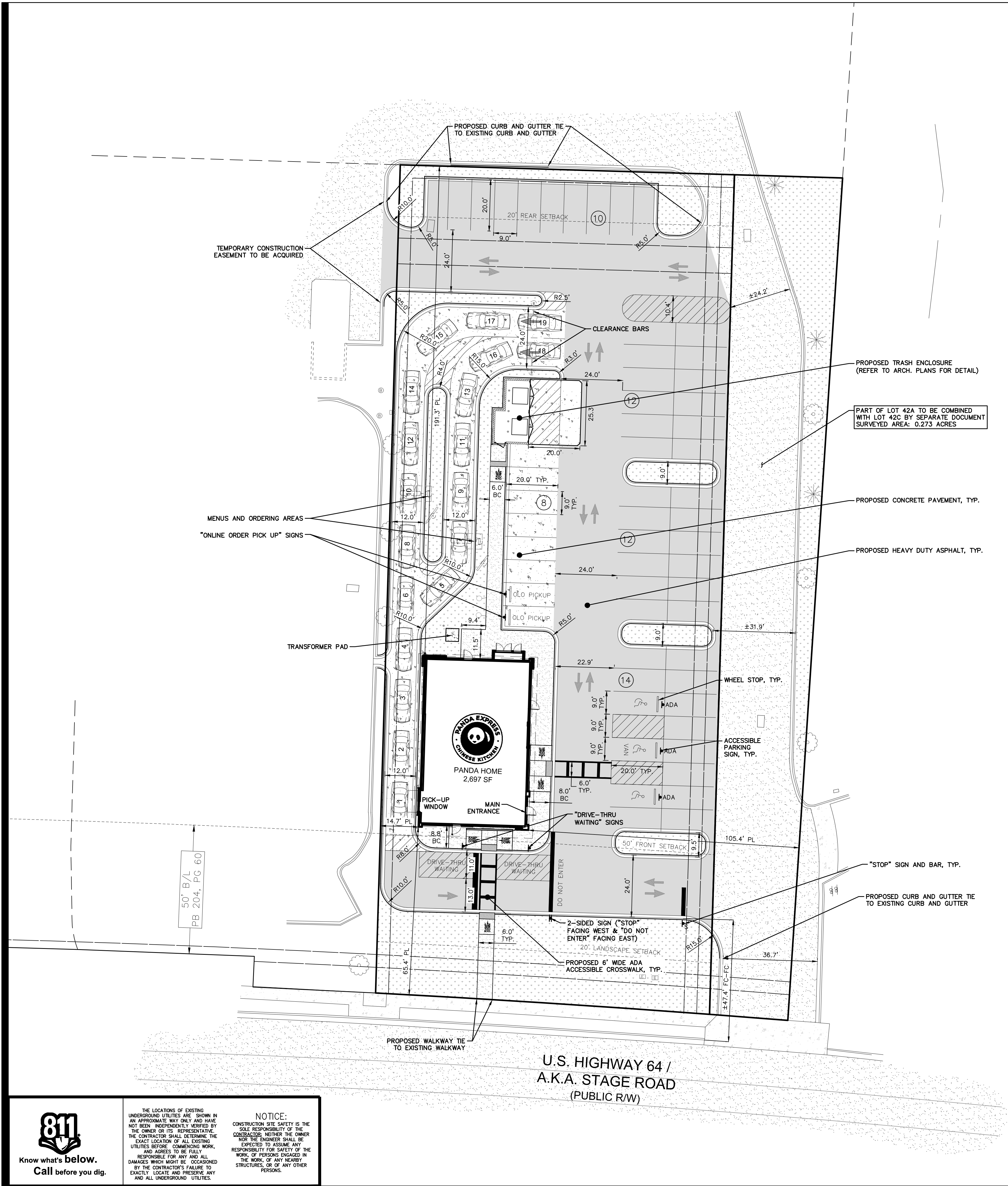
- X a. Location Shown in dashed grey lines on elevations
- X b. Screening required

7. Exterior Material

- | | Roofing | Exterior |
|---|---|----------|
| <u>X</u> a. Material | <u>Refer to exterior finish schedule on arch elevations</u> | |
| <u>X</u> b. Colors | _____ | _____ |
| <u>X</u> c. Large samples of colors and materials must be presented at the meeting. | | |

8. Plans shall be sealed, signed and dated by an architect or engineer that is registered in the State of Tennessee.

9. Owner must arrange for debris and mud to be kept from the streets during construction or the City will remove it and charge the owner.



SITE BOUNDARY, TOPOGRAPHY, UTILITY, AND ROAD INFORMATION TAKEN FROM A SURVEY PREPARED BY ATWELL, LLC DATED 04/10/2025.

- NOTES:
- REFERENCE THE STANDARD NOTES SHEET FOR ADDITIONAL INFORMATION.
 - REFERENCE THE ALTANSPS LAND TITLE SURVEY FOR ADDITIONAL EXISTING FEATURES AND PROPERTY BOUNDARY INFORMATION.
 - ALL DIMENSIONS ARE TO EDGE OF BUILDING OR FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL DIMENSIONS ARE MEASURED TO THE STRUCTURAL FACE OF THE BUILDING, NOT THE BUILDING FACADE.
 - REFER TO ARCHITECTURAL/FOUNDATION PLANS FOR BUILDING DIMENSIONS.
 - ALL SIDEWALK ADJACENT TO THE BUILDING SHALL BE INTEGRAL WALK UNLESS OTHERWISE NOTED.
 - LIGHT POLE LOCATIONS ARE SHOWN FOR REFERENCE ONLY. SEE SITE LIGHTING ELECTRICAL PLANS FOR LIGHT POLE DETAILS, LOCATION, AND INTENSITIES.
 - ALL PAVEMENT MARKINGS AND STRIPING AREA MEASURED TO THE CENTERLINE.
 - ALL STRIPING SHALL BE 4" WHITE PAINT UNLESS OTHERWISE NOTED. ALL STRIPING SHALL BE APPLIED WITH TWO COATS OF PAINT AT MANUFACTURER'S RECOMMENDED RATE. SEE STRIPING DETAIL.

SITE INFORMATION:

JURISDICTION: CITY OF BARTLETT, TENNESSEE
ZONING DISTRICT: C-H (COMMERCIAL)

SITE AREA CALCULATIONS	EXISTING	PROPOSED
LOT 42C	0.967 ACRES	--
PART OF 42A TO BE COMBINED W/ 42C	0.273 ACRES	--
TOTAL SITE AREA	1.24 ACRES	1.24 ACRES
PERVIOUS AREA	0.24 ACRES	0.25 ACRES
IMPERVIOUS AREA	1.00 ACRES	0.99 ACRES

DISTURBED AREA	1.05 ACRES
BUILDING AREA	2,697 SF

BUILDING SETBACK	REQUIRED	PROVIDED
FRONT (SOUTH)	50"	65.4'
SIDE (EAST)	5'	105.4'
SIDE (WEST)	5'	14.7'
REAR (NORTH)	20'	191.3'

* RECORDED PLAT FOR LOT 42C HAS A 50 FOOT SETBACK LINE.

PARKING SETBACK	REQUIRED
FRONT (SOUTH)	N/A
SIDE (EAST)	N/A
SIDE (WEST)	N/A
REAR (NORTH)	N/A

PARKING DATA:
REQUIRED PARKING CALCULATION: 13.6 SPACES PER 1,000 SQUARE FEET, OR 36 SPACES PER 100 SEATS, PLUS 7 SPACES, WHICHEVER IS GREATER.

TOTAL REQUIRED SPACES 37 SPACES

PROVIDED	
REGULAR (9' X 20')	53 SPACES
ADA (9' X 20')	3 SPACES
TOTAL PROVIDED SPACES	56 SPACES

DRIVE-THRU STACKING PROVIDED: 19
DRIVE AISLE WIDTH: 24'

FLOOD HAZARD: ZONE X (AREA OF MINIMAL FLOOD HAZARD)
FIRM MAP NO. 47157C0310G, DATED 02/06/2013

SITE LIGHTING:
PHOTOMETRICS DESIGNED BY OTHERS. POLE LOCATIONS ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY FINAL LOCATIONS WITH PHOTOMETRICS PLAN AND OWNER PRIOR TO CONSTRUCTION.



PANDA EXPRESS, INC.
1683 WALNUT GROVE AVE.
ROSEMead, CALIFORNIA 91770
TELEPHONE: 626.799.9898
FACSIMILE: 626.372.8268

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

ISSUE DATE:

01 PRELIMINARY SITE PLANS 07/07/25

DRAWN BY: CMP/AMW

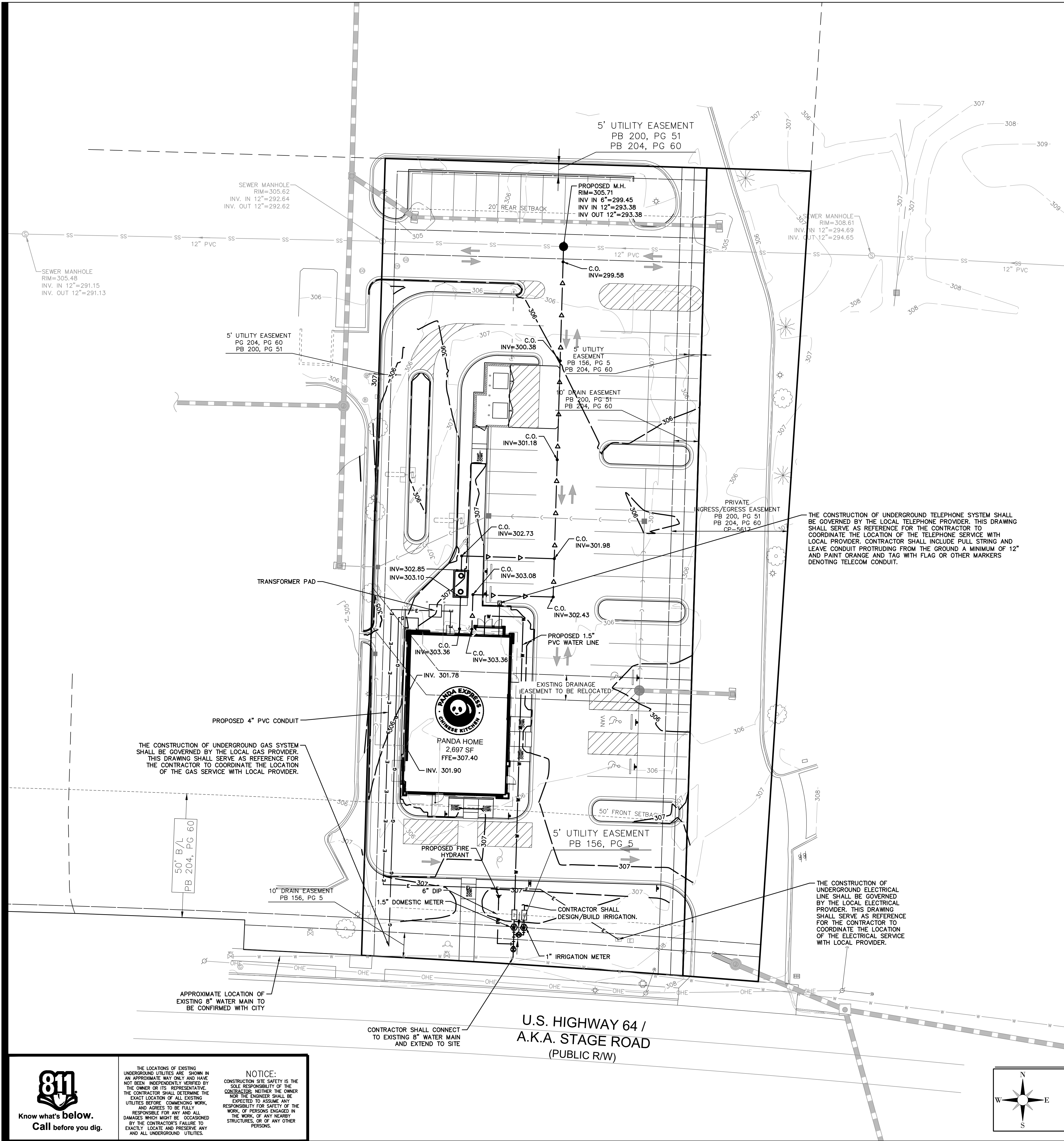
PANDA PROJECT #: S8-27-D38584
PANDA STORE #: D38584
CIVIL PROJECT #: 25002113



SITE LAYOUT PLAN

C03.0

PANDA HOME ESSENTIALS R2



LEGEND	
	BOUNDARY LINE
	EXISTING ROW
	BOUNDARY ADJACENT LINE
	EXISTING EASEMENT LINE
	EXISTING SETBACK LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING CURB AND GUTTER
	PROPOSED CURB AND GUTTER
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING UNDERGROUND GAS
	PROPOSED UNDERGROUND GAS
	EXISTING UNDERGROUND TELEPHONE
	PROPOSED UNDERGROUND TELEPHONE
	EXISTING UNDERGROUND ELECTRIC
	EXISTING OVERHEAD ELECTRIC
	PROPOSED UNDERGROUND ELECTRIC
	EXISTING UNDERGROUND CABLE
	PROPOSED UNDERGROUND CABLE
	EXISTING CENTERLINE OF DITCH
	EXISTING FENCE
	PROPOSED FENCE
	EXISTING VEGETATION LINE
	EXISTING LIGHT POLE
	PROPOSED LIGHT POLE/WALL PACK LIGHT
	EXISTING STORM CATCH BASIN/MANHOLE
	PROPOSED STORM CATCH BASIN/MANHOLE
	EXISTING CLEANOUT
	PROPOSED CLEANOUT
	PROPOSED DOWNSPOUT
	EXISTING END SECTION
	PROPOSED END SECTION
	EXISTING WATER VALVE
	PROPOSED WATER VALVE
	EXISTING FIRE HYDRANT
	PROPOSED FIRE HYDRANT
	PROPOSED WATER METER
	PROPOSED REDUCER
	PROPOSED FIRE DEPARTMENT CONNECTION
	EXISTING UTILITY POLE
	PROPOSED UTILITY POLE
	PROPOSED UTILITY CROSSING, SEE UTILITY CROSSING CHART THIS SHEET

SITE BOUNDARY, TOPOGRAPHY, UTILITY, AND ROAD INFORMATION TAKEN FROM A SURVEY PREPARED BY ATWELL, LLC DATED 04/10/2025.

CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH APPROPRIATE UTILITY COMPANIES TO ENSURE THAT THE REQUIRED VERTICAL AND HORIZONTAL CLEARANCES AT ALL LOCATIONS WHERE ANY UTILITY LINE CROSSES AN EXISTING OR PROPOSED GAS, TELEPHONE OR ELECTRIC LINE ARE MET.



PANDA EXPRESS, INC.
1683 WALNUT GROVE AVE.
ROSEMEAD, CALIFORNIA 91770
TELEPHONE: 626.799.9898
FACSIMILE: 626.372.8268

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REVISIONS:

ISSUE DATE:

01 PRELIMINARY SITE PLANS 07/07/25

DRAWN BY: CMP/AMW

PANDA PROJECT #: S8-27-D38584
PANDA STORE #: D38584
CIVIL PROJECT #: 25002113



PRELIMINARY UTILITY PLAN

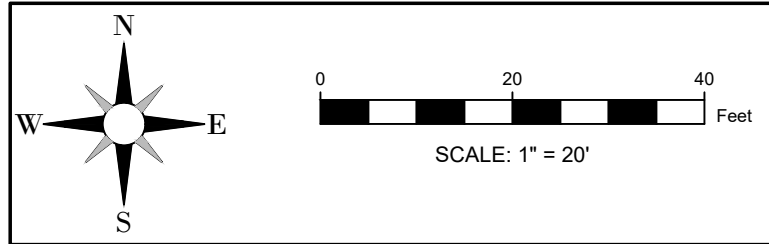
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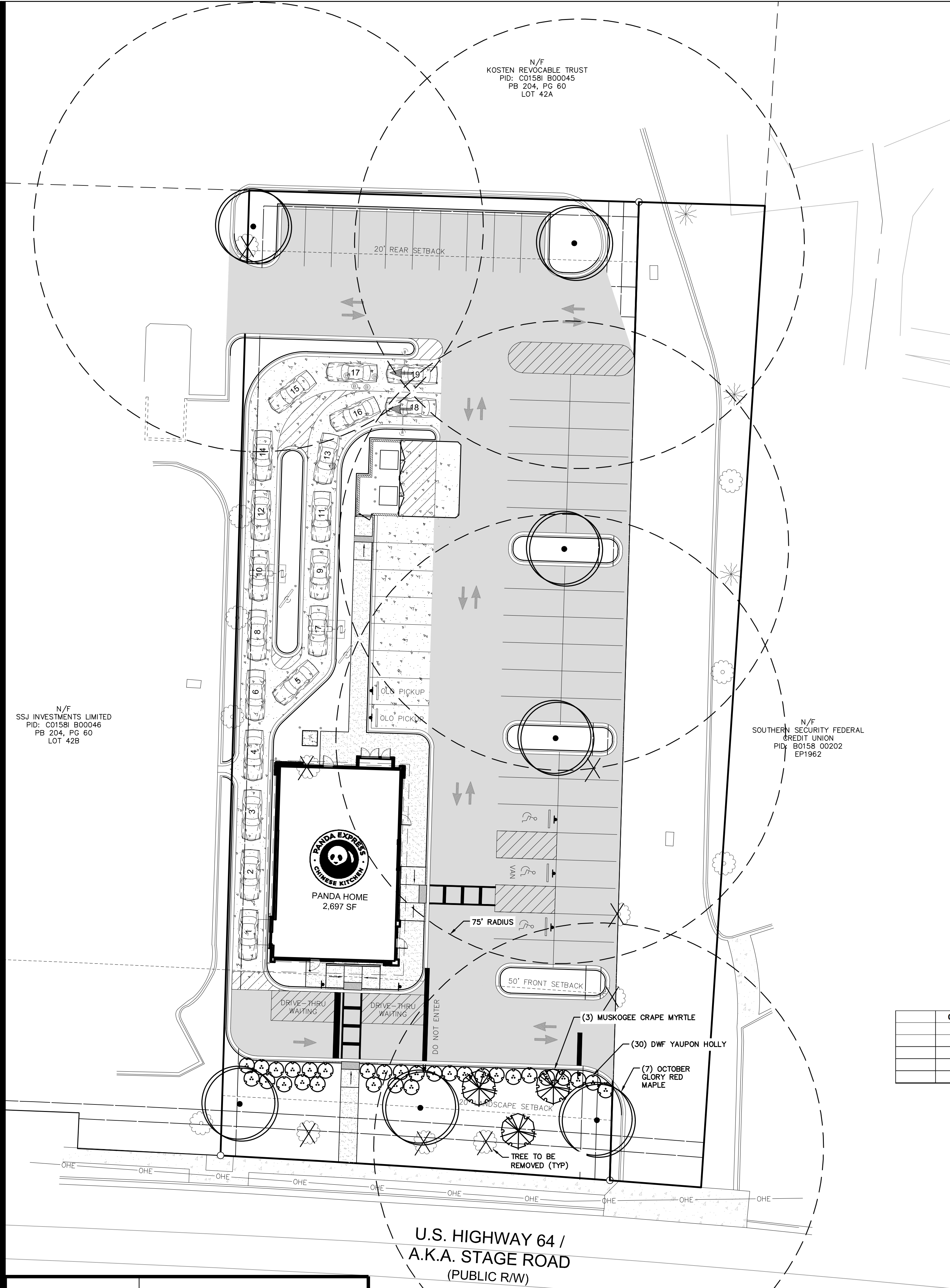
PANDA HOME ESSENTIALS R2



THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.





N/F
SSJ INVESTMENTS LIMITED
PID: C01581 B00046
PB 204, PG 60
LOT 42B

N/F
KOSTEN REVOCABLE TRUST
PID: C01581 B00045
PB 204, PG 60
LOT 42A

N/F
SOUTHERN SECURITY FEDERAL
CREDIT UNION
PID: B0158 0202
EP1962

	QTY	COMMON NAME	BOTANICAL NAME	SIZE/UNIT	SIZE/UNIT	COMMENTS
	7	OCTOBER GLORY RED MAPLE	ACER RUBRUM 'OCTOBER GLORY'	2.5"	17.5	B&B, 14-16' HT.
	3	MUSKOGEE CRAPE MYRTLE	LAGERSTROEMIA INDICA 'MUSKOGEE'	2.5"	7.5	B&B, 14-16' HT.
	30	DWF YAUPON HOLLY	ILEX VOMITORIA 'NANA'	3-GAL		FULL CONTAINER
				TOTAL	25	

GENERAL

1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING ALL WORK AS SPECIFIED IN ACCORDANCE WITH THE PLANS AND AS LISTED IN THE GENERAL NOTES.
2. BEFORE BEGINNING ANY WORK, ALL UTILITIES AND UNDERGROUND CONSTRUCTION SHALL BE LOCATED BY THE LANDSCAPE CONTRACTOR SO THAT PROPER PRECAUTIONS MAY BE TAKEN NOT TO DISTURB OR DAMAGE ANY SUBSURFACE IMPROVEMENTS. WHERE PUBLIC UTILITIES ARE PRESENT, THE LANDSCAPE CONTRACTOR SHALL REQUEST ON-SITE LOCATIONS BY ALL UTILITY COMPANIES AND CONFIRM THAT SUCH LOCATIONS HAVE BEEN COMPLETED. THE LANDSCAPE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MAKING, AT HIS OWN EXPENSE, ALL REPAIRS TO DAMAGED UTILITIES RESULTING FROM WORK COVERED BY THIS CONTRACT.
3. ANY DAMAGE DONE BY THE LANDSCAPE CONTRACTOR TO ANY PAVING, BUILDINGS, CURB, OR WALKS SHALL BE REPAIRED OR REPLACED BY THE LANDSCAPE CONTRACTOR.
4. THE LANDSCAPE CONTRACTOR SHALL TAKE MEASURES TO PREVENT DUST, MUD, MARKS, ETC FROM SOILING AND DAMAGING IMPROVEMENTS. ANY DAMAGE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
5. THE LANDSCAPE CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE FROM ALL PARTS OF THE PROJECT.
6. ALL PROPOSED PLANT MATERIALS SHALL BE FREE FROM INJURY, PEST, DISEASE, OR ROOT DEFECTS AND SHALL MEET OR EXCEED STANDARDS SET FORTH IN THE CURRENT EDITION OF 'AMERICAN STANDARD FOR NURSERY STOCK'. THE LANDSCAPE ARCHITECT MAY REJECT PLANT MATERIAL OR INSTALLATION WHICH DOES NOT COMPLY WITH THE SPECIFICATIONS OF THIS DRAWING AT ANY TIME PRIOR TO FINAL ACCEPTANCE.
7. PLANTS SHALL BE WATERED PRIOR TO TRANSPORTATION AND SHALL BE KEPT MOIST UNTIL PLANTED. ALL PLANTS SHALL BE PROTECTED FROM DESICCATION DURING DELIVERY WITH A PROTECTIVE COVERING OR ENCLOSED TRUCK.
8. THE PLANT LIST IS FOR THE LANDSCAPE CONTRACTORS CONVENIENCE. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE COUNT FROM THE PLAN AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.
9. ALL LANDSCAPE AREAS WHERE ASPHALT OR CURBING HAS BEEN REMOVED AND ALL LANDSCAPE ISLANDS MUST HAVE CLEAN, FRIABLE TOPSOIL TO A TOTAL DEPTH OF TWO (2) FEET.
10. THE LANDSCAPE CONTRACTOR SHALL FURNISH ALL MATERIALS INCLUDING, BUT NOT LIMITED TO, TOPSOIL, MULCHES, LIMES, AND FERTILIZERS NECESSARY FOR THE HEALTHY GROWTH OF PLANT MATERIAL.
11. INSTALL TREES PLUMB. DO NOT DEPEND ON STAKING TO PULL PLANTS TO PLUMB POSITION. STAKING SHALL BE ON AN AS-NEEDED BASIS.
12. ALL MOWABLE LAWN AREAS SHALL BE SODDED WITH BERMUDA GRASS. ALL SLOPES 3:1 OR GREATER SHALL BE SEEDED AS NOTED ON PLAN.
13. MULCH ALL GROUND COVER AND PLANTING BEDS AND A 4'-0" DIAMETER BASE AROUND ALL FREE STANDING TREES WITH 4" MIN. FRESH PINE STRAW.
14. WHERE TREES ARE PLANTED CLOSER THAN 5 FEET FROM CURB OR SIDEWALK, EITHER CONCRETE OR HDPE (HIGH DENSITY POLYURETHANE PLASTIC) ROOT BARRIERS MUST BE INSTALLED. THESE ROOT BARRIERS MUST BE A MINIMUM OF 30 INCHES DEEP.
15. ALL TEMPORARY CONSTRUCTION ACTIVITIES WILL OCCUR IN PARKING LOT AREAS ON THE SITE.
16. SHRUB HEIGHTS SHALL BE MAINTAINED AT 2'-0" AND TREE CANOPIES SHALL BE ABOVE 6'-0" AT ALL PLANTING ISLANDS AND DRIVE OPENINGS WITHIN THE PARKING LOT AND INTERSECTING STREETS BY LANDSCAPE CONTRACTOR AND OWNER TO INSURE SAFE SIGHT DISTANCES.
17. ALL CONSTRUCTION DEBRIS IS TO BE ENTIRELY REMOVED FROM SITE BY THE LANDSCAPE CONTRACTOR.
18. THE LANDSCAPE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE MAINTENANCE, INCLUDING WATERING, WEEDING, PRUNING, MOWING OF LAWNS, AND RE-MULCHING OF THIS WORK UNTIL DATE OF FINAL ACCEPTANCE.

GRASSING

1. PREPARE AREAS TO BE GRASSED BY REFINED GRADING TO INSURE PROPER DRAINAGE AND DISCOURAGE EROSION.
 2. ELIMINATE UNDESIRABLE GRASS AND WEED GROWTH IN AREAS TO BE GRASSED AND TAKE MEASURES AS NECESSARY TO PREVENT REGROWTH OF UNDESIRABLE PLANTS. SOIL SHALL BE TILLED OR LOOSENED TO 4" MIN. DEPTH, INCORPORATING FERTILIZER, LIME AND OTHER APPROPRIATE ADDITIVES AS INDICATED BY SOIL TEST INTO THE TOP 2" TO 3".
- INSPECTION
1. THE OWNER'S REPRESENTATIVE SHALL INSPECT THE TOTAL WORK FOR ACCEPTANCE UPON REQUEST OF THE LANDSCAPE CONTRACTOR. ANY UNSATISFACTORY ITEMS SHALL BE NOTED AND MUST BE REMEDIED BY THE LANDSCAPE CONTRACTOR PRIOR TO ACCEPTANCE. UPON SATISFACTORY COMPLETION OF ALL WORK, THE OWNER'S REPRESENTATIVE SHALL CERTIFY IN WRITING ACCEPTANCE OF THE WORK. PAYMENT FOR CONTRACT WORK TO THE CONTRACTOR PURSUANT TO ISSUANCE OF ACCEPTANCE SHALL BE DEEMED THE FINAL PAYMENT FOR SAID WORK.

WARRANTY

1. ALL PLANT MATERIAL SHALL BE WARRANTED BY THE LANDSCAPE CONTRACTOR FOR A PERIOD OF ONE YEAR FOLLOWING ACCEPTANCE. THE LANDSCAPE CONTRACTOR SHALL REPLACE, AT NO EXPENSE TO THE OWNER, UNHEALTHY PLANTS WITHIN 15 DAYS. THIS ASSUMES THAT THE OWNER HAS FOLLOWED THE APPROPRIATE MAINTENANCE PROCEDURES AND THAT NO SUCH REPLACEMENTS ARE NECESSITATED BY NEGLIGENCE OR ABUSE BY OWNER, BY VANDALISM OR BY ACTS-OF-GOD DAMAGE.
2. REPLACEMENT SIZES SHALL BE COMPARABLE TO THOSE ATTAINED BY ADJACENT THRIVING PLANTS. ALL REPLACEMENT STOCK WILL BE SUBJECT TO THE SAME WARRANTY REQUIREMENTS AS THE ORIGINAL STOCK. REPLACEMENT WARRANTY BEGINS ON DAY OF INSTALLATION.
3. THE LANDSCAPE CONTRACTOR SHALL MAKE ALL NECESSARY REPAIRS TO GRADES, VEGETATIVE COVER AND PAVING REQUIRED BECAUSE OF PLANT REPLACEMENTS. SUCH REPAIRS SHALL BE DONE AT NO EXTRA COST TO THE OWNER.

LEGEND

	BOUNDARY LINE
	EXISTING ROW
	BOUNDARY ADJACENT LINE
	EXISTING EASEMENT LINE
	EXISTING SETBACK LINE
	EXISTING CURB AND GUTTER
	PROPOSED CURB AND GUTTER
	EXISTING CENTERLINE OF DITCH
	EXISTING FENCE
	PROPOSED FENCE
	EXISTING VEGETATION LINE
	PARKING SPACE COUNT
	ADA RAMP
	ACCESSIBLE PARKING SPACE
	PROPOSED SIGN
	PROPOSED ACCESSIBLE PARKING SPACE SIGN
	PROP. STOP SIGN
	DIMENSION TO BACK OF CURB
	DIMENSION TO PROPERTY LINE
	EXISTING ASPHALT
	EXISTING CONCRETE
	EXISTING BUILDING
	PROPOSED CONCRETE PAVEMENT
	PROPOSED CONCRETE SIDEWALK
	PROPOSED HEAVY DUTY ASPHALT PAVEMENT

SITE BOUNDARY, TOPOGRAPHY, UTILITY, AND ROAD INFORMATION TAKEN FROM A SURVEY PREPARED BY ATWELL, LLC DATED 04/10/2025.

SITE INFORMATION:

JURISDICTION: CITY OF BARTLETT, TENNESSEE
ZONING DISTRICT: C-H (COMMERCIAL)

SITE AREA CALCULATIONS	EXISTING	PROPOSED
LOT 42C	0.967 ACRES	--
PART OF 42A TO BE COMBINED W/ 42C	0.273 ACRES	--
TOTAL SITE AREA	1.24 ACRES	1.24 ACRES
PERVIOUS AREA	0.24 ACRES	0.25 ACRES
IMPERVIOUS AREA	1.00 ACRES	0.99 ACRES

DISTURBED AREA	1.05 ACRES
BUILDING AREA	2,697 SF

LANDSCAPE REQUIREMENTS

TOTAL SITE AREA	1.24 ACRES
DENSITY REQUIRED	20 UNITS/AC (24.8 UNITS)
DENSITY PROPOSED	25 UNITS
FRONT LANDSCAPE STRIP	PROPOSED PLATE 23A
PARKING LOT TREES	ALL PARKING TO BE WITHIN 75' OF TREE
SEASONAL COLOR REQUIRED	1% (540 SF)

BUILDING SETBACK	REQUIRED	PROVIDED
FRONT (SOUTH)	50'	65.4'
SIDE (EAST)	5'	105.4'
SIDE (WEST)	5'	14.7'
REAR (NORTH)	20'	191.3'

* RECORDED PLAT FOR LOT 42C HAS A 50 FOOT SETBACK LINE.

PARKING SETBACK	REQUIRED
FRONT (SOUTH)	N/A
SIDE (EAST)	N/A
SIDE (WEST)	N/A
REAR (NORTH)	N/A

PARKING DATA:

REQUIRED PARKING CALCULATION: 13.6 SPACES PER 1,000 SQUARE FEET; OR 36 SPACES PER 100 SEATS, PLUS 7 SPACES, WHICHEVER IS GREATER.

TOTAL REQUIRED SPACES	37 SPACES
-----------------------	-----------

PROVIDED	
REGULAR (8' X 20')	53 SPACES
ADA (8' X 20')	3 SPACES
TOTAL PROVIDED SPACES	56 SPACES

DRIVE-THRU STACKING PROVIDED:	19
DRIVE AISLE WIDTH: 24'	

FLOOD HAZARD: ZONE X (AREA OF MINIMAL FLOOD HAZARD)
FIRM MAP NO. 47157C0310G, DATED 02/06/2013

SITE LIGHTING:

PHOTOMETRICS DESIGNED BY OTHERS. POLE LOCATIONS ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY FINAL LOCATIONS WITH PHOTOMETRICS PLAN AND OWNER PRIOR TO CONSTRUCTION.



PANDA EXPRESS, INC.

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TELEPHONE: 626.799.9898
FACSIMILE: 626.372.8268

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REVISIONS:

ISSUE DATE:

01 PRELIMINARY SITE PLANS 07/07/25

DRAWN BY: CMP/AMW

PANDA PROJECT #: S8-27-D38584

PANDA STORE #: D38584

CIVIL PROJECT #: 25002113



PRELIMINARY LANDSCAPE PLAN

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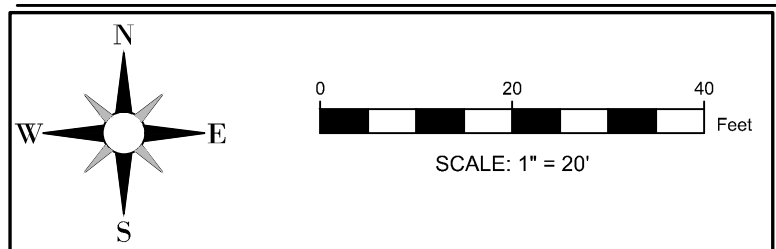
PANDA HOME ESSENTIALS R2



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Call before you dig.

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EXTERIOR FINISH SCHEDULE

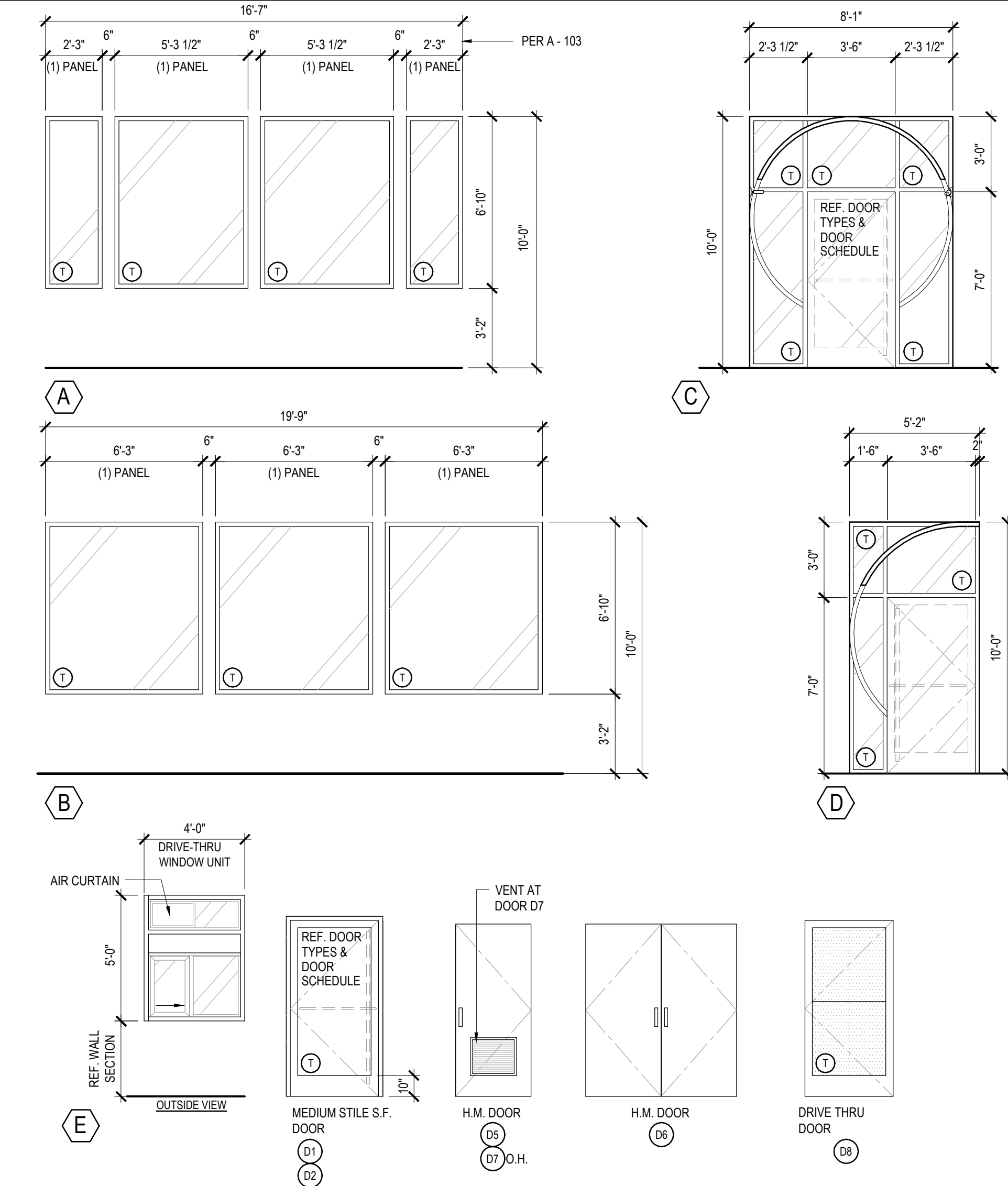
NO.	MANUFACTURER	MFG#	COLOR	FINISH	NOTES
EIFS-1	STO	STOTHERM ESSENCE SYSTEM	SW 7646 FIRST STAR	FINE	BUILDING BODY NOTE: EIFS TO RECEIVE FINAL COAT OF STO-CORP STOLASTIC ELASTOMERIC COATING TINTED TO DESIRED COLOR AS SCHEDULED
EIFS-2	STO	STOTHERM ESSENCE SYSTEM	SW 7069 IRON ORE	FINE	EIFS ACCENT BAND
EIFS-3	STO	STOTHERM ESSENCE SYSTEM	PANTONE COLOR P200C - RED	FINE	EIFS BEHIND TRELLIS
ST-IS	CORONADO STONE PRODUCTS	CHISELED STONE SILL	CHARCOAL	-	STONE CAP (3/8" VERTICAL JOINT - MORTAR TO MATCH STONE CAP)
ST-I	CORONADO STONE PRODUCTS	STRIP STONE	BLACK FOREST	-	WAINSCOT CONTACT: 864-962-1221 PROVIDE 3/8" MORTAR JOINTS. MFG: ARGOS. COLOR: CHARCOAL
CD-1	FBERON	WILDWOOD	BAMBOO	-	COMPOSITE CLADDING - CONTACT: MARIA SCHOLLER 419-704-8924 EMAIL: MARIA.SCHOLLER@FBERONCLADDING.COM
MTL-1	EXCEPTIONAL METALS	-	"PANDA EXPRESS SW7069 - IRON ORE"	-	CAP FLASHING
MTL-2	PANDA VENDOR	ALLEN INDUSTRIES	PMS BLACK- 7C	SATIN FINISH	CANOPY W/ LED W/ DOWN LIGHT AROUND BUILDING
MTL-3	BERRIDGE	TEE PANEL, 24 GA. STEEL	MATTE BLACK	-	1" SEAM AT 12 3/4" O.C.

INSTALLED AND FURNISHED BY G.C. UNLESS NOTED OTHERWISE.

WINDOW SCHEDULE

SYM	WIDTH	HEIGHT	GLASS	FRAME	REMARKS	NOTES
A	16'-7" LIN. FEET	6'-10"	1" INSULATED GLASS	BLACK ANOD. ALUMINUM STOREFRONT	1" INSULATED GLAZING, IN 4.5" X 2" IN ANODIZED ALUMINUM FRAME REFER WINDOW TYPES FOR INDIVIDUAL SIZES	1. INSULATING GLASS SOLARBAN 60 LOW E- WINTER U=0.29; SHGC: 0.25; VIS TRANS: 35% 2. DOORS: FULL GLAZED DOORS W/10" KICK BASE, ANODIZED ALUM FINISH. REFER HARDWARE SCHEDULE.
B	19'-9" LIN. FEET	6'-10"	1" INSULATED GLASS	BLACK ANOD. ALUMINUM STOREFRONT	1" INSULATED GLAZING, IN 4.5" X 2" IN ANODIZED ALUMINUM FRAME REFER WINDOW TYPES FOR INDIVIDUAL SIZES	3. WINDOW DIMENSIONS ARE FOR BIDDING PURPOSES ONLY. G.C. TO VERIFY ACTUAL WINDOW DIMENSIONS PRIOR TO FABRICATION INSTALLATION.
C	8'-1"	10'-0"	1" INSULATED GLASS	BLACK ANOD. ALUMINUM STOREFRONT	KAWNEER CURTAIN WALL 1620 SYSTEM WITH 1" INSULATED GLAZING, IN 6" X 2" IN ANODIZED ALUMINUM FRAME MOON GATE TO CONNECT WITH KAWNEER ATTACHMENT BRACKET 834-745.	4. GLASS FACADE AND ENTRY DOORS TO BE DESIGNED, DETAILED, FACTORY FABRICATED AND SITE ASSEMBLED AND ERECTED
D	5'-2"	10'-0"	1" INSULATED GLASS	BLACK ALUMINUM STOREFRONT	KAWNEER CURTAIN WALL 1620 SYSTEM WITH 1" INSULATED GLAZING, IN 6" X 2" IN ANODIZED ALUMINUM FRAME MOON GATE TO CONNECT WITH KAWNEER ATTACHMENT BRACKET 834-745.	5. WINDOW SYSTEM SHALL COMPLY WITH APPLICABLE SECTION AND CHAPTER OF BUILDING CODE.
E	4'-0"	59 1/2	1" INSULATED GLASS	DARK BRONZE ANODIZED ALUMINUM	QUICK-SERV DRIVE-THRU WINDOW WITH (NON-HEATED AIR CURTAIN), WITH THRU-BEAM PHOTO-ELECTRIC BAR, ROUGH OPENING 48" X 60". REF. EQUIPMENT SCHEDULE FOR ADDITIONAL INFORMATION. CONTACT: BRIAN McCLOSKEY, 800-388-8307	① TEMPERED GLASS

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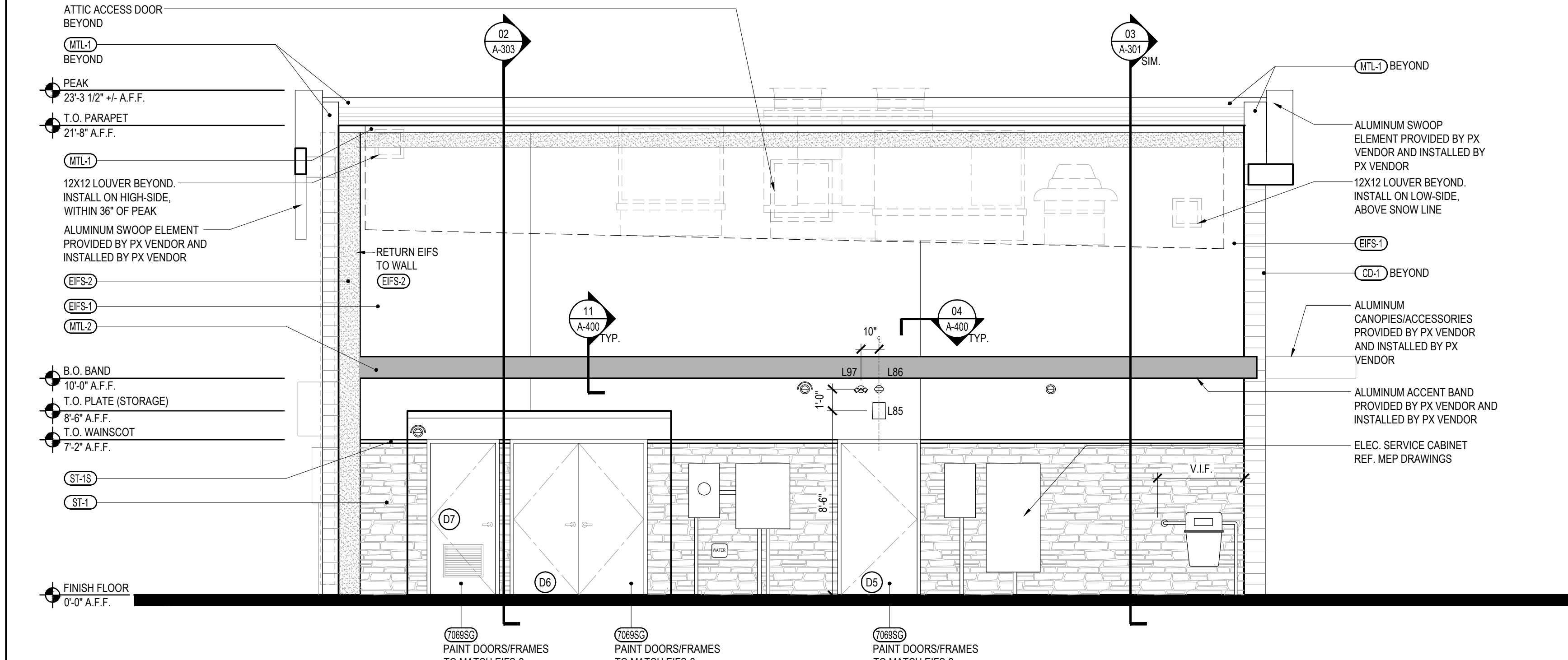


WINDOW AND DOOR ELEVATIONS

03

Scale= NTS

A-200

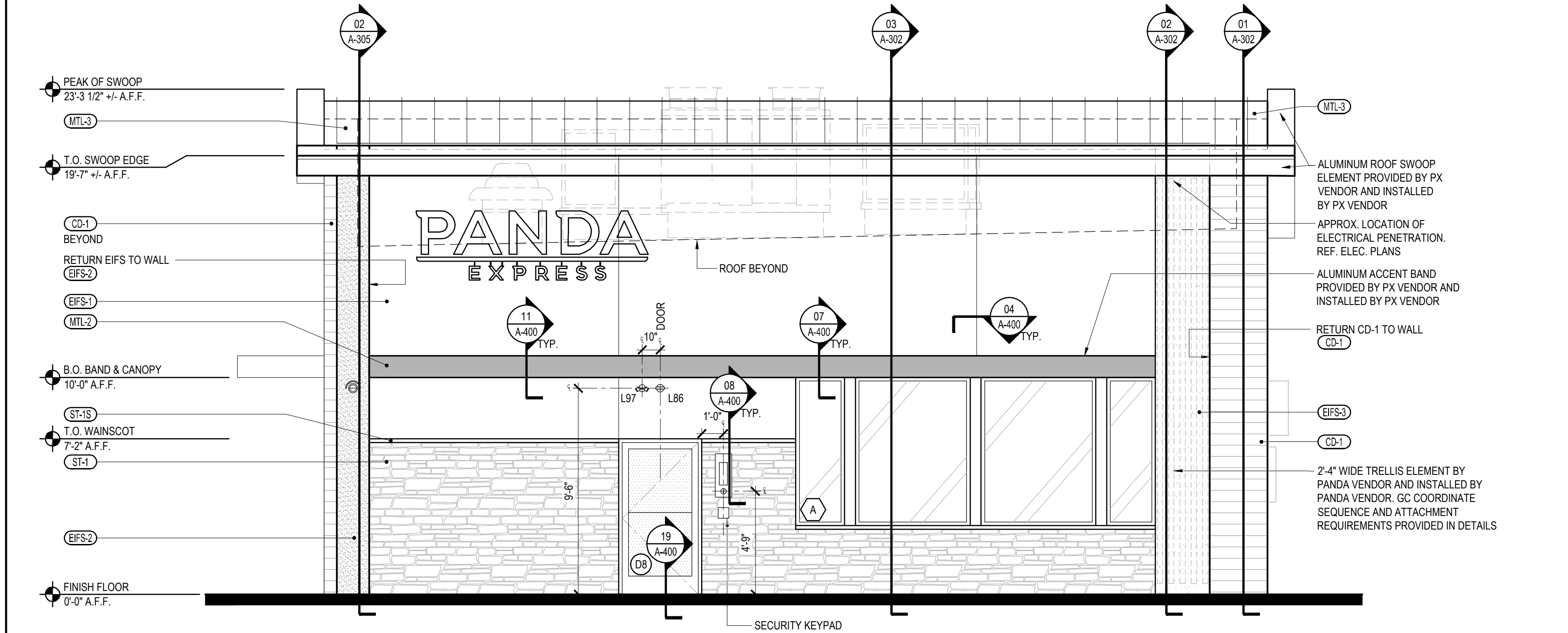


REAR ELEVATION

02

Scale= 1/4" = 1'-0"

A-200



FRONT ELEVATION

01

Scale= 1/4" = 1'-0"

A-200



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1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.8288

ISSUE DATE:

01 DRC 08/19/25

REVISIONS:

DRAWN BY: VGH

VGH

PANDA PROJECT #: D38584

PANDA STORE #: XXXXXXXX

ARCH PROJECT #: 2535201

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08/13/2025
Kristine M. Pagano
Digitally signed by
Kristine M. Pagano
Date: 2025.08.13
14:44:27 -0500

PANDA EXPRESS

PANDA HOME ESSENTIALS
US-64 & GERMANTOWN PKWY
BARTETT, TN

A-200

EXTERIOR ELEVATIONS

PANDA HOME ESSENTIALS R2

EXTERIOR FINISH SCHEDULE

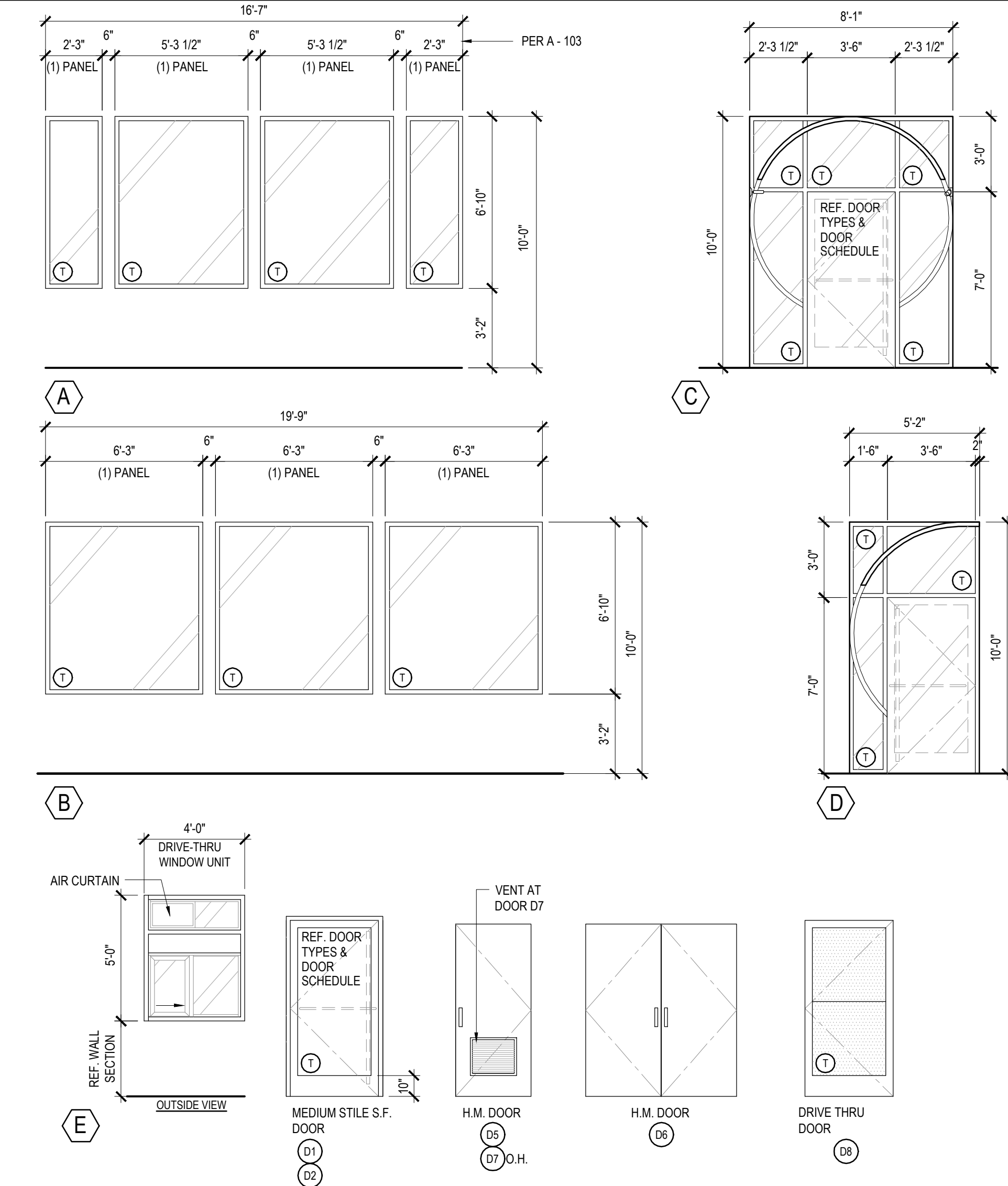
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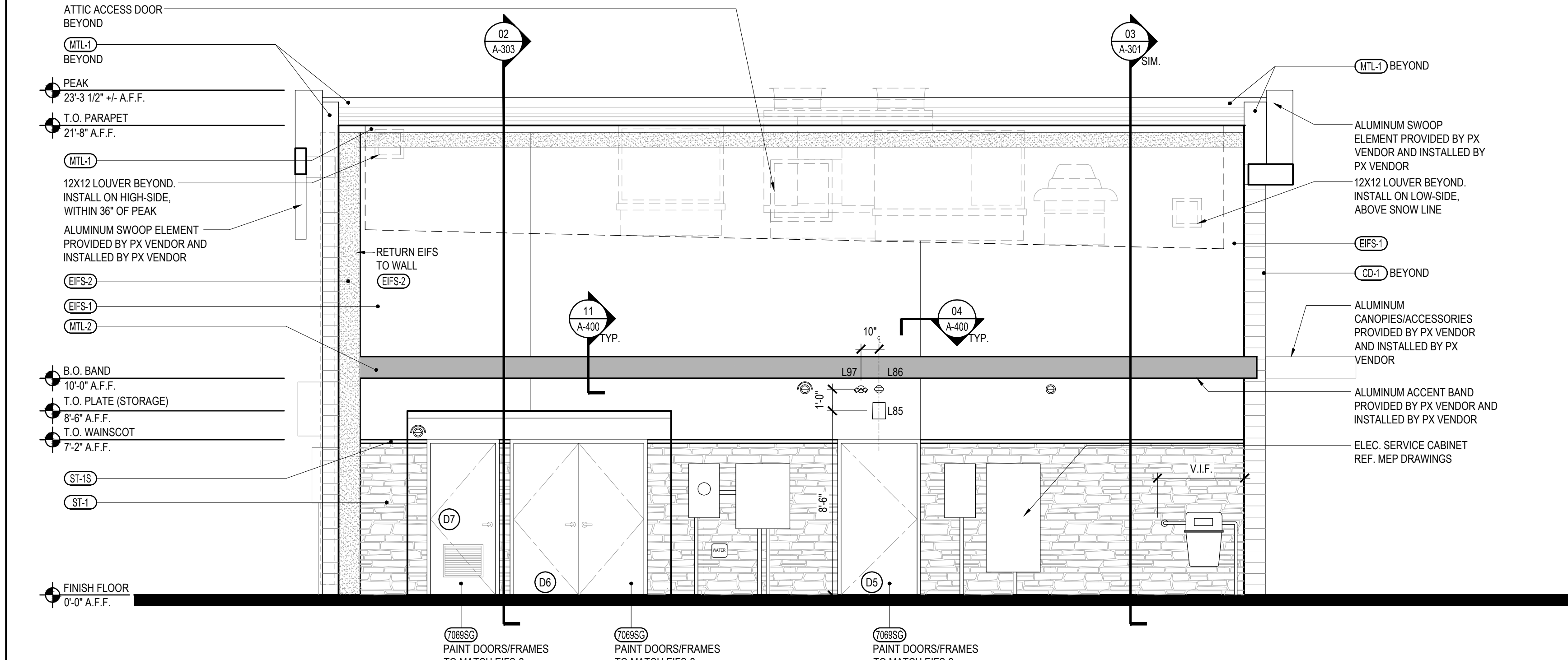


WINDOW AND DOOR ELEVATIONS

03

Scale= NTS

A-200

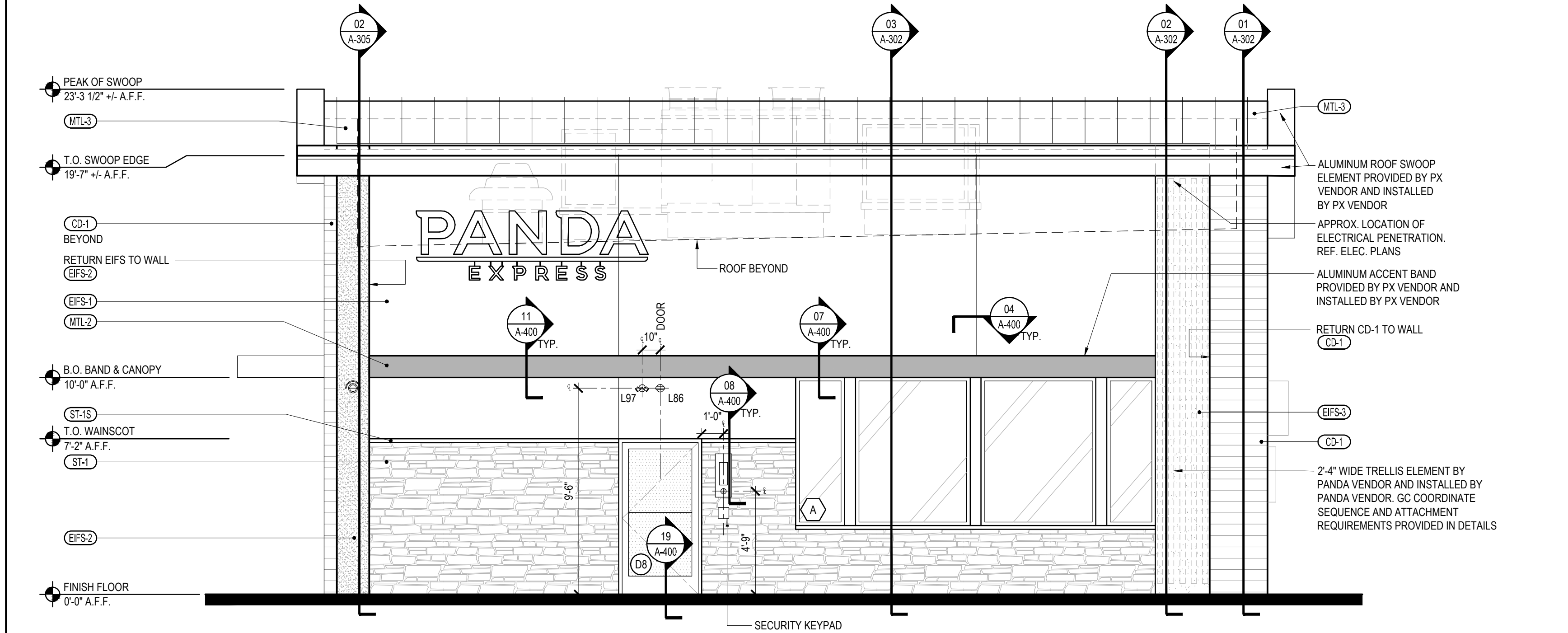


REAR ELEVATION

02

Scale= 1/4" = 1'-0"

A-200



FRONT ELEVATION

01

Scale= 1/4" = 1'-0"

A-200



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VGH

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PANDA HOME ESSENTIALS
US-64 & GERMANTOWN PKWY
BARTETT, TN

A-200

EXTERIOR ELEVATIONS

PANDA HOME ESSENTIALS R2



REAR ELEVATION 02
Scale= 1/4" = 1'-0" A-202



FRONT ELEVATION 01
Scale= 1/4" = 1'-0" A-202



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1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.8288

ISSUE DATE:
01 DRC 08/19/25

REVISIONS:	

DRAWN BY: VGH VGH

PANDA PROJECT #: D38584
PANDA STORE #: XXXXXXXX
ARCH PROJECT #: 2535201

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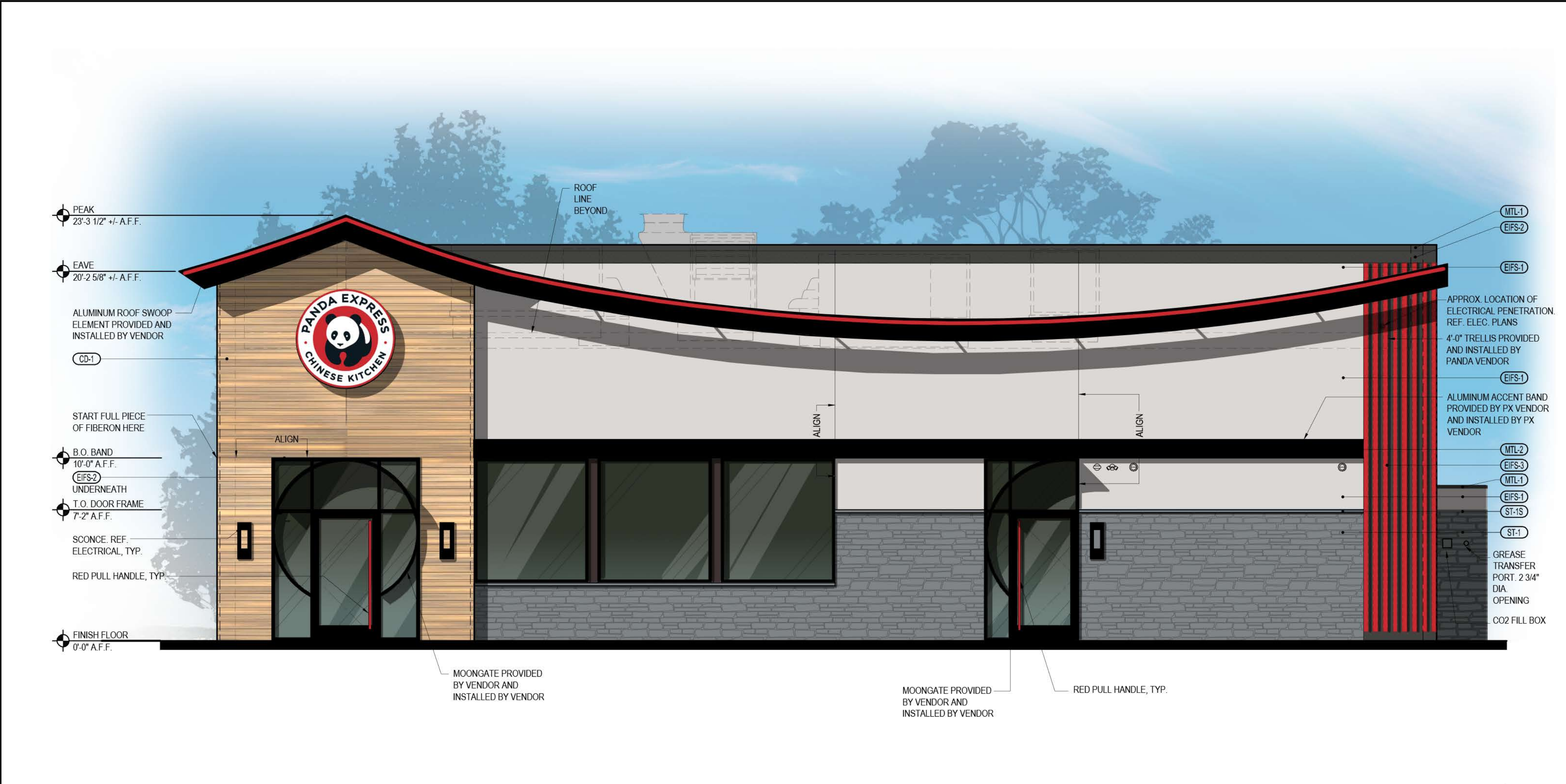
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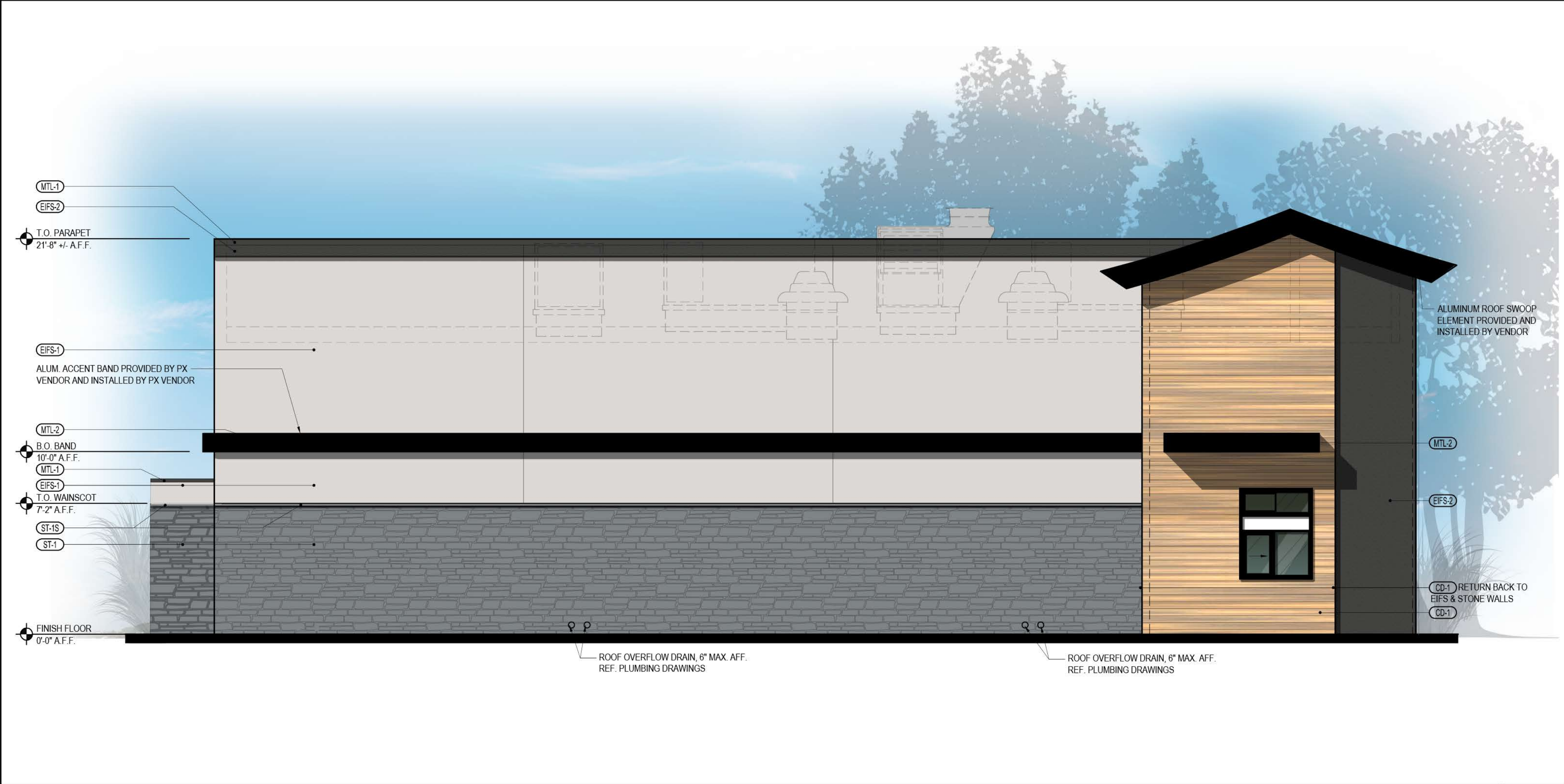
A-202

EXTERIOR ELEVATIONS RENDERING

PANDA HOME ESSENTIALS R2



ENTRY ELEVATION 02
Scale= 1/4" = 1'-0" A-203



DRIVE-THRU ELEVATION 01
Scale= 1/4" = 1'-0" A-203



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KRISTINE PAGANO
REGISTERED ENGINEER
AGRICULTURE
STATE OF KENTUCKY
08/13/2025
Digitally signed by Kristine M Pagano
Date: 2025.08.13 14:46:56 -05'00'

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PANDA HOME ESSENTIALS
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A-203
EXTERIOR ELEVATIONS RENDERING
PANDA HOME ESSENTIALS R2

FINISH SCHEDULE

ROOM NAME	FLOOR	BASE	WALL	CEILING
(100) DINING ROOM	T200 24" X 24" TILE T403 INLAY	T119 TILE SIZE: REF. SCHEDULE T200 TILE SIZE: REF. SCHEDULE T125 FULL TILE	6252S, 2850S PAINT T119, T125 TILE G-1 WALL COVERING	C4 2' X 2' ARMSTRONG ULTIMA C3 GYP BOARD W/ PAINT 6252S
(101) SERVING AREA	S1 PLAIN S2 ABRASIVE IN HIGH TRAFFIC AREAS	S1 6" H CONT. (KITCHEN EQUIPMENT ON 6" NSF APPROVED LEGS)	T111 HAND SINK WALL WP1 FRP PANEL	C3 GYP BOARD W/ SMOOTH WASHABLE PAINT
(102) DRIVE-THRU STATION	S1 PLAIN S2 ABRASIVE IN HIGH TRAFFIC AREAS	S1 6" H CONT. (KITCHEN EQUIPMENT ON 6" NSF APPROVED LEGS)	WP1 FRP PANEL	C2 2' X 4' SUSPENDED GRID WASHABLE VINYL COATED GYP BOARD PANELS
(103) KITCHEN	S1 PLAIN S2 ABRASIVE IN HIGH TRAFFIC AREAS	S1 6" H CONT. (KITCHEN EQUIPMENT ON 6" NSF APPROVED LEGS)	WP3 S.S. BEHIND COOK LINE WP1 FRP PANEL	C2 2' X 4' SUSPENDED GRID WASHABLE VINYL COATED GYP BOARD PANELS
(104) KITCHEN PREP.	S1 PLAIN S2 ABRASIVE IN HIGH TRAFFIC AREAS	S1 6" H CONT. (KITCHEN EQUIPMENT ON 6" NSF APPROVED LEGS)	WP1 FRP PANEL	C2 2' X 4' SUSPENDED GRID WASHABLE VINYL COATED GYP BOARD PANELS
(105) WALK-IN COOLER	S1 PLAIN S2 ABRASIVE IN HIGH TRAFFIC AREAS	S.S. / ALUMINUM WITH 3/8" RADIUS	EXT S.S. INT ALUMINUM GALVANIZED S.S.	ALUMINUM GALVANIZED STAINLESS STEEL
(105A) WALK-IN FREEZER	GALVANIZED STAINLESS STEEL S1 SILICAL UNDER WIF SUBFLOOR	S.S. / ALUMINUM WITH 3/8" RADIUS	EXT S.S. INT ALUMINUM GALVANIZED S.S.	ALUMINUM GALVANIZED STAINLESS STEEL
(106) MEN'S ROOM	T200 24" X 24" TILE	T108 FULL TILE SCHLUTER	T108 TILE	C3 GYB BOARD W/ 6252S SMOOTH WASHABLE PAINT
(107) WOMEN'S ROOM	T200 24" X 24" TILE	T108 FULL TILE SCHLUTER	T108 TILE	C3 GYB BOARD W/ 6252S SMOOTH WASHABLE PAINT
(108) VESTIBULE	T200 24" X 24" TILE	T125 FULL TILE	7069S T125 PAINT TILE	C3 GYB BOARD W/ 6252S SMOOTH WASHABLE PAINT
(110) EXTERIOR STORAGE	SEALED CONCRETE, SMOOTH FINISH	-	WP1 FRP PANEL	C3 GYB BOARD W/ 6252S SMOOTH WASHABLE PAINT

DOOR & HARDWARE SCHEDULE

CONTRACTOR TO PURCHASE DOOR HARDWARE & FRAME DIRECTLY FROM PANDA'S NATIONAL ACCOUNT SUPPLIER. SUPPLIER TO PROVIDE ALL STOREFRONT DOOR HARDWARE, P-LAM DOORS & FRAMES AND HM DOORS & FRAMES

CONTACT FOR QUOTING, ORDERING & LOGISTICS
APRIL WALDREN, PROJECT MANAGER
800-887-4307 EXT. 359 PHONE
AprilW@clocknet.com, panda@clocknet.com

NOTES:
CONTRACTOR HAS THE OPTION TO PURCHASE STOREFRONT HARDWARE FROM OTHER SOURCE, PROVIDED THE HARDWARE IS PER SPEC'S. NO SUBSTITUTIONS ALLOWED. STOREFRONT HARDWARE SPECS ARE PROVIDED IN THE PROJECT SUB PACKAGE. COORDINATE WITH PANDA PROJECT MANAGER LISTED ON SHEET G-001

ADDITIONAL CONTACTS:
THOMAS DOWNS, SALES MANAGER, ThomasD@clocknet.com; 800-887-4307 x116
EDDIE ANDUEZA, DIR. ARCH. DOOR & HRDWR SOL., eddiea@clocknet.com; 859-432-2289

NO.	DR MATERIAL	SIZE	FRAME	FACE/EDGE	THK.	CORE	LITE	RTG	PASSAGE	LOCKSET	ELECT. STRIKE	W/ ENTRY KEYPAD	PRIVACY	S.F. PULL	S.F. PUSH	PANIC	BUTT	CONT. PIANO	FLOOR	WALL	REMOVABLE CENTER POST	LATCH GUARD	DETACH ALARM	SILENCERS	KICKPLATE	CLOSER	CHAIN RESTRAINT W/ SPRINGS (EA. DOOR)	REMARKS
(D1)	ALUMINUM STOREFRONT	3'-6" X 7'-0"	ALUM.	BLACK ALUM.	1 3/4"	HOLLOW	GLASS	-	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	KAWNEER CURTAIN 1620 SYSTEM. PULL ON EXTERIOR SIDE BY LOCKNET
(D2)	ALUMINUM STOREFRONT	3'-6" X 7'-0"	ALUM.	BLACK ALUM.	1 3/4"	HOLLOW	GLASS	-	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	KAWNEER CURTAIN 1620 SYSTEM. PULL ON EXTERIOR SIDE BY LOCKNET
(D3)	S.C. WOOD	3'-0" X 7'-0"	H. MTL.	PLASTIC LAM. PRE-FINISHED	1 3/4"	SOLID	-	-	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	KICKPLATE ON EA. SIDE OF DOOR
(D4)	NOT USED	-	-	-	-	-	-	-	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	KICKPLATE ON INT. SIDE OF DOOR
(D5)	HOLLOW METAL	3'-6" X 7'-0"	H. MTL.	PAINTED	1 3/4"	INSUL.	-	-	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	100% BLACK-OUT SPANDREL FILM WITHIN INSULATED GLASS. DO NOT APPLY FILM TO OUTER SURFACES OF GLASS
(D6)	HOLLOW METAL	(2) 3'-0" X 7'-0"	H. MTL.	PAINTED	1 3/4"	INSUL.	-	-	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	100% BLACK-OUT SPANDREL FILM WITHIN INSULATED GLASS. DO NOT APPLY FILM TO OUTER SURFACES OF GLASS
(D7)	HOLLOW METAL	3'-0" X 7'-0"	H. MTL.	PAINTED	1 3/4"	INSUL.	-	-	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	100% BLACK-OUT SPANDREL FILM WITHIN INSULATED GLASS. DO NOT APPLY FILM TO OUTER SURFACES OF GLASS
(D8)	ALUMINUM STOREFRONT	3'-6" X 7'-0"	ALUM.	BLACK ALUM.	1 3/4"	HOLLOW	GLASS	-	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	100% BLACK-OUT SPANDREL FILM WITHIN INSULATED GLASS. DO NOT APPLY FILM TO OUTER SURFACES OF GLASS

INSTALLED AND FURNISHED BY: G.C. UNLESS NOTED OTHERWISE

WALL SCHEDULE

NO.	DESCRIPTION
(W1)	3-5/8" 20GA. METAL STUD WALL W/ 5/8" TYPE "X" GYP. BOARD BOTH SIDES (SEE ARCHITECTURAL DETAILS & ELEVATIONS)
(W2)	3-5/8" 20GA. METAL STUD WALL W/ 5/8" TYPE "X" GYP. BOARD ON ONE SIDE (SEE ARCHITECTURAL DETAILS & ELEVATIONS)
(W3)	(2) 3-5/8" 20GA. METAL STUD WALLS W/ 5/8" TYPE "X" GYP. BOARD BOTH SIDES (SEE ARCHITECTURAL DETAILS & ELEVATIONS)
(W4)	3-5/8" 20GA. METAL STUD LOW WALL W/ 5/8" TYPE "X" GYP. BD BOTH SIDES. PROVIDE 3 1/2" KNEE-WALL BRACE/POST @ CORNERS AND @ 48" O.C.
(W5)	6" 20GA. METAL STUD WALL W/ 5/8" TYPE "X" GYP. BOARD BOTH SIDES (SEE ARCHITECTURAL DETAILS & ELEVATIONS)
(W6)	6" 20GA. METAL STUD WALL W/ 5/8" TYPE "X" GYP. BOARD ONE SIDE (SEE ARCHITECTURAL DETAILS & ELEVATIONS)
(W7)	3-5/8" 20GA. METAL STUD LOW WALL W/ 5/8" TYPE "X" GYP. BOARD BOTH SIDES. PROVIDE 3 1/2" KNEE-WALL BRACE/POST @ CORNERS AND @ 48" O.C. REF. ELEV. & DTLS FOR HGT
(W8)	3-5/8" 20GA. METAL STUD LOW WALL W/ 5/8" TYPE "X" GYP. BOARD ONE SIDE. T.O.W. @ 30" A.F.F.
(W9)	2 1/2" 20GA. METAL STUD FURRING W/ 5/8" TYPE "X" GYP. BOARD ON ONE SIDE
(W10)	1 1/2" 20GA. METAL STUD FURRING W/ 5/8" TYPE "X" GYP. BOARD ON ONE SIDE

INSTALLED AND FURNISHED BY G.C. UNLESS NOTED OTHERWISE. REF. 01A-403 FOR PARTITION DETAILS.

WALL PANEL SCHEDULE

NO.	MANUFACTURER	DESCRIPTION	MFG #	FINISH	REMARK
(C17)	FAMILY BOOTH CANOPY	RICHFIELD: 209 W X 66D X 48.75H	-	-	SUPPLIED BY RICHFIELD/PANDA, INSTALLED BY GC
(WP1)	CRANE COMPOSITES INC.	F.R.P. THICKNESS: .075	LBSCS.14	#536 (GRAY), SM/SM	CONTACT: SALES@CRANECOMPOSITES.COM; 800-435-0080
(WP2)	KEC	S.S. PANEL (22 GA)	WP2	BRUSHED FINISH	FURNISHED BY PX, INSTALLED BY G.C.
(WP3)	KEC	S.S. PANEL (22 GA)	WP3	4" DIAMOND PATTERN FINISH	FURNISHED BY PX, INSTALLED BY G.C.

INSTALLED AND FURNISHED BY G.C. UNLESS NOTED OTHERWISE.

SPECIAL SURFACE SCHEDULE

NO.	MANUFACTURER	DESCRIPTION	MFG #	STAIN/COLOR	FINISH	REMARK
(Q24)	DALTILE	ARTIFICIAL QUARTZ	OQ03	BROADWAY BLACK	POLISHED	SERVICE COUNTER & DRINK STATION PROVIDED BY PX, INSTALLED BY G.C.

INSTALLED AND FURNISHED BY G.C. UNLESS NOTED OTHERWISE.

PAINT SCHEDULE

NO.	MANUFACTURER	MFG #	COLOR	FINISH	REMARK
(7069SS)	SHERWIN-WILLIAMS	SW 7065	ARGOS	PRO INDUSTRIAL WATERBASED ACRYLIC URETHANE SEMIGLOSS	REAR SERVICE DOOR, INTERIOR SIDE
(6252S)	SHERWIN-WILLIAMS	SW 6252	ICE CUBE	SUPERPAINT INTERIOR SATIN	RESTROOM & RESTROOM VESTIBULE CEILING, DINING ROOM SOFFIT
(2850S)	SHERWIN-WILLIAMS	SW 2850	CHELSEA GRAY	SUPERPAINT INTERIOR SATIN	DINING RM. WALLS
(7069S)	SHERWIN-WILLIAMS	SW 7069	IRON ORE	PRO INDUSTRIAL WATERBASED ACRYLIC URETHANE GLOSS	RESTROOM DOOR FRAMES
(7069S)	SHERWIN-WILLIAMS	SW 7069	IRON ORE	SUPERPAINT INTERIOR SATIN	FRONT & UNDERSIDE OF SERVICE LINE, BACK OF SERVICE LINE SOFFIT, RESTROOM VESTIBULE WALLS
(7069SS)	SHERWIN-WILLIAMS	SW 7069	IRON ORE	PRO INDUSTRIAL WATERBASED ACRYLIC URETHANE SEMIGLOSS	SERVICE DOORS, EXTERIOR SIDE

SUPPLIED BY GC USE SHERWIN WILLIAMS NATIONAL ACCOUNT #PARENT1066. CONTACT DENISE MATHENY 657.236.8418. denise.k.matheny@sherwin.com

WALL LEGEND

	NEW EXTERIOR WALL
	NEW EXTERIOR WALL FRAMED WITH STRUCTURAL STEEL STUDS
	NEW INTERIOR WALL (FULL HT.)
	NEW INTERIOR WALL (LOW WALL - REF. ELEV. & DETAILS)
	WALK-IN BOX PANEL

NOTE: THE FOLLOWING STAINLESS STEEL PROVIDED BY PX-INSTALLED BY G.C.:
1. PANEL DIVIDERS AT WP3
2. INSIDE CORNER AT WP3 TO WP2
3. FLASHING AT TOP OF BASE WP3
4. WP2 PIECE AT LENGTH OF WALL

NOTE: THE FOLLOWING STAINLESS STEEL PROVIDED BY G.C.-INSTALLED BY G.C.:
5. INSTALL 18 GA STAINLESS STEEL CORNER GUARD & WALL CAP INSIDE KITCHEN WITH 2" SIDE RETURNS

18 GA. STAINLESS STEEL CORNER GUARD - FULL HT.

18 GA. STAINLESS STEEL CORNER GUARD - 4'-0" HIGH

18 GA. STAINLESS STEEL CORNER GUARD/FRAME - ALL AROUND PERIMETER OF OPENING - FRAME TO BE WELDED WITH MITERED CORNERS TO FORM SINGLE UNIT.

18 GA. STAINLESS STEEL WALL CAP

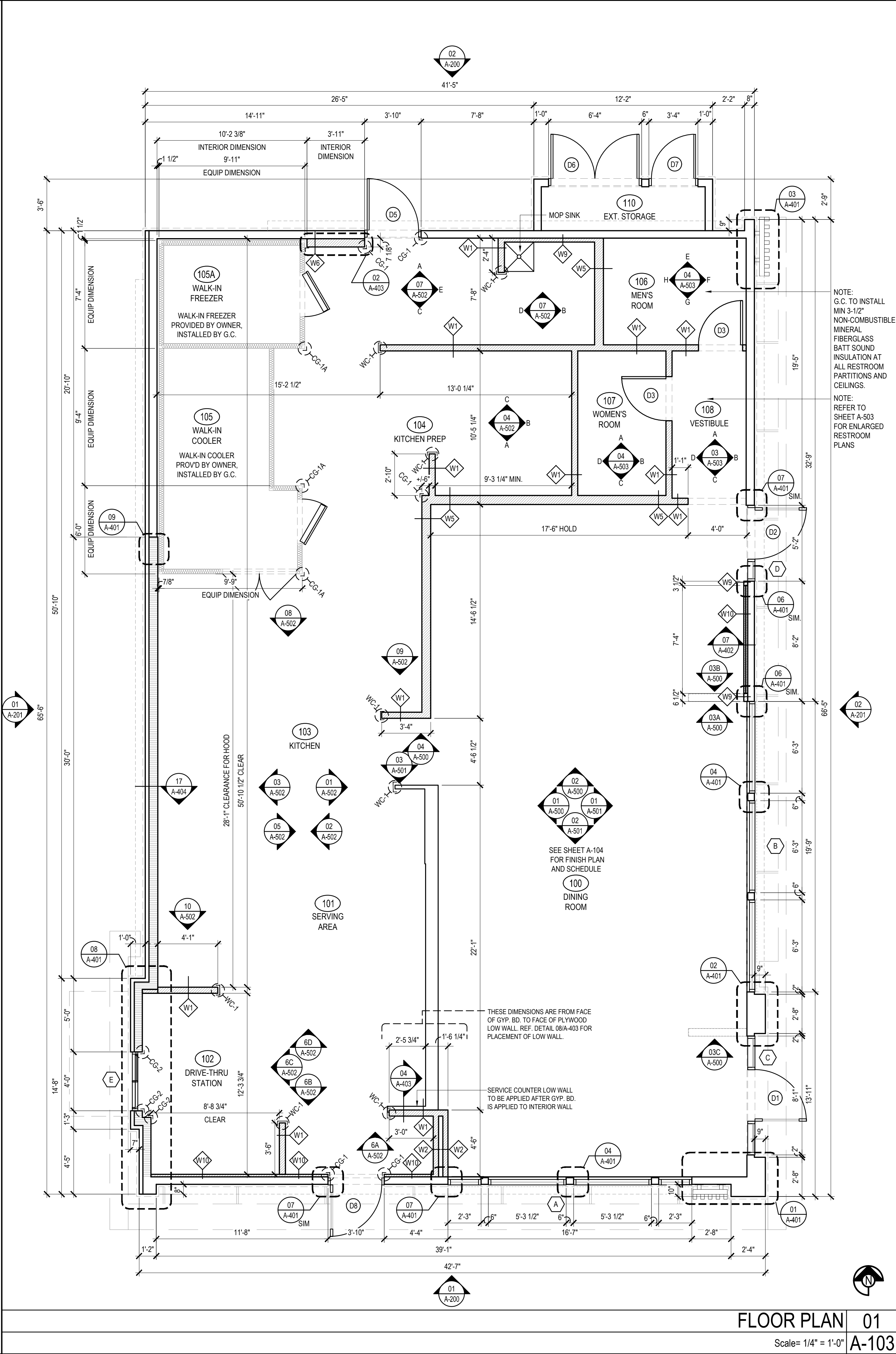
ALL OTHER STAINLESS STEEL BY G.C.

NOTE!!!!!!!!!!!!!!:

***ALL INTERIOR DIMENSIONS ARE TO FACE OF GYPSUM BOARD**

NOTE:

CONTRACTOR TO NOTIFY 3rd PARTY VENDOR, PER THE VENDOR LIST, FOR WALL PRE-TREAT BEFORE CLOSING WALLS



FLOOR PLAN 01
Scale= 1/4" = 1'-0"
A-103



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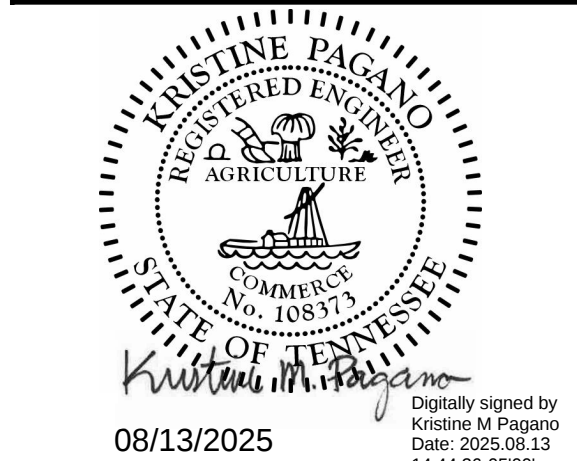
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BARTETT, TN

A-103

FLOOR PLAN

PANDA HOME ESSENTIALS R2



EIFS-1: STO SW 7646 "FIRST STAR"



EIFS-2: STO SW 7069 "IRON ORE"



EIFS-3: STO PANTONE PT200C "RED"



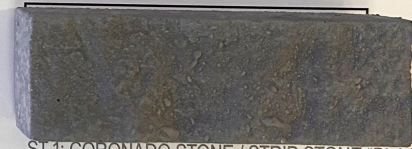
CD-1: FIBERON / WILDWOOD "BAMBOO"



MTL-1: "IRON ORE"



MTL-2: PMS BLACK



ST-1: CORONADO STONE / STRIP STONE "BLACK FOREST"



Memphis, TN #D38584
US 64 & Germantown Parkway

ISSUE DATE: August 15, 2025
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