



City of Bartlett

David Parsons, Mayor

Municipal Planning Commission

AGENDA

Monday, November 3, 2025 — 6:30 p.m.

Bartlett City Hall Assembly Chamber

Opening Prayer

****Official Business of the Day****

Minutes of Monday, October 6, 2025 Meeting

NEW BUSINESS

Public Hearing

Rezoning

1. Sammy Guffin Property – Parcel B0148 00901, Rezoning from “RS-18” Residential Single Family to “RS-15” Residential Single Family, Jim Curtis – GBI Contractors. (Tim Dagastino, WH Porter Consultants)

Construction Plan

2. Bartlett Boulevard & Yale Road Planned Development, Parcel B0157 00333 (David Bray, The Bray Firm)
3. Ellendale Methodist Church Subdivision, 7229 Centralia Road, (Wesley Wooldridge, Renaissance Group)

Final Plan

4. Re-subdivision of Lot 27 of JD JA Kearney Subdivision, 2541 Juneway Drive (Sam Das, Fisher Arnold)
5. Danielle Mary Subdivision, 7553 Appling (David Bray, The Bray Firm)
6. Bartlett Boulevard & Yale Road Planned Development, Parcel B0157 00333 (David Bray, The Bray Firm)
7. Ellendale Methodist Church Subdivision, 7229 Centralia Road, (Wesley Wooldridge, Renaissance Group)

Site Plan

8. Chapman Automotive Repair Addition, 5694 Stage (David Bray, The Bray Firm)

Open Discussion

The public shall be provided an opportunity to address the Board or Commission during an Open Discussion period at the end of each regular and special meeting of the governing body. Prior to the start of the meeting, individuals will be required to complete and present to the Clerk the Open Discussion Citizen form provided at each meeting. The Open Discussion period for regular and special meetings of the Board or Commission shall be limited to twenty (20) minutes. Individuals shall be allowed to speak for up to three (3) minutes each. Open Discussion periods will not be held for any meeting where there are no actionable items on the agenda or meetings where the governing body is conducting a disciplinary hearing for a member of the governing body or a person whose profession or activities fall within the jurisdiction of the governing body.

Adjourn

PLANNING COMMISSION

Monday, November 3, 2025 - 6:30 P.M.

Bartlett City Hall Assembly Chamber

Staff Comments

NEW BUSINESS

Public Hearing

Rezoning

- 1. Sammy Guffin Property – Parcel B0148 00901, Rezoning from “RS-18” Residential Single Family to “RS-15” Residential Single Family, Jim Curtis – GBI Contractors. (Tim Dagastino, WH Porter Consultants)**

INTRODUCTION: Mr. Tim Dagastino with WH Porter Consultants is requesting Planning Commission approval of a favorable recommendation to rezone 21.85 acres of land from the “RS-18” Single Family Residential Zoning District to “RS-15” Single Family Residential Zoning District. The subject property is located on the Sammy Guffin property on Parcel B0148 00901 on the north side of Old Brownsville Road just west of the intersection of Ellendale Road at Old Brownsville Road.

BACKGROUND: The subject property is currently a wooded, vacant lot. The properties that surround the proposed rezoning change consist of: “RS-18” Residential to the north, east, and west, and “RS-15” Residential to the south. The surrounding uses include: single family residential and a church.

DISCUSSION: The specific request by the applicant is for approval of a favorable recommendation to rezone 21.85 acres of land from “RS-18” Single Family Residential Zoning District to “RS-15” Single Family Residential Zoning District. The applicant is seeking to rezone the property to match the lot sizes of the adjacent Kings Crossing PD, Stonecrest PD, and Wellsgate Subdivision. More specifically, the subject property is encumbered by a nonbuildable stream buffer area near the Old Brownsville Road frontage, so the applicant is proposing the rezoning to increase the number of units per acre permitted from 2.0 lots per acre to 2.5 lots per acre since about a third of the subject property is nonbuildable. This rezoning proposal would allow building single family residential lots where they should be built while preserving the natural stream environment, and the size and scale of the newly created single family residential lots would match the adjacent existing planned developments and subdivisions.

Recommendation: Favorable recommendation to the Board of Mayor and Aldermen for approval with conditions.

Engineering Conditions:

General:

- 1) For this Review, the only submittal received was a single sheet showing potential roads and a lot layout. Once a complete set of Construction Plans are submitted, there may be additional Engineering Conditions.
- 2) A Residential Site Plan contract may be required and will be prepared by Engineering and submitted to the developer/engineer for review to cover the fees to be paid to the City of Bartlett.
- 3) Applicant/ Engineer shall provide a **digital set of drawing** files showing the sanitary sewer lines, drainage lines, lot lines and all improvements in AutoCAD format to dhubbard@cityofbartlett.org and ecampbell@cityofbartlett.org for use in the preparation of the Water Design Plan. This plan will be coordinated with the site design engineer to resolve any conflicts.
- 4) The engineer shall provide a copy of the SWPPP (Storm Water Pollution Prevention Plan) and ARAP (Aquatic Resource Alteration Permit) that have been or will be submitted to TDEC (Tennessee Department of Conservation).
- 5) All new utilities shall be underground.
- 6) The proposed entrance shown at Old Brownsville Road may require the Developer to relocate a 3-phase electrical power pole.
- 7) Median modification will be required on Old Brownsville Road to accommodate left turns from the eastbound lane.

Plans

- 8) A Full set of Construction Drawings will be required for submittal as per the City of Bartlett Planning Department Application Checklist including (but not limited to)
 - Final Plat Sheets
 - Existing Conditions Sheet
 - Erosion Prevention and Soil Preservation (EPSC) Sheets
 - Grading and Drainage Sheet(s)
 - Sewer Plan Sheet(s)
 - Details Sheet
 - Road Plan & Profiles Sheets
 - Off-street Plan and Profiles (if Needed)
 - Water Plan (to be completed by the City of Bartlett)
- 9) Easements should be included on all sheets.
- 10) Any Common Open Space (COS) shall be owned and maintained by the HOA.
- 11) Prior to any work being started, an NOC (Notice of Coverage) from TDEC must be received and a copy submitted to the City of Bartlett.

- 12) Metal posts with wire-backed fence are required on the proposed silt fences.
- 13) A HEC-RAS Hydraulic Study must be completed on the Raner Creek Tributary that is on site to determine the 100 Year Flood Elevations on site.
- 14) Developer's Engineer should consult and confirm with TDEC regarding the status of the Raner Creek Tributary mentioned above with regards to its stream status.
 - Because of this concern and the concern for 100 Year Flood elevations on this stream, it is assumed that the Tributary will require Stream Buffer Setbacks to accommodate both the 100 Year Flood Elevation and to be consistent with the City of Bartlett Storm Water Ordinance.
 - This ordinance would require a setback width of approximately 90' (measured back from each bank.)
 - The Stream Buffer mentioned above shall comprise a separate lot designated as Greenbelt to be dedicated to the City of Bartlett.

Grading and Drainage

- 15) The applicant's engineer shall submit the stamped and signed detention calculations for the detention basins required for this property and show the 'pre' and the 'post' runoff for the 2, 5, 10, 25, 100 year storms.
- 16) Offsite area should be included for adequate review of drainage, and the need for additional drainage structures.

Planning Conditions:

1. The applicant must obtain Master Plan, Construction Plan, and Final Plan approvals from the Planning Commission.
2. The applicant must obtain Site Plan approval from the Design Review Commission for all common open space amenities.
3. The owner/applicant shall identify all utilities on site by contacting Tennessee One Call at 811 before commencing any site work.
4. The applicant and/or property owners shall be present at the meeting in order to make decisions relative to any changes that may be suggested by the Planning Commission.
5. The applicant and/or property owners shall be present at the corresponding Board of Mayor and Aldermen meetings to make decisions relative to any changes that may be suggested by the Board of Mayor and Aldermen.

Construction Plan

- 2. Bartlett Boulevard & Yale Road Planned Development, Parcel B0157 00333 (David Bray, The Bray Firm)**

INTRODUCTION: Mr. David Bray with The Bray Firm is requesting Planning Commission approval of Construction Plans for the Bartlett Boulevard and Yale Road Planned Development. The subject property is located at the southeast corner of Yale at Bartlett Boulevard, and it is within the "RS-10" Single-Family Residential Zoning District.

BACKGROUND: On July 7, 2025, the Planning Commission made a favorable recommendation to the Board of Mayor and Aldermen for a 5-lot planned residential development on the subject property. On August 26, 2025, the Board of Mayor and Aldermen approved the Bartlett Boulevard and Yale Road Planned Development

DISCUSSION: The specific request by the applicant is for Planning Commission approval of a Construction Plan to subdivide 3.66 acres of land into a 5-lot planned residential subdivision with a common open space lot. The lot sizes will range from 13,816 square feet to 58,800 square feet (1.34 acres). Construction plans include: erosion control plans, sanitary sewer plans, grading and drainage plans, and street plans for the alley. Full access to the subdivision will be from Yale Road and limited access, right in/right out, on Bartlett Blvd.

Recommendation: Approval with conditions.

Engineering Conditions:

General:

- 1) A Residential Subdivision Contract will be required to cover all associated fees and bond.
- 2) Applicant/ Engineer shall provide a digital set of drawing files showing the sanitary sewer lines, drainage lines, lot lines and all improvements in AutoCAD format to ecampbell@cityofbartlett.org and dhubbard@cityofbartlett.org for use in the preparation of the Water Design Plan. This plan will be coordinated with the site design engineer to resolve any conflicts.
- 3) A SWPPP will be required and shall be submitted to TDEC and also to the City of Bartlett Engineering office.
- 4) The private road is offset to the east of Countryhill Drive, which provides the potential for head on collisions in the center of Yale for left turning vehicles. This access, if it remains in this location, needs to be right-in-right-out. If a full movement intersection is desired it shall be shifted to the west to line up.
- 5) All new utilities shall be underground.
- 6) All mark-ups and corrections shall be addressed on the revised plans.

Plat:

- 7) All sewer, water, drainage, and other utility easements shall be shown. Call out existing sewer easement on the property to the south, as it is required for sewer connection.
- 8) Area for storm water detention is to be shown and labeled non-buildable.

- 9) Common Open Space shall be shown to be maintained by the HOA. Including private drive and detention area.
- 10) Show where the permanent SD survey monuments are to be installed. See Article IV, section 4 of the City's subdivision ordinance.
- 11) No direct driveway access shall be permitted to Yale or Bartlett Blvd from any lot within this development.

Site Plan:

- 12) Detention shall be shown.
- 13) Plan and profile sheet for road should be included.

Sanitary Sewer Plan:

- 14) If any sewer cleanout is located in a paved area, then it shall comply with the detail approved by Bartlett Codes, which involves a brass connections and a concrete collar.
- 15) Tracer wire is required on all public sewer, including services.
- 16) As built data will be required.

Erosion Control Plan:

- 17) The Engineer may need to submit a SWPPP to TDEC with a copy sent to the City of Bartlett Engineering Department. Once TDEC has issued the Notice of Coverage (NOC), a copy shall be sent to the City of Bartlett Engineering Department.
- 18) EPSCs shall be shown in areas of off-site sewer installation.
- 19) Metal posts with wired backed fence are required on the proposed silt fences.

Grading & Drainage Plan:

- 20) Existing contours on bordering properties need to be shown. Any drainage area entering site needs to be quantified.
- 21) Detention will be required, provide detention analysis. As built certification will be required.

Planning Conditions:

1. The applicant shall add private street name for the Final Plan submittals.
2. The applicant shall include a tree survey with a tree table with the Construction Plan.
3. The applicant shall include a landscape plan for the common open spaces.
4. A note shall be added to the plat stating that the proposed Planned Development requires a homeowner's association to be formed to maintain all common amenities. (All landscaping, subdivision fence, subdivision sign, private street, and other features.)
5. The applicant shall attach the homeowner's association bylaws instrument number and the covenants and restrictions instrument number to the final plat.
6. The applicant shall obtain Design and Review Commission approval for the common open space amenities and subdivision signage.

7. The owner/applicant shall be present at the meeting in order to make decisions relative to any changes that may be suggested by the Planning Commission.
8. Should the Construction Plans be approved by Planning Commission, the applicant shall submit final subdivision plans, along with a site plan application to the Design Review Commission for the common open space areas and the amenities to be installed in the common open space areas.

3. Ellendale United Methodist Church Subdivision, 7229 Centralia Road, (Wesley Wooldridge, Renaissance Group)

INTRODUCTION: Mr. Wesley Wooldridge with Renaissance Group is requesting Planning Commission Approval of a Construction Plan for the Ellendale United Methodist Church Subdivision. The subject property is located at 7229 Centralia Road. The subject property is zoned "RS-12" Single Family Residential.

BACKGROUND: The 5.71-acre lot is the current site of Ellendale United Methodist Church. The site consists of a primary church building and three ancillary single family residential home structures. The church would like to subdivide and sell one of the ancillary single family residential home structures.

DISCUSSION: The specific request by the applicant is for Construction Plan approval to subdivide 5.71 acres of land into a three lot subdivision. The lot sizes will range from 12,000 square feet to 5.10 acres. Access to the subdivision will be from the existing street frontages of Ethel Avenue, Centralia Road, and Fonta Avenue. The construction plans consist of the proposed plat, site grading and drainage with dedicated stormwater detention area, and existing sewer and water service plans.

Recommendation: Approval with conditions.

Engineering Conditions:

General:

- 1) A Commercial Site Plan contract may be required and will be prepared by Engineering and submitted to the developer/engineer for review to cover the fees to be paid to the City of Bartlett.
- 2) Applicant notes that no physical improvements are planned with the subdivision, therefore no construction shall take place based on these plans and any physical improvements shall require additional submittals.

Plat:

- 3) Add note "This plat supersedes PB 236, PG 7"

- 4) Records indicate that a sewer outfall is currently located between proposed Lot 1 and Lot 2. Developer's engineer shall confirm. If a sewer outfall exists across this lot a 20' sewer easement shall be shown. If the existing home on Lot 2 is encroaching on this easement it shall be noted that if it is ever demolished and rebuilt a new structure will not be allowed to encroach.
- 5) Developer's engineer shall show the existing sewer main and taps to ensure each lot is separately and appropriately serviced.
- 6) Developer's engineer shall show the existing water main and taps to ensure each lot is separately and appropriately serviced.

Planning Comments:

1. The applicant is proposing to subdivide in order to sell Lot 2 as identified on the proposed plat.
2. Once the application was submitted, staff noticed that Lot 3 was identified as a separate parcel from the primary church property by Parcel ID B0148 00998, so staff asked the applicant to add this lot as Lot 3 on the proposed plat.

Planning Conditions:

1. The applicant indicated at the October Planning Commission meeting that they would revise Lot 3 to meet the minimum lot size of 12,000 sq.ft.
2. The applicant shall be present at the meetings in order to make decisions relative to any changes that may be suggested by the Planning Commission.

Final Plan

4. Re-subdivision of Lot 27 of JD JA Kearney Subdivision, 2541 Juneway Drive (Sam Das, Fisher Arnold)

INTRODUCTION: Mr. Jay Caughman with Allen and Hoshall is requesting Planning Commission approval of a Final Plan for the re-subdivision of Lot 27 of the JD & JA Kearney Subdivision. Subject property is located at 2541 Juneway Drive within the "RE" Residential Estate Zoning District.

BACKGROUND:

Subject property is Lot 27 of the JD & JA Kearney Subdivision that was approved by the Shelby County Commission on August 3, 1948 and recorded by the Shelby County Register of Deeds on September 15, 1948.

DISCUSSION: The specific request by the applicant is for Planning Commission approval for the Final Plan of the re-subdivision of Lot 27 of the JD JA Kearney Subdivision. The applicant is proposing to subdivide the existing 2.59-acre subject property into two lots. Lot 27-1 will be 1.59 acres, and Lot 27-2 will be 1 acre. The existing house will remain on Lot 27-1, and the applicant proposes to

build a new home on Lot 27-2. Access to Lot 27-1 will be from the existing curb cut on Altruria Road and access to Lot 27-2 will be from Juneway Cove.

RECOMMENDATION: Approval with conditions.

Engineering Conditions:

- 1) A Residential Site Plan contract may be required and will be prepared by Engineering and submitted to the developer/engineer for review to cover the fees to be paid to the City of Bartlett.
- 2) A SWPPP and a TDEC permit may be required and shall be submitted to TDEC and also to the City of Bartlett Engineering office.
- 3) All new utilities shall be underground.
- 4) Sewer main in the road shall be shown and each lot must have a separate sewer tap shown. If a tap is not existing, installation will be required, this may include boring Juneway Drive.
- 5) Water main shall be shown and each lot must have a separate water tap and meter shown. If tap is not existing, installation will be required.
- 6) An erosion control plan will be required as part of the building permit process for Lot 2.
- 7) Additional ROW shall be dedicated on Altruria, to be shown as 34' from the centerline, setback shall be shown from this new ROW.

Planning Conditions:

1. The applicant shall show two side-yard setbacks and two front-yard setbacks for Lot 27-1 as it is a corner lot.
2. The applicant shall be present at the meeting in order to make decisions relative to any changes that may be suggested by the Planning Commission.

5. Danielle Mary Subdivision, 7553 Appling (David Bray, The Bray Firm)

INTRODUCTION: Mr. David Bray with The Bray Firm is requesting Planning Commission approval of a revised a Final Plan for the Danielle Mary Subdivision, a resubdivision of Lot 1, Appling Pleasant Subdivision. The subject property is located southeast of the "T" intersection of Memphis Arlington Road and Appling Road at 7553 Memphis Arlington Road. It is within the "RS-12" Single Family Residential Zoning District.

BACKGROUND: The Planning Commission approved the Final Plan for the Appling Pleasant Subdivision on the subject property at the May 3, 2021 meeting. That approved Final Plan was also for a two-lot residential subdivision. However, the approval conditions required stormwater detention design for Lot 2. The applicant did not want to pursue the stormwater detention design for Lot

2, so the Appling Pleasant Subdivision is currently recorded as a one lot subdivision for the existing residential structure shown on Lot 1.

DISCUSSION: The specific request by the applicant is for the approval of a revised Final Plan to subdivide the 1.227-acre lot into a two-lot residential subdivision. Lot 1 will be 16,968-sq.ft., and Lot 2 will be 36,514-sq.ft. Lot 1 has an existing building that does not meet the current setback requirements for the RS-12 Zoning District, so if the building is destroyed it will have to be rebuilt to meet the current zoning setback regulations. Lot 1 has existing driveway access to Memphis Arlington Road and Appling Road. Also, Lot 1 has existing water and sewer services. Lot 2 will have lot access from Appling Road.

Recommendation: Approval with conditions.

Engineering Conditions:

General:

- 1) A Residential Site Plan contract may be required and will be prepared by Engineering and submitted to the developer/engineer for review to cover the fees to be paid to the City of Bartlett.
- 2) A SWPPP and a TDEC permit may be required and shall be submitted to TDEC and also to the City of Bartlett Engineering office.
- 3) All new utilities shall be underground.
- 4) Each lot must have a separate sewer tap shown. If a tap is not existing, installation will be required.
- 5) Each lot must have a separate water tap and meter shown. If tap is not existing, installation will be required.
- 6) An erosion control plan will be required as part of the building permit process for Lot 2.
- 7) Detention will be required on Lot 2 to control increased flow and prevent flooding of downstream neighbors.

Planning Conditions:

1. The applicant shall remove the 30 foot rear yard setback from Lot 1 since Lot 1 is a corner lot with two front yard building setbacks and two side yard setbacks. The two side yard setbacks are 8 feet and 10 feet for a combination of 18 feet.
2. The applicant shall be present at the meeting in order to make decisions relative to any changes that may be suggested by the Planning Commission.

**6. Bartlett Boulevard & Yale Road Planned Development, Parcel B0157 00333
(David Bray, The Bray Firm)**

INTRODUCTION: Mr. David Bray with The Bray Firm is requesting Planning Commission approval of a Final Plan for the Bartlett Boulevard and Yale Road

Planned Development. The subject property is located at the southeast corner of Yale at Bartlett Boulevard, and it is within the "RS-10" Single-Family Residential Zoning District.

BACKGROUND: On July 7, 2025, the Planning Commission made a favorable recommendation to the Board of Mayor and Aldermen for a 5-lot planned residential development on the subject property. On August 26, 2025, the Board of Mayor and Aldermen approved the Bartlett Boulevard and Yale Road Planned Development

DISCUSSION: The specific request by the applicant is for Planning Commission approval of a Final Plan to subdivide 3.66 acres of land into a 5-lot planned residential subdivision with a common open space lot. The lot sizes will range from 13,816 square feet to 58,800 square feet (1.34 acres). The proposed housing density is 1.36 units per acre. The proposed planned development features a 49,161 square foot common open space, guest parking spaces, and a cluster mailbox area. Full access to the subdivision will be from Yale Road and limited access, right in/right out, on Bartlett Blvd.

Recommendation: Approval with conditions.

Engineering Conditions:

General:

1. A Residential Subdivision Contract will be required to cover all associated fees and bond.
2. Applicant/ Engineer shall provide a digital set of drawing files showing the sanitary sewer lines, drainage lines, lot lines and all improvements in AutoCAD format to ecampbell@cityofbartlett.org and dhubbard@cityofbartlett.org for use in the preparation of the Water Design Plan. This plan will be coordinated with the site design engineer to resolve any conflicts.
3. A SWPPP will be required and shall be submitted to TDEC and also to the City of Bartlett Engineering office.
4. The private road is offset to the east of Countryhill Drive, which provides the potential for head on collisions in the center of Yale for left turning vehicles. This access, if it remains in this location, needs to be right-in-right-out. If a full movement intersection is desired it shall be shifted to the west to line up.
5. All new utilities shall be underground.
6. All mark-ups and corrections shall be addressed on the revised plans.

Plat:

7. All sewer, water, drainage, and other utility easements shall be shown. Call out existing sewer easement on the property to the south, as it is required for sewer connection.
8. Area for storm water detention is to be shown and labeled non-buildable.

9. Common Open Space shall be shown to be maintained by the HOA. Including private drive and detention area.
10. Show where the permanent SD survey monuments are to be installed. See Article IV, section 4 of the City's subdivision ordinance.
11. No direct driveway access shall be permitted to Yale or Bartlett Blvd from any lot within this development.

Site Plan:

12. Detention shall be shown.
13. Plan and profile sheet for road should be included.

Sanitary Sewer Plan:

14. If any sewer cleanout is located in a paved area, then it shall comply with the detail approved by Bartlett Codes, which involves a brass connections and a concrete collar.
15. Tracer wire is required on all public sewer, including services.
16. As built data will be required.

Erosion Control Plan:

17. The Engineer may need to submit a SWPPP to TDEC with a copy sent to the City of Bartlett Engineering Department. Once TDEC has issued the Notice of Coverage (NOC), a copy shall be sent to the City of Bartlett Engineering Department.
18. EPSCs shall be shown in areas of off-site sewer installation.
19. Metal posts with wired backed fence are required on the proposed silt fences.

Grading & Drainage Plan:

20. Existing contours on bordering properties need to be shown. Any drainage area entering site needs to be quantified.
21. Detention will be required, provide detention analysis. As built certification will be required.

Planning Conditions:

1. The applicant shall add private street name for the Final Plan/Plat.
2. The applicant shall include a landscape plan for the common open spaces.
3. A note shall be added to the plat stating that the proposed Planned Development requires a homeowner's association to be formed to maintain all common amenities. (All landscaping, subdivision fence, subdivision sign, private street, and other features.)
4. The applicant shall attach the homeowner's association bylaws instrument number and the covenants and restrictions instrument number to the final plat.
5. The applicant shall obtain Design and Review Commission approval for the common open space amenities and subdivision signage.
6. The owner/applicant shall be present at the meeting in order to make decisions relative to any changes that may be suggested by the Planning Commission.

7. Should the Final Plan be approved by Planning Commission, the applicant shall submit a site plan application to the Design Review Commission for the common open space areas and the amenities to be installed in the common open space areas.

7. Ellendale Methodist Church Subdivision, 7229 Centralia Road, (Wesley Wooldridge, Renaissance Group)

INTRODUCTION: Mr. Wesley Wooldridge with Renaissance Group is requesting Planning Commission Approval of a Final Plan for the Ellendale United Methodist Church Subdivision. The subject property is located at 7229 Centralia Road. The subject property is zoned "RS-12" Single Family Residential.

BACKGROUND: The 5.71-acre lot is the current site of Ellendale United Methodist Church. The site consists of a primary church building and three ancillary single family residential home structures. The church would like to subdivide and sell one of the ancillary single family residential home structures.

DISCUSSION: The specific request by the applicant is for Final Plan approval to subdivide 5.71 acres of land into a three lot subdivision. The lot sizes will range from 12,000 square feet to 5.10 acres. Access to the subdivision will be from the existing street frontages of Ethel Avenue, Centralia Road, and Fonta Avenue.

Recommendation: Approval with conditions.

Engineering Conditions:

General:

- 1) A Commercial Site Plan contract may be required and will be prepared by Engineering and submitted to the developer/engineer for review to cover the fees to be paid to the City of Bartlett.
- 2) Applicant notes that no physical improvements are planned with the subdivision, therefore no construction shall take place based on these plans and any physical improvements shall require additional submittals.

Plat:

- 3) Add note "This plat supersedes PB 236, PG 7"
- 4) Records indicate that a sewer outfall is currently located between proposed Lot 1 and Lot 2. Developer's engineer shall confirm. If a sewer outfall exists across this lot a 20' sewer easement shall be shown. If the existing home on Lot 2 is encroaching on this easement it shall be noted that if it is ever demolished and rebuilt a new structure will not be allowed to encroach.
- 5) Developer's engineer shall show the existing sewer main and taps to ensure each lot is separately and appropriately serviced.

- 6) Developer's engineer shall show the existing water main and taps to ensure each lot is separately and appropriately serviced.

Planning Comments:

1. The applicant is proposing to subdivide in order to sell Lot 2 as identified on the proposed plat.
2. Once the application was submitted, staff noticed that Lot 3 was identified as a separate parcel from the primary church property by Parcel ID B0148 00998, so staff asked the applicant to add this lot as Lot 3 on the proposed plat.

Planning Conditions:

1. The applicant indicated at the October Planning Commission meeting that they would revise Lot 3 to meet the minimum lot size of 12,000 sq.ft.
2. The applicant shall be present at the meetings in order to make decisions relative to any changes that may be suggested by the Planning Commission.

Site Plan

8. Chapman Automotive Repair Addition, 5694 Stage (David Bray, The Bray Firm)

INTRODUCTION: Mr. David Bray with the Bray Firm is requesting Planning Commission approval of a revised Site Plan for Chapman's Automotive Repair. The subject property located at 5694 Stage Road and it is within the "CG-MS" Commercial General with Main-Street Overlay Zoning District.

BACKGROUND: The site is part of Lot 86 on the original Town of Bartlett Plat which was developed in the mid 1960's into a gas station. In more recent times it has become a general automotive repair shop. On April 19, 2011, the Design Review Commission approved a site plan for a fence addition for storage behind the original building.

DISCUSSION: The specific request by the applicant is for Planning Commission approval of a revised site plan to add a 2,138 square foot building with 3 bays and roll top doors. To accommodate the expansion, existing parking spaces will be removed and relocated to an adjacent lot behind the building. The existing dumpster enclosure will also be removed and relocated to east of the existing building. The revised site plan will have a curb cut on Shelby Street and a curb cut on Stage Road.

Site Data	
Total Site Area:	1.128 Acres
Required Greenspace	35%
Proposed Greenspace	41%

Required Parking Spaces:	205 spaces
Proposed Parking Spaces:	28 Spaces
Handicap Accessible:	2 (2 required)

Recommendation: Approval with conditions.

Engineering Conditions:

General:

- 1) A Commercial contract may be required in the event that public infrastructure is added. This Contract will be prepared by Engineering and submitted to the developer/engineer for review to cover the fees to be paid to the City of Bartlett and the surety amount required to be posted for this development.
- 2) All new utilities shall be underground.
- 3) Existing Conditions/ Demo Plan shall be separated for proposed site plan for clarity.
- 4) TDOT permit will be required for all work within Stage Road.
- 5) Driveways and sidewalks may require replacement for current ADA requirements.
- 6) Water service and associated water meter shall be shown.
- 7) Sewer service and associated cleanout shall be shown.

Erosion Control Plan:

- 8) If the disturbed area exceeds 1.0 acres, the Applicant/Engineer shall prepare a SWPPP and submit to TDEC in order to get coverage and a NOC from TDEC, and copies of all correspondence shall be provided to Engineering.
- 9) During construction extra care will be needed to ensure that silt is not tracked out onto Stage Road.
- 10) Metal posts with wired backed fence are required on the proposed silt fences.

Grading and Drainage Plan:

- 11) The applicant's engineer shall submit the 'pre' and the 'post' runoff for the 2, 5, 10, 25, 100 year storms to engineering. Need for detention will be assessed, based on these calculations.
- 12) Currently the parking lot is shown to drain to a curb opening near the intersection of Stage and Shelby. This will need to be redesigned so as not to allow water to flow over and accumulate on the sidewalk causing a public safety issue.

Planning Conditions:

1. Vehicles parked on the adjacent lot shall be licensed and in such condition that they may be moved under their own power at any time or be stored in a building. Should this not be the case the applicant shall screen the storage area.

2. The applicant shall add Landscape Plate 23D between the residential property to the north and the subject property.
3. The applicant shall replace the "Red Sunset" Maple trees with trees that are recommended for use under and adjacent to overhead utility lines. Staff suggests, "Skinny Genes" Oak, Hawthorn, Flowering Cherry, Redbud, Chaste Tree, Star Magnolia or Dogwood.
4. Applicant shall add additional plantings on the Shelby Street side of the property.
5. Irrigation is required for all planting on the landscape plan.
6. The commercial property owner will be responsible for landscaping maintenance of the entire lot in perpetuity.
7. Should the proposed site plan be approved by the Planning Commission, the applicant shall seek site plan approval from the Design Review Commission for landscaping, lighting, signage, exterior elevations, colors, and materials.
8. The owner/applicant shall be present at the meeting in order to make decisions relative to any changes that may be suggested by the Planning Commission.
9. The owner/applicant shall identify all utilities on site by contacting Tennessee One Call at 811 before commencing any site work



Rezone Application

Date: 09/24/2025

Project Information

Property Address: 0 Old Brownsville Road

Project Name:

Description: Single Family

Present Zoning: RS-18

of Lots: 55

Applicant / Owner

Applicant Name: Jim Curtis

Company Name: GBI Contractors

Address: 110 Campground Road

City, State, Zip: Redbanks, MS, 38661

Phone: N/A

Email: jim@gbicontractors.com

Owner Name: Sammy Guffin

Company Name: N/A

Address: 95 8th Street, NW Apt 1803

City, State, Zip: Atlanta, GA 30309

Phone: N/A

Email: N/A

Architect / Engineer

Architect Contact: N/A

Company Name: N/A

Address: N/A

City, State, Zip: N/A

Phone: N/A

Email: N/A

Architect Contact: Tim Dagastino

Company Name: WH Porter

Address: 6055 Primacy Parkway, Suite 115

City, State, Zip: Memphis, TN 38119

Phone: 9013639453

Email: tdagastino@whporter.com

I do hereby certify that the information contained herein is true and correct.

Tim Dagastino

Name

09/24/2025

Date

**Bartlett Planning and
Economic Development Department**
6382 Stage Road, P.O. Box 341148
Bartlett, TN 38184-1148
901-385-6417 FAX 901-385-6419
www.cityofbartlett.org

Bartlett Planning Commission **Application for Rezoning**

Consultation with the staff is encouraged prior to the completion of this application form.

Requested Zoning RS-15

Property Address 0 Old Brownsville Road

Present Zoning RS-18

Owner/Developer Contact Jim Curtis Phone 901-848-9821

Company Name GBI Contractors, INC Fax N/A

Address Redbanks, MS 38661

Architect Contact Not Applicable Phone _____

Company Name _____ Fax _____

Address _____

Engineer Contact Tim Dagastino Phone 901-409-5700

Company Name W. H. Porter Consultants Fax N/A

Address 6055 Primacy Parkway, Suite 115

Submitted by Tim Dagastino Tim Dagastino 5/22/25
(printed name) (signature) (date)

Email Address tdagastino@whporter.com Phone 901-409-5700 Fax N/A

- ☒ Attach a checked-off "**Rezoning Checklist**" and all items required therein.
- ☒ ☐ Acknowledge (by initials in the blank to the left) that the "**Application Instructions: Planning Commission**" were obtained and read prior to submitting this application.
- ☒ Provide 18-folded ($\pm$ 10"x13") sets of plans with a copy of the signed application attached to each set.
- ☒ Provide an electronic PDF file of the plans. Note that an updated electronic file is required when plans are revised. The electronic file shall be labeled with the project name and accurately dated.
- ☒ Include a fee with this application (check payable to the City of Bartlett) of \$1,000 for five (5) acres or less, plus \$100 per acre (after the first five) to a maximum of \$3,000.00. **The fee is not refundable.**

I, the property owner(s) hereby authorize the filing of this application.

GUFFIN SAMMY

(print name)

GUFFIN SAMMY
(signature)

09/16/2025

(date)

Rezoning Checklist

Plot Plan And Legal Description (each parcel, if more than one)

- ☒ Plot plan, drawn to scale, showing the following information for each parcel (several parcels may be included on one sheet):
 - ☒ Adjoining public street rights-of-way
 - ☒ Area (acres)
 - ☒ Present zoning
 - ☒ Requested zoning, including purpose (attach statement, one page maximum)
 - ☒ Area in which buildings are proposed to be located, showing setback dimensions from line.
 - ☒ Drainage
 - ☒ Driveways
 - ☒ Parking area
 - ☒ Buffer planting areas
 - ☒ Type and location of any easements
 - ☒ Other pertinent information as required through staff consultation.
- ☒ Legal description (may be attached to plot plan).
- ☒ One (1) PDF file of the plot plan, for display at the Planning Commission meeting.

Vicinity Map

- ☒ Vicinity map, drawn to a convenient scale, showing the subject property and all parcels within a 1,000-foot radius. Every parcel shall indicate owner's name and the streets, roads or alleys that each parcel fronts upon.

- ☒ One (1) PDF file of the vicinity map, for display at the Planning Commission meeting.

Property Owners

- ☒ List of all property owners within 1,000 feet or a minimum of fifty (50) property owners, whichever results in the greater number of owners. A xerographic copy of the mailing labels may serve as the list.
- ☒ Self-adhesive mailing labels for the list of property owners (two sets).

Sign to be Erected

The party requesting the rezoning must place a 4' x 4' sign on the property at least fifteen (15) days before a public hearing at the Planning Commission level and Board of Mayor and Aldermen level.

The sign shall clearly state

- the existing and proposed zoning of the tract;
- the name, address, and phone number of the party requesting the rezoning;
- the time and date of the public hearing; and
- the telephone number of the Bartlett Planning Department.

The location of the sign on the property is subject to approval by the Planning Department.

Re-application

When an application for rezoning is rejected, no re-application may be made on the same property for at least twelve months after the date of rejection.

INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED

W. H. PORTER CONSULTANTS, PLLC

6055 Primacy Parkway, Suite 115
Memphis, Tennessee 38119
(901) 363-9453 FAX: (901) 363-2722

Engineers, Planners, Surveyors, Consultants

October 6, 2025

Kim Taylor
Director
City of Bartlett
Planning and Economic Development
6382 Stage Road
Bartlett, TN 38134

RE: Request for Rezoning from RS-18 to RS-15
Parcel: B014 00901

Ms. Taylor:

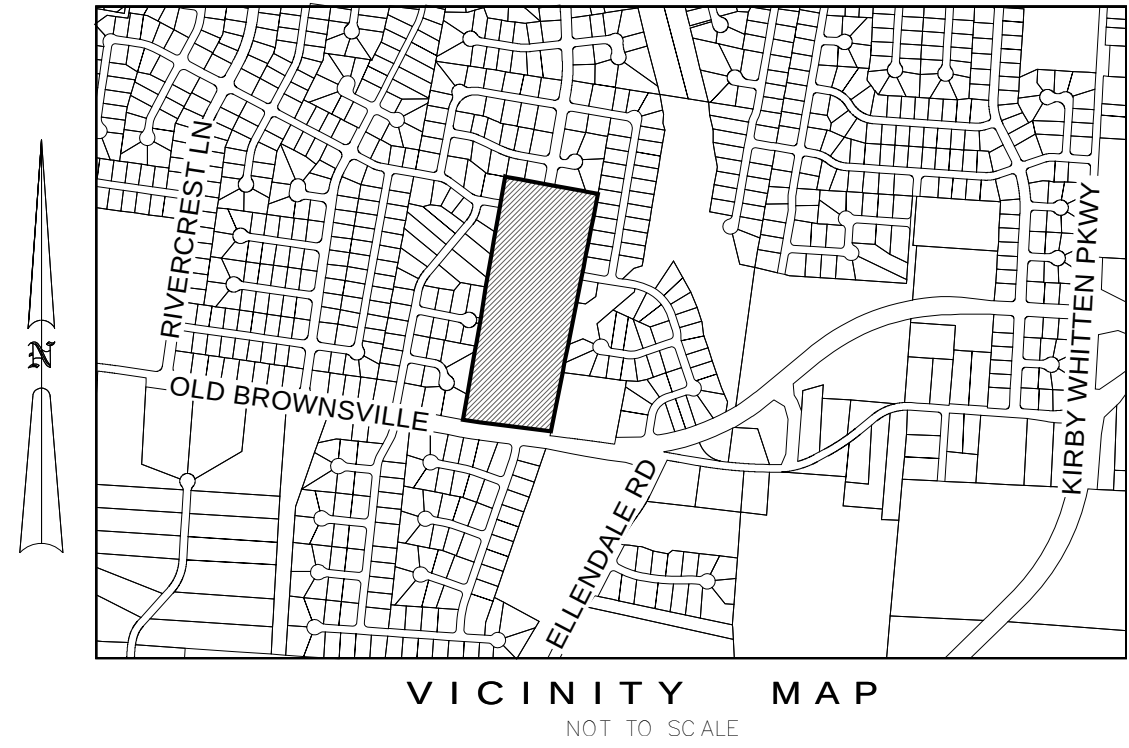
We are pleased to submit an application for rezoning on behalf of GBI Contractors LLC. The 21.85 acre subject property is located on the north side of Old Brownsville Road approximately 0.75 miles west of Kirby Whitten Parkway. All of the parcels located to the east, west, and north of the property are zoned RS-18 and the parcels located on the south side of Old Brownsville Road or zoned RS-15. While most of the adjacent land is zoned RS-18, the existing developments are Planned Developments which allowed for smaller lots than permitted in the zoning district. Both Stone Crest Planned Development and Kings Crossing Planned Development contain numerous lots that are comprised of less than 15,000 square feet.

Thanks for your time and attention to this request. Please do not hesitate to call if you have any questions or concerns.

Sincerely,



Tim Dagastino
Land Planner/Designer



LEGAL DESCRIPTION:

DESCRIPTION OF A TRACT OF LAND OWNED BY SAMMY GUFFIN AS RECORDER IN THE SHELBY COUNTY REGISTER OF DEEDS OFFICE (SCRO) INSTRUMENT NUMBER 19106818 AND BEING DESCRIBED MORE PRECISELY AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF WELLSGATE POINT AND OLD BROWNSVILLE ROAD; THENCE NORTH 82 DEGREES 58 MINUTES 33 SECONDS EAST 233.0' MORE OR LESS TO A SET 1/2 INCH IRON PIN WITH WITH A YELLOW CAP READING WHP 3025 IN THE NORTH RIGHT WAY OF OLD BROWNSVILLE ROAD (114' R.O.W.) HAVING COORDINATES N 358639.15 E 8202929.53 BASED ON TENNESSEE STATE PLANE COORDINATE SYSTEM AND BEING THE SOUTHWEST CORNER OF THE RICK MROCH PROPERTY AS RECORDED IN SCRO INSTRUMENT 19043404 AND ALSO BEING THE POINT OF BEGINNING;THENCE FOLLOWING ALONG THE NORTH LINE OF OLD BROWNSVILLE ROAD THE FOLLOWING TWO CALLS NORTH 82 DEGREES 54 MINUTES 29 SECONDS WEST, A DISTANCE OF 478.34 FEET TO A SET IRON 1/2 INCH PIN WITH A YELLOW CAP READING WHP 3025 AND THE BEGINNING OF A CURVE TO THE RIGHT; THENCE ALONG SAID CURVE, HAVING A RADIUS OF 1817.36 FEET AND A CENTRAL ANGLE OF 3 DEGREES 30 MINUTES 43 SECONDS, A TANGENT OF 55.72 FEET, BEING SUBTENDED BY A CHORD WHICH BEARS NORTH 82 DEGREES 40 MINUTES 24 SECONDS WEST 111.38, A DISTANCE OF 111.40 FEET TO A POINT OF A CUSP BEING A SET CHISEL MARK IN THE EXISTING SIDEWALK AND ALSO BEING THE SOUTHEAST CORNER OF LOT 43 OF THE KINGS CROSSING P.D. PHASE 1 AS RECORDED IN SCRO PLAT BOOK 203, PAGE 24; THENCE FOLLOWING ALONG THE EAST LINES OF LOTS 21-25, 30-31, 37-38, AND 43 OF THE SAID KINGS CROSSING P.D. PHASE 1 NORTH 10 DEGREES 04 MINUTES 46 SECONDS EAST, A DISTANCE OF 1597.42 FEET PASSING SEVERAL FOUND 1/2 INCH IRON PINS OF SAID LOTS TO A SET 1/2 INCH IRON PIN WITH A YELLOW CAP READING WHP 3025 AND ALSO BEING THE NORTHEAST CORNER OF LOT 21 OF THE SAID KINGS CROSSING P.D. PHASE 1 AND THE SOUTHWEST CORNER OF LOT 75 OF THE KINGS CROSSING P.D. PHASE 2 AS RECORDED IN SCRO PLAT BOOK 202, PAGE 33; THENCE FOLLOWING THE SOUTH LINE OF LOTS 72-75 OF SAID KINGS CROSSING P.D. PHASE 2 SOUTH 80 DEGREES 09 MINUTES 12 SECONDS EAST, A DISTANCE OF 615.74 FEET TO A SET 1/2 INCH IRON PIN WITH A YELLOW CAP READING WSP 3025 ALSO BEING THE SOUTHEAST CORNER OF LOT 72 OF THE SAID KINGS CROSSING P.D. PHASE 2 AND BEING A POINT IN THE WEST LINE OF LOT 74 OF THE STONECREST P.D. AS RECORDED IN SCRO PLAT BOOK 211, PAGE 11; THENCE FOLLOWING THE WEST LINES OF LOTS 58-59, B. 68-74 OF THE SAID STONECREST P.D SOUTH 11 DEGREES 10 MINUTES 33 SECONDS WEST, A DISTANCE OF 1184.62 FEET TO A FOUND 1/2 INCH IRON PIPE BEING THE SOUTWEST CORNER OF LOT 58 OF THE SAID STONCREST P.D. AND ALSO BEING THE NORTWEST CORNER OF THE SAID RICK MROCH PROPERTY; THENCE FOLLOWING THE WEST LINE OF THE SAID RICK MROCH PROPERTY SOUTH 10 DEGREES 41 MINUTES 36 SECONDS WEST, A DISTANCE OF 385.26 FEET TO THE POINT OF BEGINNING.

CONTAINING 21.85 ACRES, MORE OR LESS

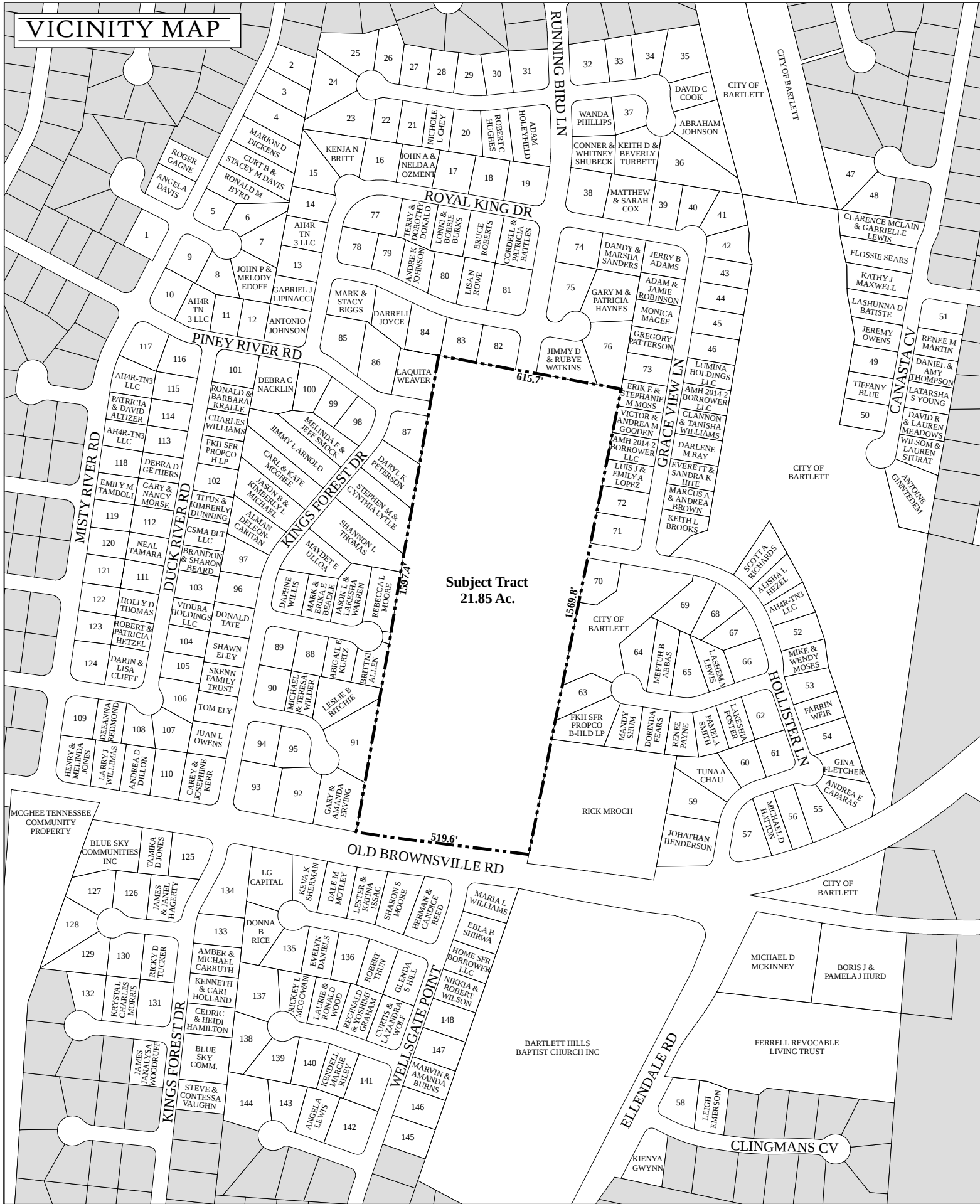


REZONING PLOT PLAN/CONCEPT PLAN			
GUFFIN PROPERTY			
ZONING: RS-18 "SINGLE-FAMILY RESIDENTIAL"		DEED: INSTRUMENT NO. 19106818	
BARTLETT, SHELBY COUNTY, TENNESSEE			
NUMBER OF LOTS: 55	ACREAGE: 21.85 Acres		PARCEL ID NUMBER: B014 00901
APPLICANT: GBI CONTRACTORS 110 CAMPGROUND ROAD REDBANKS, MS 38661		ENGINEER: W.H. PORTER CONSULTANTS, PLLC 6055 PRIMACY PARKWAY SUITE 115 MEMPHIS TN 38119	
100-YEAR FLOOD ELEV: N/A	FEMA MAP PANEL : 47157C0190G	FEMA MAP DATE: FEBRUARY 6, 2013	
DATE: OCTOBER 6, 2025	SCALE: 1" = 100'	SHEET 1 OF 1	

PROPERTY OWNER:
SAMMY GUFFIN
95 8TH STREET APT 1803
ATLANTA, GA 30309

DEVELOPER:
GBI CONTRACTORS, INC
110 CAMPGROUND ROAD
REDBANKS, MS 38661

VICINITY MAP



Subject Tract
21.85 Ac.

0 OLD BROWNSVILLE ROAD
PARCEL ID: B0148 00901
(GUFFIN PROPERTY)
BARTLETT, TENNESSEE

DEVELOPER:
GBI CONTRACTORS, INC.
110 CAMPGROUND ROAD
REDBANKS, MS 38661

<u>Lot#</u>	<u>Owner</u>
1.	JEFF S & NORMINIA HALLIBUTON
2.	RICHARD S & BETH TOWNLEY
3.	SCOTT K & ANDREA N VALLIER
4.	ANDREA N & CASSAND W DODSON
5.	ELIZABETH JOHNSON
6.	ANGELITA T & ISAGANI A MABILIN
7.	MICAH J & KIMBERLY SANDERSON
8.	PR BORROWER 26 LLC
9.	CHARLES D & REBECCA L MITCHELL
10.	MIKE A & BARBARA L FAULKNER
11.	GARY G MURPHY REVOCABLE TRUST
12.	ANTOINETTE WIMBERLY
13.	ANTHONY BRAMLETT
14.	ERNEST C & SANDRA A KEEFER
15.	ABDULMAJID A ALMEZJAJI & SARAH HEZAM
16.	BENNIE F & ESTELLA LEFLORE
17.	MELISSA & RICHARD SCHEIDERER
18.	SYLAS SPRADLEY AND KYLEA PETERS AND TYLER SPRADLEY
19.	ALEXANDER RECVOABLE LIVING TRUST
20.	RICHARD J & BEVERLY G PEYTON
21.	PORSCHE R MATTHEWS
22.	WARD O & PAMELA H LINDSEY
23.	CHASITY HENDERSON & MAURICE WOOTEN
24.	REUBEN NGANGA & MARTHA KARUNDA REVOCABLE LIVING TRUST
25.	DAXSHA D & SANJAY K VERMA
26.	COOPER WASH REVOCABLE TRUST
27.	RICKY L & GRETA L SPENCER
28.	SHANNON SIMS & CANDICE HAMPTON-SIMMS
29.	TONY C & SUZANNE R QUARLES
30.	HOWARD S & CATHY CARNEY
31.	HERMAN G & JANE D HARRISON
32.	DAVID L & KIMBERLY M ALLEN
33.	ANTON D & TERRIYANA E HILL
34.	VINCENT C & CATINA A JENNINGS
35.	ALLEN D & LISA C BEYERSDORF
36.	CHARLES O & OLATUNBOSUN ADADEVOH
37.	BRUCE T & SANDRA E JOHNSON
38.	DAVID M FERET & LESLIE D WILLINS
39.	CAROL T OWEN & ROBING FLEMING
40.	ANTHONY D HILLARD
41.	CHARLOTTE BENTON & JONNAIR HOLMES
42.	LARRY L & ROBBIE IRWIN
43.	CHRISTOPHER MORROW & JAMES E FIELDS
44.	GEORGE CUNNINGHAM & NAKISA A BANKS
45.	AUDREY HILL & PHYLLIS S FERGUSON
46.	LINGLING WANG & SHENGLI HAO
47.	NORMAN R & CONNIE G GOBBLE REVOCABLE LIVING TRUST
48.	KENNETH M & SHIRLEY S LUSE
49.	JERIMIAH & CARLOTTA WOODS
50.	GEORGE H & STEPHANIE D PETERSON
51.	BENJAMIN & DONNA M GILLIAIM

<u>Lot#</u>	<u>Owner</u>
52.	MARCUS J & MARQUITA S JOHNSON
53.	KENYUN T GLOVER & TIVIA HAYES GLOVER
54.	GERAK M & SHANNON R GUYOT
55.	TOMMY L & GENETTA BADY
56.	JOEL M & KRISTY L KATZ
57.	RANDY C & DEBORAH M TAYLOR
58.	HORACIO G DOMINGUEZ & NORMA A GUERRERO
59.	GENISE WATSON & PACINO REED-BRYANT
60.	RS RENTAL III-A LLC
61.	MELVIN & YOLANDER R MADISON
62.	STEPHANIE D BLACKLEY & MICHAEL J NURSE
63.	PATRICK WILLIS & TARSHA JONES-WILLIS
64.	FHK SFR PROPCO I LP
65.	BRYAN & TAMEIKA A CHALMERS
66.	WILLIE J & ESTHER L WHITFIELD
67.	TONY M & TERRI W DEBERRY
68.	DAISY VONGPHRACHANH
69.	KATIE & FRANK SMITH
70.	FABIAN REYES-AREIAGA & CARMAN REYES
71.	GREGORIO & SHARON ACANG
72.	AMH 2014-2 BORROWER LLC
73.	BENJAMIN I & JENNIFER L JOHNSON
74.	STEPHANIE D WATKINS REVOCABLE LIVING TRUST
75.	SANDRA SCOTT & JONATHAN O GRAVES
76.	JIM A & BEVERLY A HARBIN
77.	THEODORE A & REGINA V PERRY
78.	REGINALD R & DANA M PRIDE
79.	LEE REVOCABLE LIVING TRUST
80.	ZACHARY B & MEGHAN M ULLRICH
81.	MICHAEL P & SHARON A PUTT
82.	MATTHEW & DOMINICA HARRIS
83.	BILLY & MELINDA HENSON LIVING TRUST
84.	ROBERT T DODSON & MORGAN BERRY
85.	QUEEN TAYLOR & EUDORA THOMPSON
86.	ANDREW & HELEN J CHAVERS
87.	THOMAS & MEGAN TURNER
88.	AH4R TN PROPERTIES TWO LLC
89.	CADARRIUS & BREYA W MCGLOWN
90.	JOSEPH M FERDINAND & ROBIN E STEVENS-FERDINAND
91.	REBECCA CUNNINGHAM
92.	MARCELO P NATUPLAG & EVELYN M MASPIIL
93.	ESMERALDA ARELLANO & HUMBERTO VELAZQUEZ
94.	SHERWANDA S JAMESON
95.	THOMAS M & PATRICIA W BURNS
96.	FLOYD L & CANDACE S COVEY
97.	DALE S THOMPSON
98.	DORETHEA OGARRO
99.	TIMOTHY A & SHELIA K WHALEY
100.	SHARON & TRENNIS SWIMS
101.	CHARLES R & PATRICIA A CONNELL

<u>Lot#</u>	<u>Owner</u>	<u>Lot#</u>	<u>Owner</u>
102.	THOMAS DAMSKE & HAMIE D KELLY		
103.	PROGRESS RESIDENTIAL BORROWER 5 LLC		
104.	ISMET & SUZANN N CELEBI		
105.	MARK A & SHERRI J WILLIAMS		
106.	KEYON & CHIQUITA LOVE		
107.	THOMAS W & CHARLOTTE L PUCKETT		
108.	STEWART B CUMMOCK		
109.	AMATSYAH B YISRAEL		
110.	HOME SFR BORROWER IV LLC		
111.	JAMES S & KELLY C SCZEPANSKI		
112.	AMH 2014-2 BORROWER LLC		
113.	MAREK R & URSZULA M BIS		
114.	CALLICOTT FAMILY TRUST		
115.	JENNIFER M & MARK C SCHULTZ		
116.	CORNELIA M WILSON & KAREN L CARDOSI		
117.	JAY J & DANNA JO MATTHEWS		
118.	HACKETT REVOCABLE LIVING TRUST		
119.	ROY E & VIRGINIA C CUNNINGHAM		
120.	MATTHEW D & MARY A BURKE		
121.	HAZEM ABDELKARIM & BIHGHA J KRAKRA		
122.	DANILO O & CELESTINA LARA		
123.	TOMMY C THOMPSON		
124.	DENA & DOUGLAS CARLOCK		
125.	MUHAMMED HOSSIAN		
126.	DAVID HILL & TAMIKO BUSBY-HILL		
127.	ZACHARY GINN & CHARLENE A PATINO		
128.	SANJAY & TOMA DAS ROY		
129.	CHRISTOPHER & RYSHAYDEE GREELY		
130.	KARIS BROWDER & CRAIG HAWKINS		
131.	LOIUS JOE GLADNEY & MYCHA Y WILLIMAS-GLADNEY		
132.	CATHERINE M REYES		
133.	NATHANIEL L & TYNESHIA T SMITH		
134.	RAMON F & MELANIA N RINKIN		
135.	MOHAMMAD R HOSAIN & AMINA KHATUN		
136.	JOSEPH R THOMAS & APRIL DEAN		
137.	RANDY J & JULIE D GLOVER		
138.	MARCELLA L SKIPPER		
139.	REMO M & MELANIE J GAY		
140.	YOLUNDA YARBROUGH		
141.	MOHAMMED A KHAIR		
142.	TRAVIS N & DONNA J HAMMONDS		
143.	AMH 2014-2 BORROWER LLC		
144.	DAVID L & JULIE D GLOVER		
145.	DONALD & MADELINE HOWERY AND CASSANDRA H TAYLOR		
146.	GARY B & JACQUELINE M MCCLINTON		
147.	ARREGIOUS N & MONICA H JOYNER		
148.	AMY J DAVENPORT		

RICK MROCH
1062 NEW YORK ST
MEMPHIS, TN 38104

JONATHAN S HENDERSON
4789 E ELLENDAL RD
BARTLETT, TN 38135

GENISE WATSON & PACINO R REED-
BRYANT
4803 ELLENDALE RD
BARTLETT, TN 38135

TUAN A CHAU
4807 ELLENDALE RD
BARTLETT, TN 38135

RS RENTAL III-A LLC
32 MERCER ST FLOOR 4
NEW YORK, NY 10013 2518

MELVIN & YOLANDER R MADISON
4819 ELLENDALE RD
BARTLETT, TN 38135

STEPHANIE D BLACKLEY & MICHAEL J
NURSE
6615 HOLLISTER CV
BARTLETT, TN 38135

LAKESHIA FOSTER
6607 HOLLISTER CV
BARTLETT, TN 38135

PAMELA SMITH
6601 HOLLISTER CV
BARTLETT, TN 38135

RENEE W PAYNE
6595 HOLLISTER CV
BARTLETT, TN 38135

DORINDA M FEARS
6589 HOLLISTER CV
BARTLETT, TN 38135

MANDY SHUM
6577 HOLLISTER CV
BARTLETT, TN 38135

FKH SFR PROPCO B-HLD LP
600 GALLERIA PWKY STE 300
ATLANTA, GA 30339

PATRICK WILLIS & TARSHA JONES-WILLIS
6570 HOLLISTER CV
BARTLETT, TN 38135

CITY OF BARTLETT
6400 STAGE RD
MEMPHIS, TN 38134

FHK SFR PROPCO I LP
600 GALLERIA PWKY STE 300
ATLANTA, GA 30339

MEFTUH B ABBAS
6586 HOLLISTER CV
BARTLETT, TN 38135

BRYAN & TAMEIKA CHALMERS
6596 HOLLISTER CV
BARTLETT, TN 38135

LASHEMA LEWIS
6609 HOLLISTER CV
BARTLETT, TN 38135

WILLIE J & ESTHER L WHITFIELD
6616 HOLLISTER CV
BARTLETT, TN 38135

TONY M & TERRI W DEBERRY
6619 HOLLISTER LN
BARTLETT, TN 38135

DAISY VONGPHRACHANH
6611 HOLLISTER LN
BARTLETT, TN 38135

KATIE & FRANK SMITH
6595 HOLLISTER LN
BARTLETT, TN 38135

FABIAN REYES-AREIAGA & CARMEN S
REYES
6565 HOLLISTER LN
BARTLETT, TN 38135

SCOTT A RICHARDS
6610 HOLLISTER LN
BARTLETT, TN 38135

ALISHA L HEZEL
6616 HOLLISTER LN
BARTLETT, TN 38135

AH4R-TN3 LLC
23975 PARK SORRENTO STE 300
CALABASAS, CA 91302

MARCUS J & MARQUITA S JOHNSON
6626 HOLLISTER LN
BARTLETT, TN 38135

MIKE & WENDY MOSES
6630 HOLLISTER LN
BARTLETT, TN 38135

KENYUN T GLOVER & TIVIA HAYES
GLOVER
6636 HOLLISTER LN
BARTLETT, TN 38135

FARRIN WEIR
6640 HOLLISTER LN
BARTLETT, TN 38135

GERAK M & SHANNON R GUYOT
6646 HOLLISTER LN
BARTLETT, TN 38135

GINA FLETCHER
6650 HOLLISTER LN
BARTLETT, TN 38135

ANDREA E CAPARAS
4824 ELLENDALE RD
BARTLETT, TN 38135

TOMMY L & GENETTA BADY
4820 ELLENDALE RD
BARTLETT, TN 38135

JOEL M & KRISTY L KATZ
4816 ELLENDALE RD
BARTLETT, TN 38135

MICHAEL D HATTON
4810 ELLENDALE RD
BARTLETT, TN 38135

RANDY C & DEBORAH M TAYLOR
4790 ELLENDALE DR
BARTLETT, TN 38135

FERRELL REVOCABLE LIVING TRUST
4722 ELLENDALE RD
BARTLETT, TN 38135

CITY OF BARTLETT
6400 STAGE RD
BARTLETT, TN 38135

MICHAEL D MCKINNEY
8893 VALLEY CREEK DR
ARLINGTON, TN 38002

BORIS J & PAMELA J HURD
7263 OLD BROWNSVILLE RD
ARLINGTON, TN 38002

BARTLETT HILLS BAPTIST CHURCH INC
4641 ELLENDALE RD
MEMPHIS, TN 38135

KIENYA GWYNN
6593 CLINGMANS CV
BARTLETT, TN 38135

HORACIO DOMINGUEZ & NORMA
GUERRERO
6602 CLINGMANS CV
BARTLETT, TN 38135

LEIGH A EMERSON
6612 CLINGMANS CV
BARTLETT, TN 38135

MCGHEE TENNESSEE COMMUNITY
PROPERTY TRUST
6389 OLD BROWNSVILLE RD
BARTLETT, TN 38135

BLUE SKY COMMUNITIES INC
177 CRESENT DR
COLLIERSVILLE, TN 38017

TAMIKA D JONES
6423 OLD BROWNSVILLE RD
MEMPHIS, TN 38125

MUHAMMED HOSSIAN
6429 OLD BROWNSVILLE RD
BARTLETT, TN 38135

JAMES & JANEL HAGERTY
6424 SALLOWS CV
BARTLETT, TN 38135

DAVID & TAMIKO HILL
6412 SALLOWS CV
BARTLETT, TN 38135

ZACHARY GINN & CHARLENE PATINO
6404 SALLOWS CV
BARTLETT, TN 38135

SANJAY & TOMA ROY
6398 SALLOWS CV
BARTLETT, TN 38135

CHRISTOPHER & RYSHAUDEE GREELY
8252 SAWER MILL CV
ARLINGTON, TN 38002

KARIS BROWDER & CRAIG HAWKINS
6411 SALLOWS CV
BARTLETT, TN 38135

RICKY D TUCKER
6425 SALLOWS CV
BARTLETT, TN 38135

LOUIS JOE GLADNEY & MYCHA WILLIAMS-
GLADNEY
6422 OSIER CV
BARTLETT, TN 38135

KRYSTAL L & CHARLES E MORRIS
6410 OSIER CV
BARTLETT, TN 38135

CATHERINE M REYES
6400 OSIER CV
BARTLETT, TN 38135

JAMES J & JANALYSA M WOODRUFF
6423 OSIER CV
BARTLETT, TN 38135

STEVE & CONTESSA C VAUGHN
4700 KINGS FOREST DR
BARTLETT, TN 38135

BLUE SKY COMMUNITIES INC
177 CRESCENT DR
COLLIERVILLE, TN 38017

CEDRIC & HEIDI HAMILTON
4726 KINGS FOREST DR
BARTLETT, TN 38135

KENNETH L & CARLA A HOLLAND
4734 KINGS FOREST DR
BARTLETT, TN 38135

AMBER & MICHAEL CARRUTH
4744 KINGS FOREST DR
BARTLETT, TN 38135

NATHANIEL L & TYNESHIA T SMITH
4754 KINGS FOREST DR
BARTLETT, TN 38135

RAMON F & MELANIA N RINKIN
4770 KINGS FOREST DR
BARTLETT, TN 38135

MARIA L WILLIAMS
4770 WELLSGATE PT
BARTLETT, TN 38135

EBLA B SHIRWA
4760 WELLSGATE PT
BARTLETT, TN 38135

HOME SFR BORROWER LLC
3505 KROGER BLVD STE 400
DULUTH, GA 30096

NIKKIA R & ROBERT W WILSON
4740 WELLSGATE PT
BARTLETT, TN 38135

AMY J DAVENPORT
4730 WELLSGATE PT
BARTLETT, TN 38135

ARREGIOUS N & MONICAL H JOYNER
4728 WELLSGATE PT
BARTLETT, TN 38135

MARVIN & AMANDA F BURNS
4710 WELLSGATE PT
BARTLETT, TN 38135

GARY B & JACQUELINE M MCCLINTON
4700 WELLSGATE PT
BARTLETT, TN 38135

DONALD & MADELINE HOWERY
4690 WELLSGATE PT
BARTLETT, TN 38135

TRAVIS & DONNA HAMMOMNDS
6486 WELLS FARMS CV
BARTLETT, TN 38135

ANGELA LEWIS
6476 WELLS FARMS CV
BARTLETT, TN 38135

AMH 2014-2 BORROWER LLC
23975 PARK SORRENTO STE 300
CALABASAS, CA 91302

DAVID L & JULIE D GLOVER
6456 WELLS FARMS CV
BARTLETT, TN 38135

MOHAMMED A KHAIR
6497 WELLS FIELDS CV
BARTLETT, TN 38135

KENDELL M & MARCIE K RILEY
6487 WELLS FIELDS CV
BARTLETT, TN 38135

YOLUNDA YARBROUGH
6477 WELLS FIELDS CV
BARTLETT, TN 38135

REMO M & MELANIE J GAY
6467 WELLS FIELDS CV
BARTLETT, TN 38135

MARCELLA L
6451 WELLS FIELDS CV
BARTLETT, TN 38135

RANDY J & BRIDGE F BENNEY
6458 WELLS FIELDS CV
BARTLETT, TN 38135

RICKEY L MCGOWAN
6468 WELLS FIELDS CV
BARTLETT, TN 38135

LAURIE A & RONALD B WOOD
6478 WELLS FIELDS CV
BARTLETT, TN 38135

REGINALD & YOSHIMI GRAHAM
6488 WELLS FIELDS CV
BARTLETT, TN 38135

CURTIS & LAZANDRA
6498 WELLS FIELDS CV
BARTLETT, TN 38135

GLEND A D HILL
6509 WELLSGATE CV
BARTLETT, TN 38135

ROBERT THUN
6499 WELLSGATE CV
BARTLETT, TN 38135

JOSEPH THOMAS & APRIL DEAN
6489 WELLSGATE CV
BARTLETT, TN 38135

EVELYN DANIELS
6479 WELLSGATE CV
BARTLETT, TN 38135

MOHAMMAD HOSAIN & AMINA
KHATUN
6469 WELLSGATE CV
BARTLETT, TN 38135

DONNA B RICE
6455 WELLSGATE CV
BARTLETT, TN 38135

LG CAPITAL
6460 WELLSGATE CV
BARTLETT, TN 38135

KEVA K SHERMAN
6470 WELLSGATE CV
BARTLETT, TN 38135

DALE M MOTLEY
6480 WELLSGATE CV
BARTLETT, TN 38135

LESTER & KATINA L ISSAC
6490 WELLSGATE CV
BARTLETT, TN 38135

SHARON S MOORE
6500 WELLSGATE CV
BARTLETT, TN 38135

HERMAN L & CANDICE L REED
6510 WELLSGATE CV
BARTLETT, TN 38135

BENJAMIN & DONNA M GILLIAM
4964 CANASTA CV
ARLINGTON, TN 38002

RENEE M MARTIN
4960 CANASTA CV
ARLINGTON, TN 38002

DANIEL L & AMY THOMPSON
4952 CANASTA CV
ARLINGTON, TN 38002

LATARSHA S YOUNG
4944 CANASTA CV
ARLINGTON, TN 38002

DAVID R & LAUREN L MEADOWS
4934 CANASTA CV
ARLINGTON, TN 38002

WILSON & LAUREN STUART
4926 CANASTA CV
ARLINGTON, TN 38002

ANTIONE F GNINTEDEM
4916 CANASTA CV
ARLINGTON, TN 38002

CITY OF BARTLETT
6400 STAGE RD
MEMPHIS, TN 38134

NORMAN R & CONNIE G GOBBLE
REVOCABLE LIVING TRUST
6657 LOOSAHATCHIE CV
ARLINGTON, TN 38002

KENNETH M & SHIRLEY S LUSE
6661 LOOSAHATCHIE CV
ARLINGTON, TN 38002

CLARENCE MCCLAIN & GABRIELLE
LEWIS
4979 LOOSAHATCHIE DR
BARTLETT, TN 38002

FLOSSIE SEARS
4973 LOOSAHATCHIE DR
ARLINGTON, TN 38002

KATHY J MAXWELL
4969 LOOSAHATCHIE DR
ARLINGTON, TN 38002

LASHUNNA D BATISTE
4965 CANASTA CV
BARTLETT, TN 38135

JEREMY OWENS
4959 CANASTA CV
BARTLETT, TN 38135

JEREMIAH& CARLOTTA WOODS
4953 CANASTA CV
BARTLETT, TN 38135

TIFFANY BLUE
4945 CANASTA CV
ARLINGTON, TN 38002

GEORGE H & STEPHANIE D PETERSON
4933 CANASTA CV
ARLINGTON, TN 38002

GREGORIO & SHARON ACANG
4891 GRACE VIEW LN
BARTLETT, TN 38135

AMH 2014-2 BORROWER LLC
23975 PARK SORRENTO STE 300
CALABASAS, CA 91320

LUIS J & EMILY A LOPEZ
4911 GRACE VIEW LN
BARTLETT, TN 38135

AMH 2014-2 BORROWER LLC
23975 PARK SORRENTO STE 300
CALABASAS, CA 91320

VICTOR & ANDREA M GOODEN
4929 GRACE VIEW LN
BARTLETT, TN 38135

ERIK E & STEOHANIE M MOSS
5727 CLEOME RD
WESTERVILLE, OH 43081

BENJAMIN I & JENNIFER L JOHNSON
4947 GRACE VIEW LN
BARTLETT, TN 38135

GREGORY L PATTERSON
4955 GRACE VIEW LN
BARTLETT, TN 38135

MONICA MAGEE
4965 GRACE VIEW LN
BARTLETT, TN 38135

ADAM & JAMIE ROBINSON
4975 GRACE VIEW LN
BARTLETT, TN 38135

JERRY B ADAMS
4985 GRACE VIEW LN
BARTLETT, TN 38135

LARRY L & ROBBIE IRWIN
4990 GRACE VIEW LN
BARTLETT, TN 38135

CHRISTOPHER L MORROW & JAMIE E
FIELDS
4982 GRACE VIEW LN
BARTLETT, TN 38135

GEORGE CUNNINGHAM & NAKISA A
BANKS
4974 GRACE VIEW LN
BARTLETT, TN 38135

AUDREY R HILL & PHYLLIS S FERGUSON
4964 GRACE VIEW LN
BARTLETT, TN 38135

LINGLING WANG
6531 NORTE DAME DR
BUENA PARK, CA 90620

LUMINA HOLDINGS LLC
5100 POPLAR AVE STE 1503
MEMPHIS, TN 38137

AMH 2014-2 BORROWER LLC
23975 PARK SORRENTO STE 300
CALABASAS, CA 91320

CLANNON & TANISHA WILLIAMS
4930 GRACE VIEW LN
BARTLETT, TN 38135

DARLENE M RAY
4922 GRACE VIEW LN
BARTLETT, TN 38135

EVERTT & SANDRA K HITE
4914 GRACE VIEW LN
BARTLETT, TN 38135

MARCUS A & ANDREA BROWN
4904 GRACE VIEW LN
BARTLETT, TN 38135

KEITH L BROOKS
4892 GRACE VIEW LN
BARTLETT, TN 38135

DAVID M FERET & LESLIE D WILLINS
5000 RUNNING BIRD LN
BARTLETT, TN 38135

CONNER & WHITNEY SHUBECK
5024 RUNNING BIRD LN
BARTLETT, TN 38135

STEPHANIE WATKINS REVOCABLE
LIVING TRUST
6559 ROYAL KING DR
BARTLETT, TN 38135

DANDY & MARSHA O SANDERS
6575 ROYAL KING DR
BARTLETT, TN 38135

MATTHEW R & SARAH E COX
6572 ROYAL KING DR
BARTLETT, TN 38135

CAROL T OWEN & ROBIN FLEMING
6580 ROYAL KING DR
BARTLETT, TN 38135

ANTHONY D HILL
6588 ROYAL KING DR
BARTLETT, TN 38135

CHARLOTTE C BENTON & JONNAIR
HOLMES
6594 ROYAL KING DR
BARTLETT, TN 38135

ALEXANDER REVOCABLE LIVING TRUST
6536 ROYAL KING DR
BARTLETT, TN 38135

SYLAS SPRADLEY AND KYLEA PETERS AND
TYLER SPRADLEY
6524 ROYAL KING DR
BARTLETT, TN 38135

MELISSA & RICHARD SCHEIDERER
6512 ROYAL KING DR
BARTLETT, TN 38135

JOHN A & NELDA A OZMENT
6500 ROYAL KING DR
BARTLETT, TN 38135

BENNIE F & ESTELLA LEFLORE
6490 ROYAL KING DR
BARTLETT, TN 38135

THEODORE A & REGINA V PERRY
6491 ROYAL KING DR
BARTLETT, TN 38135

TERRY & DORTHY DONALD
6505 ROYAL KING DR
BARTLETT, TN 38135

LONNI & BOBBIE BURKS AND MICHAEL
CARR
6519 ROYAL KING DR
BARTLETT, TN 38135

BRUCE ROBERTS
6529 ROYAL KING DR
BARTLETT, TN 38135

CORDELL W & PATRICIA L BATTLES
6536 ROYAL KING DR
BARTLETT, TN 38135

WANDA K PHILLIPS
6555 RUNNING BIRD CV
ARLINGTON, TN 38002

BRUCE T & SANDRA E JOHNSON
6565 RUNNING BIRD CV
ARLINGTON, TN 38002

KEITH D & BEVERLY A TURBETT
6583 RUNNING BIRD CV
ARLINGTON, TN 38002

CHARLES & OLATUNBOSUN ADADEVOH
6587 RUNNING BIRD CV
ARLINGTON, TN 38002

ABRAHAM JOHNSON
6584 RUNNING BIRD CV
ARLINGTON, TN 38002

DAVID C COOK
6580 RUNNING BIRD CV
ARLINGTON, TN 38002

ALLEN D & LISA C BEYERSDORF
6576 RUNNING BIRD CV
ARLINGTON, TN 38002

VINCENT & CATINA JENNINGS
6572 RUNNING BIRD CV
ARLINGTON, TN 38002

ANTON D & TERRIYANA E HILL
6562 RUNNING BIRD CV
ARLINGTON, TN 38002

DAVID & KIMBERLY ALLEN
6552 RUNNING BIRD CV
ARLINGTON, TN 38002

HERMAN G & JANE D HARRISON
6534 STECK CV
ARLINGTON, TN 38002

HOWARD S & CATHY CARNEY
6530 STECK CV
ARLINGTON, TN 38002

TONY C & SUZANNE R QUARLES
6520 STECK CV
ARLINGTON, TN 38002

SHANNON SIMS & CANDICE HAMPTON-
SIMS
6510 STECK CV
ARLINGTON, TN 38002

RICKY L & GRETA L SPENCER
6498 STECK CV
ARLINGTON, TN 38002

COOPER WASH REVOCABLE TRUST
6488 STECK CV
ARLINGTON, TN 38002

DAXSHA D & SANJAY K VERMA
6484 STECK CV
ARLINGTON, TN 38002

REUBEN NGANGA & MARTHA
KARUNDA REVOCABLE LIVING TRUST
6480 STECK CV
ARLINGTON, TN 38002

CHASITY HENDERSON & MAURICE
WOOTEN
6485 STECK CV
ARLINGTON, TN 38002

WARD O & PAMELA H LINDSEY
6491 STECK CV
ARLINGTON, TN 38002

PORSCHE R MATTHEWS
6501 STECK CV
ARLINGTON, TN 38002

NICHOLE L CHEY
6511 STECK CV
ARLINGTON, TN 38002

RICHARD J & BEVERLY G PEYTON
6521 STECK CV
ARLINGTON, TN 38002

ROBERT C HUGHES
6525 STECK CV
ARLINGTON, TN 38002

ADAM M HOLYFIELD
6531 STECK CV
ARLINGTON, TN 38002

SANDRA SCOTT & JONATHAN GRAVES
6552 ROYAL VALLEY CV
BARTLETT, TN 38135

GARY M & PATRICIA A HAYNES
6560 ROYAL VALLEY CV
BARTLETT, TN 38135

JIM A & BEVERLY A HARBIN
6559 ROYAL VALLEY CV
BARTLETT, TN 38135

JIMMY D & RUBY K WATKINS
6553 ROYAL VALLEY CV
BARTLETT, TN 38135

MATTHEW & DOMINICA HARRIS
6533 ROYAL VALLEY DR
BARTLETT, TN 38135

BILLY & MELINDA HENSON LIVING TRUST
6519 ROYAL VALLEY DR
BARTLETT, TN 38135

ROBERT DODSON & MORGAN BERRY
6505 ROYAL VALLEY DR
BARTLETT, TN 38135

DARRELL JOYCE
7138 CAROL LN
FALLS CHURCH, VA 22042

LEE REVOCABLE LIVING TRUST
6492 ROYAL VALLEY DR
BARTLETT, TN 38135

ANDRE K JOHNSON
6502 ROYAL VALLEY DR
BARTLETT, TN 38135

ZACHARY B & MEGHAN M ULLRICH
6510 ROYAL VALLEY DR
BARTLETT, TN 38135

LISA N ROWE
6520 ROYAL VALLEY DR
BARTLETT, TN 38135

MICHAEL P & SHARON A PUTT
6532 ROYAL VALLEY DR
BARTLETT, TN 38135

KENJA N BRITT
6408 ROYAL KING DR
BARTLETT, TN 38135

ABDULMAJID A ALMEZJAJI & SARAH A
HEZAM
5005 KINGS MEADOW DR
BARTLETT, TN 38135

ERNEST C & SANDRA A KEEFER
4997 KINGS MEADOW DR
BARTLETT, TN 38135

AH4R TN 3 LLC
23975 PARK SORRENTO STE 300
CALABASAS, CA 91302

ANTHONY BRAMLETT
4997 KINGS MEADOW DR
BARTLETT, TN 38135

GABRIEL J LUPINACCI
4965 KINGS MEADOW DR
BARTLETT, TN 38135

MARK E & STACY M BIGGS
4966 KINGS MEADOW DR
BARTLETT, TN 38135

REGINALD R & DANA M PRIDE
4986 KINGS MEADOW DR
BARTLETT, TN 38135

LAQUITA WEAVER
6500 PINEY RIVER RD
BARTLETT, TN 38135

ANDREW & HELEN J CHAVERS
6490 PINEY RIVER RD
BARTLETT, TN 38135

QUEEN TAYLOR & EUDORA THOMPSON
6474 PINEY RIVER RD
BARTLETT, TN 38135

ANTONIO JOHNSON
6452 PINEY RIVER RD
BARTLETT, TN 38135

ANTOINETTE WIMBERLY
6444 PINEY RIVER RD
BARTLETT, TN 38135

GARY MURPHY REVOCABLE TRUST
6436 PINEY RIVER RD
BARTLETT, TN 38135

MIKE & BARBARA L FAULKNER
6416 PINEY RIVER RD
BARTLETT, TN 38135

JAY J & DONNA JO MATTHEWS
6415 PINEY RIVER RD
BARTLETT, TN 38135

DEBRA C MACKLIN
6451 PINEY RIVER RD
BARTLETT, TN 38135

SHARON & TRENNIS SWIMS
6463 PINEY RIVER RD
BARTLETT, TN 38135

TIMOTHY A & SHELIA K WHALEY
6477 PINEY RIVER RD
BARTLETT, TN 38135

DORETHEA OGARRO
6489 PINEY RIVER RD
BARTLETT, TN 38135

RICHARD S & BETH TOWNLEY
5044 MISTY RIVER RD
BARTLETT, TN 38135

SCOTT K & ANDREA N VALLIER
5036 MISTY RIVER RD
BARTLETT, TN 38135

ANDRE & CASSAND DODSON
5028 MISTY RIVER RD
BARTLETT, TN 38135

MARION D DICKENS
5020 MISTY RIVER RD
BARTLETT, TN 38135

CURT B & STACY M DAVIS
5014 MISTY RIVER RD
BARTLETT, TN 38135

RONALD M BYRD
5006 MISTY RIVER RD
BARTLETT, TN 38135

ELIZABETH JOHNSON
4996 MISTY RIVER RD
BARTLETT, TN 38135

ROGER GAGNE
5007 MISTY RIVER RD
BARTLETT, TN 38135

ANGELITA T & ISAGANI A MABILIN
1966 GARZONI PL
SANTA CLARA, CA 95054

MICHAEL J & KIMBERLY SANDERSON
6446 E FORKED RIVER CV
BARTLETT, TN 38135

JOHN P MELODY EDOFF
6445 E FORKED RIVER CV
BARTLETT, TN 38135

PR BORROWER 26 LLC
PO BOX 4090
SCOTTSDALE, AZ 85261

CHARLES D & REBECCA L MITCHELL
6425 E FORKED RIVER CV
BARTLETT, TN 38135

ENGELA DAVIS
6416 W FORKED RIVER CV
BARTLETT, TN 38135

JEFF S & NORMINIA HALLIBURTON
6417 W FORKED RIVER CV
BARTLETT, TN 38135

THOMAS & MEGAN TURNER
4936 KINGS FOREST DR
BARTLETT, TN 38135

DARYL K PETERSON
4926 KINGS FOREST DR
BARTLETT, TN 38135

STEPHEN M & CYNTHIA A LYTLE
4916 KINGS FOREST DR
BARTLETT, TN 38135

SHANNON L THOMAS
4906 KINGS FOREST DR
BARTLETT, TN 38135

MAYDETE E ULLOA
4890 KINGS FOREST DR
BARTLETT, TN 38135

MELINDA F & JEFF SMOCK
4923 KINGS FOREST DR
BARTLETT, TN 38135

JIMMY L ARNOLD
4915 KINGS FOREST DR
BARTLETT, TN 38135

CARL & KATIE MCGHEE
4905 KINGS FOREST DR
BARTLETT, TN 38135

JASON B KIMBERLY L MICHAEL
4895 KINGS FOREST DR
BARTLETT, TN 38135

ALMA N DELEON-CARITAN
4887 KINGS FOREST DR
BARTLETT, TN 38135

DALE S THOMPSON
4875 KINGS FOREST DR
BARTLETT, TN 38135

FLOYD L & CANDANCE S COVEY
3541 WATERFORD CV
COLLIERVILLE, TN 38017

DONALD K TATE
4859 KINGS FOREST DR
BARTLETT, TN 38135

SHAWN ELEY
4845 KINGS FOREST DR
BARTLETT, TN 38135

SKEEN FAMILY TRUST
4835 KINGS FOREST DR
BARTLETT, TN 38135

TOM ELY
4825 KINGS FOREST DR
BARTLETT, TN 38135

JUAN L OWENS
4815 KINGS FOREST DR
BARTLETT, TN 38135

ESMERALDA ARELLANO & HUMBERTO
VELAZQUEZ
4806 KINGS FOREST DR
BARTLETT, TN 38135

JOSEPH M FERDINAND & ROBIN
STEVENS-FERDINAND
6450 REGENTS CV
BARTLETT, TN 38135

MICHAEL E & TERESA S WILDER
6462 REGENTS CV
BARTLETT, TN 38135

LESLIE B RITCHIE
6472 REGENTS CV
BARTLETT, TN 38135

REBECCA CUNNINGHAM
6482 REGENTS CV
BARTLETT, TN 38135

GARY & AMANDA ERVING
6492 REGENTS CV
BARTLETT, TN 38135

MARCELO P NATUPLAG & EVELYN M
MASPIL
6493 REGENTS CV
BARTLETT, TN 38135

THOMAS M & PATRICIA W BURNS
6483 REGENTS CV
BARTLETT, TN 38135

SHERWANDA S JAMESON
6930 AREKA HILL CV
BARTLETT, TN 38135

CADARRIUS & BREYA MCGLOWN
6449 KINGS CV
BARTLETT, TN 38135

AH4R TN PROPERTIES TWO LLC
23975 PARK SORRENTO STE 300
CALABASAS, CA 91302

ABIGALE E KURTZ
6471 KINGS CV
BARTLETT, TN 38135

BRITTNI ALLEN
6481 KINGS CV
BARTLETT, TN 38135

REBECCA L MOORE
6480 KINGS CV
BARTLETT, TN 38135

JASON L & LAKESHA WARREN
6470 KINGS CV
BARTLETT, TN 38135

MARK R & ERIKA E BEADLE
6458 KINGS CV
BARTLETT, TN 38135

DAPHNE WILLIS
6448 KINGS CV
BARTLETT, TN 38135

CHARLES R & PATRICIA A CONNELL
4948 DUCK RIVER RD
BARTLETT, TN 38135

RONALD C & BARBARA M KRALLE
4936 DUCK RIVER RD
BARTLETT, TN 38135

CHARLES L WILLIAMS
4928 DUCK RIVER RD
BARTLETT, TN 38135

FKH SFR PROPCO H LP
600 GALLERIA PWKY STE 300
ATLANTA, GA 30339

THOMAS W DAMSKE & HAMIE KELLY
4910 DUCK RIVER RD
BARTLETT, TN 38135

TITUS & KIMBERLY DUNNING
4900 DUCK RIVER RD
BARTLETT, TN 38135

CSMA BLT LLC
600 GALLERIA PWKY STE 300
ATLANTA, GA 30339

BRANDON & SHARON BEARD
4880 DUCK RIVER RD
BARTLETT, TN 38135

PROGRESS REISENTIAL BORROWER 5 LLC
PO BOX 4090
SCOTTSDALE, AZ 85261

VIDURA HOLDINGS LLC
PO BOX 731356
SAN JOSE, CA 95173

ISMET & SUZANN N CELEBI
4850 DUCK RIVER RD
BARTLETT, TN 38135

MARK A & SHERRI J WILLIAM
4840 DUCK RIVER RD
BARTLETT, TN 38135

KEYON & CHIQUITA LOVE
4830 DUCK RIVER RD
BARTLETT, TN 38135

THOMAS W & CHARLOTTE L PUCKETT
4820 DUCK RIVER RD
BARTLETT, TN 38135

CORNELIA WILSON & KAREN CARDOSI
4947 DUCK RIVER RD
BARTLETT, TN 38135

JENNIFER M & MARK C SCHULTZ
4939 DUCK RIVER RD
BARTLETT, TN 38135

CALLICOTT FAMILY TRUST
4929 DUCK RIVER RD
BARTLETT, TN 38135

MAREK R & URSZULA BIS
4917 DUCK RIVER RD
BARTLETT, TN 38135

DEBRA D GETHERS
1509 PULLMAN DR
SEVERN, MD 21144

GARY A & NANCY H MORSE
4901 DUCK RIVER RD
BARTLETT, TN 38135

NEAL TAMARA
4881 DUCK RIVER RD
BARTLETT, TN 38135

JAMES S & KELLY C SZCEPANSKI
4871 DUCK RIVER RD
BARTLETT, TN 38135

HOLLY D THOMAS
4861 DUCK RIVER RD
BARTLETT, TN 38135

ROBERT & PATRICIA HETZEL
4849 DUCK RIVER RD
BARTLETT, TN 38135

DARIN & LISA CLIFT
6410 NEEDLE RIDGE RD
BARTLETT, TN 38135

STEWART B CUMMOCK
6415 NEEDLE RIDGE RD
BARTLETT, TN 38135

DEANNA REDMOND
6407 NEEDLE RIDGE RD
BARTLETT, TN 38135

AMATSYAH B YISRAEL
6399 NEEDLE RIDGE RD
BARTLETT, TN 38135

HENRY & MELINDA JONES
6398 OLD BROWNSVILLE RD
BARTLETT, TN 38135

LARRY J WILLIAMS
4735 S 3RD ST
MEMPHIS, TN 38109

ANDREA D DILLON
6416 OLD BROWNSVILLE RD
BARTLETT, TN 38135

HOME SFR BORROWER IV LLC
3505 KROGER BLVD STE 400
DULUTH, GA 30096

DENA & DOUGLAS CARLOCK
4842 MISTY RIVER RD
BARTLETT, TN 38135

TOMMY C THOMPSON
4854 MISTY RIVER RD
BARTLETT, TN 38135

DANILO & CELESTINA LARA
4862 MISTY RIVER RD
BARTLETT, TN 38135

EMILY M TAMBOLI
4872 MISTY RIVER RD
BARTLETT, TN 38135

MATTHEW & MARY BURKE
4882 MISTY RIVER RD
BARTLETT, TN 38135

ROY E & VIRGINIA CUNNINGHAM
4892 MISTY RIVER RD
BARTLETT, TN 38135

ROY E & VIRGINIA CUNNINGHAM
4902 MISTY RIVER RD
BARTLETT, TN 38135

HACKETT REVOCABLE LIVING TRUST
4910 MISTY RIVER RD
BARTLETT, TN 38135

PATRICIA M & DAVID ALTIZER
4930 MISTY RIVER RD
BARTLETT, TN 38135

WH PORTER CONSULTANTS
6055 PRIMACY PARKWAY SUITE 115
MEMPHIS, TN 38119

GBI CONTRACTORS
110 CAMPGROUND ROAD
REDBANKS, MS 38661

SAMMY GUFFIN
95 8TH ST NW APT 1803
ATLANTA, GA 4576



PC Construction Plan Application

Date: 10/06/2025

Project Information

Property Address: 0 Bartlett Blvd
Project Name:

Present Zoning: RS-10
of Lots: 5

Description: SFR

Applicant / Owner

Applicant Name: Gustavo Vazquez
Company Name:
Address: 3708 Raleigh Millington
City, State, Zip: Memphis, TN 38128
Phone: 9013838668
Email: gustavo28leonel@gmail.com

Owner Name: Gustavo Vazquez
Company Name:
Address: 3708 Raleigh Millington
City, State, Zip: Memphis, TN 38128
Phone: 9013838668
Email: gustavo28leonel@gmail.com

Architect / Engineer

Architect Contact:
Company Name:
Address:
City, State, Zip:
Phone:
Email:

Architect Contact: David Bray
Company Name: The Bray Firm
Address: 2950 Stage Plaza North
City, State, Zip: Bartlett
Phone: 9013838668
Email: dgbray@comcast.net

I do hereby certify that the information contained herein is true and correct.

David Bray
Name

10/06/2025
Date

**Bartlett Planning and
Economic Development Department
6382 Stage Road, P.O. Box 341148
Bartlett, TN 38184-1148
901-385-6417 FAX 901-385-6419
www.cityofbartlett.org**

Construction Plan Checklist

The applicant shall either indicate that the following items have been completed by a check (✓) or that they are not applicable (n/a).

In addition to all the requirements of the Master Plan, the Construction Plan shall show

- _____ Signature and Seal of Designer, a Professional Civil Engineer Registered in Tennessee
- _____ * Grading Plan, existing & finished contours for the site and fifty (50) feet beyond property
- _____ * Extent and elevation of land below the 100-year flood
- _____ Detailed plan of sewer layouts
- _____ Plan and profile sheets and engineering data for streets, storm drainage, controls for surface and ground water, water and sewer layouts
- _____ Landscape plan and planting schedule as required
- _____ Comprehensive drainage plan
- _____ Construction traffic access plan

Certificates: (As applicable)

- _____ Suitability of Soils for Septic Tanks
- _____ Approval of Water and Sewerage Systems
- _____ Accuracy of Engineering and Design
- _____ Approval of Water and Sewer Lines
- _____ Approval of Street and Drainage Improvements
- _____ Quality of Construction
- _____ Compliance with requirements of EPA
- _____ Approval of Flood Administrator

In addition to the Construction Plan drawings, the following shall be provided:

- _____ One PDF file of the pictorial portion of the Construction Plan sheets indicated above by an asterisk (*), for display at the Planning Commission meeting.

Include a fee of \$500.00 plus \$20.00 per lot with this application (check payable to the City of Bartlett).
The fee is not refundable.

INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED

SCHEDULE OF DRAWINGS

COVER PAGE	1
FINAL PLAT (2 SHEETS)	2
CONSTRUCTION NOTES	4
EROSION CONTROL PLAN (3 SHEETS)	5
SANITARY SEWER PLAN	8
GRADING AND DRAINAGE PLAN	9
WATER PLAN (BY CITY OF BARTLETT)	10
ALLEY	11

CONSTRUCTION DRAWINGS

BARTLETT BLVD. – YALE ROAD P.D.

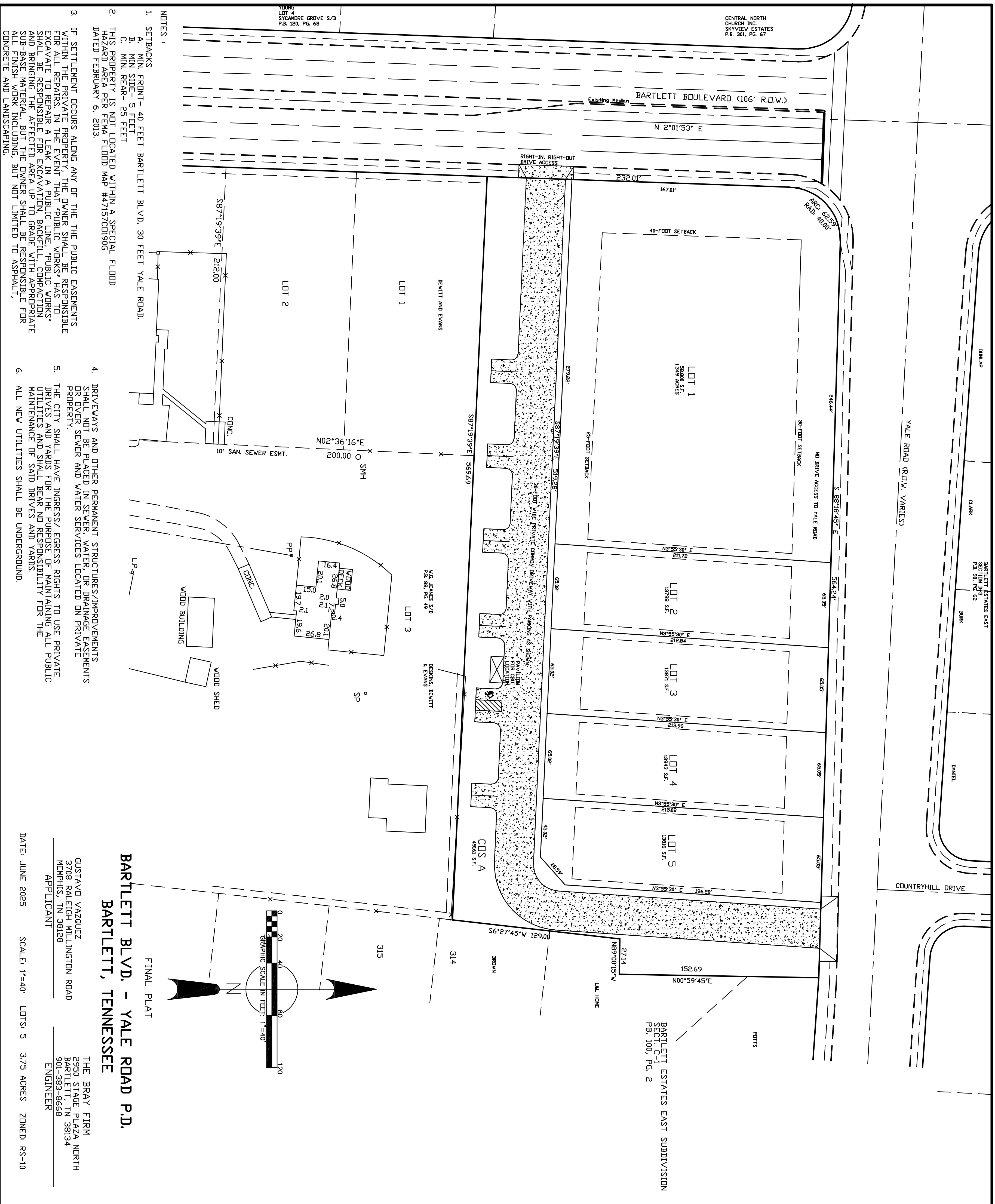
BARTLETT, TENNESSEE

GUSTAVO VAZQUEZ
DEVELOPER

THE BRAY FIRM
ENGINEER

GENERAL NOTES

- CONSTRUCTION NOTES:
1. PROPERTY LINES SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. PROPERTY LINES SHALL BE FULLY COORDINATED WITH ADJACENT PROPERTY OWNERS.
 2. THE CONTRACTOR SHALL VERIFY ANY EXISTING DATA AND REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ENGINEER.
 3. THE CONTRACTOR SHALL NOT ENTER UPON, WORK UPON NOR CAUSE DAMAGE TO ANY ADJACENT PROPERTIES WITHOUT PRIOR PERMISSION FROM ALL ADJACENT PROPERTY OWNERS.
 4. LOCATION OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE AND ARE NOT NECESSARILY ALL OF SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE APPROPRIATE UTILITY COMPANY TO OBTAIN EXISTING UNDERGROUND UTILITY INFORMATION PRIOR TO ANY UNDERGROUND STRUCTURES PRIOR TO THE INITIATION OF ANY CONSTRUCTION. CONTRACTOR SHALL ALSO ASSUME FULL RESPONSIBILITY FOR ANY DAMAGE TO EXISTING UTILITIES DURING CONSTRUCTION.
 5. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES. FOR SITE LOCATION OF EXISTING UTILITIES INVOLVING M.G.A.W., SOUTH CENTRAL BELL AND/OR TEXAS GAS COMPANY, PLEASE CALL 1-800-351-3535.
 6. TYPICAL SITE SLOPES TO BE 1 FOOT VERTICAL TO 4 FEET HORIZONTAL.
 7. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES. SHALL BE SEED, MULCHED, FERTILIZED, AND/OR SODED AS REQUIRED TO PREVENT EROSION.
 8. 24 HOURS PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE CITY OF BARTLETT OF ANY SCHEDULED CONSTRUCTION ACTIVITIES.
 9. ALL CONSTRUCTION MATERIALS & PROCEDURES SHALL MEET STANDARD CITY OF BARTLETT SPECIFICATIONS.
 10. ALL CONSTRUCTION SHALL BE COMPLETED ON A NIGHTLY BASIS AND NOISE PROTECTION SHALL BE MAINTAINED WITHIN 30 FEET OF OPTIMUM NOISE LEVEL AS DETERMINED BY ASTM D698-78 LATEST REVISION (STANDARD PROCTOR).
 11. THE CONTRACTOR SHALL INSTALL AND MAINTAIN A SILT FENCE PRIOR TO ANY CONSTRUCTION ACTIVITIES AND MAINTAIN IT THROUGHOUT THE CONSTRUCTION LIMITS AND CONTINUOUSLY ALONG THE "STREAMSIDE" CONSTRUCTION LIMIT.
 12. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN EROSION CONTROL DURING CONSTRUCTION BY THE PLACEMENT OF SILT FENCES WHERE NECESSARY TO PREVENT EROSION AND MAINTAIN PROPER EROSION CONTROL MEASURES OR ADJACENT PROPERTIES. THE CONTRACTOR SHALL PROVIDE ANY ADDITIONAL EROSION CONTROL AS NEEDED OR AS DIRECTED BY THE ENGINEER.
 13. CONTRACTOR SHALL PROVIDE NECESSARY EROSION CONTROL MEASURES AS DIRECTED BY THE CITY OF BARTLETT TO MAINTAIN COMPLIANCE WITH TENNESSEE REGULATIONS.
 14. ENGINEERS CERTIFICATE: THIS PROJECT HAS BEEN DESIGNED IN ACCORDANCE WITH THE CITY OF BARTLETT SUBDIVISION REGULATIONS.
 15. LOT GRADING AND DRAINAGE:
 - a. FINISH GRADE SHALL BE SLOPED AWAY FROM THE FOUNDATION FOR DRAINAGE.
 - b. THE FINISH GRADE SHALL BE SLOPED AWAY FROM THE FOUNDATION FOR DRAINAGE.
 - c. THE FINISH GRADE SHALL BE SLOPED AWAY FROM THE FOUNDATION FOR DRAINAGE.
 - d. THE FINISH GRADE SHALL BE SLOPED AWAY FROM THE FOUNDATION FOR DRAINAGE.
 - e. THE FINISH GRADE SHALL BE SLOPED AWAY FROM THE FOUNDATION FOR DRAINAGE.
 16. THE CITY OF BARTLETT SHALL HAVE INGRESS/EGRESS RIGHT TO USE PRIVATE DRIVES AND YARDS FOR THE PURPOSE OF MAINTAINING ALL PUBLIC UTILITIES AND TO MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND SAID DRIVES AND YARDS.

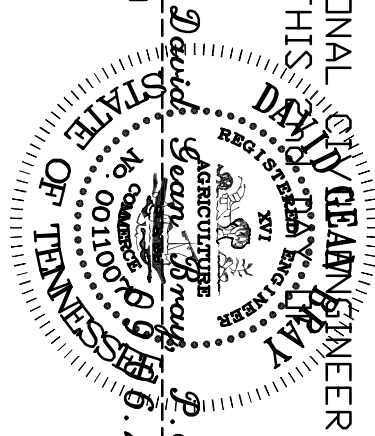


CERTIFICATE OF ADEQUACY OF STORM DRAINAGE

I, DAVID GEAN BRAY, HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL CIVIL ENGINEER, AND THAT I HAVE DESIGNED ALL STORM WATER DRAINAGE FOR AUSTIN PLANNED DEVELOPMENT TO ASSURE THAT NEITHER SAID SUBDIVISION NOR ADJOINING PROPERTY WILL BE DAMAGED OR THE CHARACTER OF LAND USE BE AFFECTED BY THE VELOCITY AND VOLUME OF WATER ENTERING OR LEAVING SAME.

IN WITNESS WHEREOF, I, THE SAID PROFESSIONAL CIVIL ENGINEER, HERETO SET OUT HAND AND AFFIX MY SEAL, THIS 9th DAY OF JULY, 2025

PROFESSIONAL CIVIL ENGINEER David Gean Bray 9.8
STATE OF TENNESSEE CERTIFICATE NO. 110070 8989 2025



CERTIFICATE OF SURVEY.

I, _____, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HAVE SURVEYED THE LANDS EMBRACED WITHIN THE PLAT DESIGNATED AS AUSTIN PLANNED DEVELOPMENT A SUBDIVISION ALL LYING WITHIN THE CORPORATE LIMITS OF THE CITY OF BARTLETT, TENNESSEE, THAT SAID PLAT IS A TRUE AND CORRECT PLAT OF THE LANDS EMBRACED THEREIN, SHOWING THE SUBDIVISION THEREOF IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF BARTLETT, TENNESSEE. I FURTHER CERTIFY THAT THE SURVEY OF THE LANDS EMBRACED WITHIN SAID PLAT HAS BEEN CORRECTLY MONUMENTED IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF BARTLETT, TENNESSEE.

IN WITNESS WHEREOF, I, THE SAID, _____, SURVEYOR, HERETO SET OUT HAND AND AFFIX MY SEAL, THIS _____ DAY OF _____, 2025

LAND SURVEYOR
STATE OF TENNESSEE CERTIFICATE NO. _____

BOARD OF MAYOR AND ALDERMAN CERTIFICATE;

I, _____, HEREBY CERTIFY THAT ALL REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED OR THAT A PERFORMANCE BOND OR OTHER COLLATERAL IN SUFFICIENT AMOUNT TO ASSURE COMPLETION OF ALL REQUIRED IMPROVEMENTS HAS BEEN POSTED FOR THE SUBDIVISION SHOWN ON THIS PLAT AND ARE HEREBY APPROVED BY THE CITY OF BARTLETT, TENNESSEE.

DATE _____ MAYOR
CITY OF BARTLETT

PLANNING COMMISSION CERTIFICATE

I, _____, DO HEREBY CERTIFY THAT THE CITY OF BARTLETT PLANNING COMMISSION HAS APPROVED THIS PLAT OF SUBDIVISION FOR RECORDING.

DATE _____ SECRETARY
BARTLETT PLANNING COMMISSION

OWNERS CERTIFICATE.

WE, CITY CONSTRUCTION & DEVELOPMENT, OWNERS OF THE PROPERTY SHOWN HEREON, HEREBY ADOPT THIS PLAT AS OUR PLAN OF SUBDIVISION, AND DEDICATE THE STREETS, RIGHTS-OF-WAYS, EASEMENTS, AND RIGHTS OF ACCESS AS SHOWN AND /OR DESCRIBED TO THE PUBLIC USE. FURTHER, AND HEREBY CERTIFY THAT WE, THE OWNERS, IN FEE, HAVE HERETOFORE AUTHORIZED THE CITY OF BARTLETT, TENNESSEE, TO UNENCLUMBERED BY ANY TAKES WHICH HAVE BECOME DUE AND PAYABLE.

BART THOMAS _____ DATE _____

STATE OF TENNESSEE
COUNTY OF SHELBY

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC, IN AND FOR SAID STATE AND COUNTY AT MEMPHIS, DULY COMMISSIONED AND QUALIFIED, PERSONALLY APPEARED BART THOMAS WITH WHOM I AM PERSONALLY ACQUAINTED AND WHO UPON OATH ACKNOWLEDGED THAT HE EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED AS HIS OWN FREE ACT AND DEED.

WITNESS MY HAND AND NOTARIAL SEAL, THIS _____ DAY OF _____, 2025.

MY COMMISSION EXPIRES _____

NOTARY PUBLIC

MORTGAGEE'S CERTIFICATE

WE, THE UNDERSIGNED, MORTGAGEE OF THE PROPERTY SHOWN HEREON, HEREBY ADOPT THIS PLAT AS OUR PLAN OF SUBDIVISION AND DEDICATE THE STREETS, RIGHTS-OF-WAY, EASEMENTS, AND RIGHTS OF ACCESS AS SHOWN TO THE PUBLIC USE FOREVER, AND HEREBY CERTIFY THAT WE ARE HERETOFORE AUTHORIZED TO UNENCLUMBERED BY ANY TAKES WHICH HAVE BECOME DUE AND PAYABLE.

NAME _____ TITLE _____ INSTITUTION _____ DATE _____

STATE OF TENNESSEE
COUNTY OF SHELBY

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC, IN AND FOR SAID STATE AND COUNTY AT MEMPHIS, DULY COMMISSIONED AND QUALIFIED, PERSONALLY APPEARED _____ WITH WHOM I AM PERSONALLY ACQUAINTED AND WHO UPON OATH ACKNOWLEDGED HIMSELF AS BEING _____ OF _____ THE FOREGOING INSTRUMENT AS FOR THE PURPOSES THEREIN CONTAINED BY SIGNING HIS NAME AS REPRESENTATIVE OF THE MORTGAGEE. WITNESS MY HAND AND NOTARIAL SEAL, THIS _____ DAY OF _____, 2025.

MY COMMISSION EXPIRES _____ NOTARY PUBLIC

RESTRICTIVE COVENANTS AND SIMILAR DOCUMENTS ARE PRIVATE IN SCOPE AND NOT SUBJECT TO GOVERNMENTAL APPROVAL AND ENFORCEMENT.

PROTECTIVE COVENANTS.

1. THESE COVENANTS ARE TO RUN WITH THE LAND AND SHALL BE BINDING ON ALL PARTIES AND ALL PERSONS CLAIMING UNDER THEM FOR A PERIOD OF THIRTY YEARS FROM THE DATE THESE COVENANTS ARE RECORDED AFTER WHICH TIME SAID COVENANTS SHALL BE DEEMED TO HAVE BEEN EXTENDED FOR SUCCESSIVE PERIODS OF TEN YEARS UNLESS AN INSTRUMENT SIGNED BY THE PROPERTY OWNERS OF THE LOTS HAS BEEN RECORDED AGREEING TO CHANGE SAID COVENANTS IN WHOLE OR IN PART.

2. ENFORCEMENT SHALL BE BY ANY PROCEEDING AT LAW OR IN EQUITY AGAINST ANY PERSON OR PERSONS VIOLATING OR ATTEMPTING TO VIOLATE ANY COVENANT EITHER TO RESTRAIN VIOLATION OR TO RECOVER DAMAGES.

3. SEVERABILITY – INVALIDATION OF ANY ONE OF THESE COVENANTS BY OR COURT ORDER SHALL IN NO WAY AFFECT ANY OF THE PROVISIONS WHICH SHALL REMAIN IN FULL FORCE AND EFFECT.

4. LAND USE AND BUILDING TYPE – NO LOT SHALL BE USED EXCEPT FOR RESIDENTIAL PURPOSES.

5. EASEMENTS – THERE ARE PERPETUAL EASEMENTS SHOWN HEREON RESERVED FOR UTILITY INSTALLATION AND MAINTENANCE FOR DRAINAGE INSTALLATION AND MAINTENANCE FOR SANITARY SEWER INSTALLATION AND MAINTENANCE.

6. BUILDING LOCATION – THE LOCATION OF ANY BUILDING CONSTRUCTED SHALL BE IN ACCORDANCE WITH CITY OF BARTLETT, TENNESSEE ZONING REGULATIONS. NO PORTION OF ANY BUILDING SHALL BE LOCATED MORE THAN THE MINIMUM SETBACK FROM THE BUILDING SETBACK FROM THE SUBDIVISION. THE PURPOSE OF THIS COVENANT EASE, STEPS AND OPEN PORCHES SHALL NOT BE CONSIDERED AS A PART OF THE BUILDING. PROVIDED, HOWEVER, THAT THIS PLAT SHALL NOT BE CONSTRUED TO PERMIT ANY PORTION OF A BUILDING ON A LOT TO ENCROACH UPON ANOTHER LOT.

7. NUISANCES – NO NOXIOUS OR OFFENSIVE ACTIVITY SHALL BE CARRIED ON UPON ANY LOT NOR SHALL ANYTHING BE DONE THEREON WHICH MAY BECOME AN ANNOYANCE OR NUISANCE TO THE NEIGHBORHOOD.

8. TEMPORARY STRUCTURE – NO STRUCTURE OF A TEMPORARY CHARACTER, BASEMENT, TENT, SHACK, GARAGE, OR ANY OTHER BUILDING SHALL BE USED ON ANY LOT AT ANY TIME AS A RESIDENCE EITHER TEMPORARILY OR PERMANENTLY.

9. FENCING – NO FENCE OR WALL SHALL BE ERECTED, PLACED OR ALTERED ON ANY LOT NEARER TO ANY STREET THAN THE MINIMUM BUILDING SETBACK LINE. WOODEN FENCES EXCLUDING POST AND STRINGERS SHALL BE CONSTRUCTED OF WESTERN RED CEDAR.

10. A MINIMUM TWO (2) CAR ENCLOSED GARAGE IS REQUIRED FOR EVERY LOT.

11. ARCHITECTURAL CONTROL – NO BUILDING SHALL BE ERECTED, PLACED UPON ANY LOT OR ALTERED UNTIL THE DESIGN AND PLOT PLAN SHOWING THE LOCATION OF THE STRUCTURE AND THE EXTERNAL MATERIALS AND ELEVATIONS HAVE BEEN APPROVED IN WRITING BY GBI CONTRACTORS, INC. OR BY REPRESENTATIVE APPOINTED BY GBI CONTRACTORS, INC.. IN THE EVENT THAT GBI CONTRACTORS, INC. OR THEIR REPRESENTATIVE FAILS TO APPROVE OR DISAPPROVE SUCH PLANS AS TO DESIGN AND LOCATION WITHIN A PERIOD OF THIRTY (30) DAYS AFTER SUBMISSION OF PLANS AND SPECIFICATION TO THEM OR TO IT, THEN SUCH APPROVAL WILL NOT BE REQUIRED.

FINAL PLAT

BARTLETT BLVD. – YALE ROAD P.D.
BARTLETT, TENNESSEE

GUSTAVO VAZQUEZ
3708 SALETGH WILLINGTON ROAD
MEMPHIS, TN 38128
APPLICANT

THE BRAY FIRM
2950 STAGE PLAZA NORTH
BARTLETT, TN 38134
901-383-8668
ENGINEER

CONSTRUCTION NOTES:

1. PROPERTY LINES SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION, GRADING, CLEARING AND THE ERECTION OR REMOVAL OF FENCES ALONG PROPERTY LINES SHALL BE FULLY COORDINATED WITH ADJACENT PROPERTY OWNERS.
2. THE CONTRACTOR SHALL VERIFY ANY EXISTING DATA AND REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ENGINEER.
3. THE CONTRACTOR SHALL NOT ENTER UPON WORK UPON NOR CAUSE DAMAGE TO ADJACENT PROPERTIES WITHOUT PRIOR PERMISSION FROM THE ENGINEER.
4. LOCATION OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE AND ARE NOT NECESSARILY ALL OF SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING THE APPROPRIATE UTILITY COMPANY TO DETERMINE THE EXACT LOCATION OF ALL UTILITIES AND/OR UNDERGROUND STRUCTURES PRIOR TO THE INITIATION OF ANY CONSTRUCTION. CONTRACTOR SHALL ALSO ASSUME FULL RESPONSIBILITY FOR DAMAGE TO ANY EXISTING UTILITIES ENCOUNTERED WITHIN THE CONSTRUCTION PERIMETERS. FOR SITE LOCATION OF EXISTING UTILITIES, OPENING BLOCKS, SOUTH SIDE OF SHELBY HIGHWAY, SHELBY COUNTY, TENNESSEE, CALL 1-800-351-1111 FOR SEWER SERVICE LOCATIONS. CALL 385-6499.
5. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES.
6. TYPICAL SIDE SLOPES TO BE 1 FOOT VERTICAL TO 4 FEET HORIZONTAL.
7. ALL AREAS IN CUT OR FILL WHERE VEGETATION HAS BEEN REMOVED SHALL BE SEEDED, MULCHED, FERTILIZED, AND/OR SODED AS REQUIRED TO PREVENT EROSION.
8. 24 HOURS PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE CITY OF BARTLETT ENGINEER'S OFFICE AT 385-6499.
9. ALL CONSTRUCTION MATERIALS, PROCEDURES SHALL MEET STANDARD CITY OF BARTLETT SPECIFICATIONS.
10. ALL FILL AND/OR TRENCH BACKFILL SHALL BE COMPACTED (IN 6 INCH LIFTS) TO 95% STANDARD PROCTOR WITHIN 3% OF OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D698-78 LATEST REVISION (STANDARD PROCTOR).
11. THE CONTRACTOR SHALL INSTALL AND MAINTAIN A SILT FENCE PARALLELLED WITH HAY BALES AT THE TOP OF ALL DITCH BANKS FOR THE STREASIDE CONSTRUCTION LIMIT.
12. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN EROSION CONTROL DURING CONSTRUCTION BY THE PLACEMENT OF SILT FENCES AND HAY BALES WHERE NECESSARY TO PREVENT DOWNSTREAM SILTATION OF ANY DITCHES, PIPES, DRAINAGE STRUCTURES OR ADJACENT PROPERTIES. THE CONTRACTOR SHALL PROVIDE ANY ADDITIONAL EROSION CONTROL AS NEEDED OR AS DIRECTED BY THE ENGINEER.
13. CONTRACTOR SHALL PROVIDE ALL NECESSARY EROSION CONTROL METHODS AS PER THE CITY OF BARTLETT, SHELBY COUNTY, AND STATE OF TENNESSEE REGULATIONS.
14. ENGINEERS CERTIFICATE: THIS PROJECT HAS BEEN DESIGNED IN ACCORDANCE WITH THE CITY OF BARTLETT SUBDIVISION REGULATIONS AND SPECIFICATIONS.
15. LOT GRADING AND DRAINAGE:

FINISH GRADE SHALL BE SLOPED AWAY FROM THE FOUNDATION FOR DRAINAGE. THE FINISH GRADE MUST BEGIN AT LEAST 10 INCHES BELOW THE TOP OF THE FOUNDATION WALL OR THE GRADE OF THE CONCRETE SLAB AND FOUNDATION. THE MINIMUM GRADE AWAY FROM THE FOUNDATION WALL SHALL BE AT LEAST 5 PERCENT IN ALL DIRECTIONS. THE DRIVEWAY SHALL BE SLOPED DOWN AT 2 PERCENT FOR AT LEAST 8 FEET FROM THE STRUCTURE.

THE CITY OF BARTLETT SHALL HAVE INGRESS/EGRESS RIGHT TO USE PRIVATE DRIVES AND YARDS FOR THE PURPOSE OF MAINTAINING ALL PUBLIC UTILITIES AND SHALL BEAR NO RESPONSIBILITY FOR THE MAINTENANCE OF SAID DRIVES AND YARDS.

SEWER NOTES

1. CONTRACTOR SHALL ENSURE UNINTERRUPTED SEWER SERVICE ON EXISTING SEWER AND SERVICE CONNECTIONS BY PROVIDING AMPLE TEMPORARY WASTE-WATER PUMPING AND/OR BYPASSING.
2. ALL SANITARY SEWERS AND MANHOLES ARE TO BE CONSTRUCTED 15' ABOVE PROPOSED GRAD. IN BACKYARDS, MANHOLES LIDS ARE TO BE 20' ABOVE THE INITIAL GRADE, 05' ABOVE FINAL GRADE, OR A MINIMUM 15' ABOVE THE 100 YEAR FLOOD ELEVATION (A.T. SEALED COVER & VENT STACK).
3. SANITARY SEWER, INCLUDING SERVICE CONNECTION, WHICH HAS LESS THAN 15' CLEARANCE (OUTSIDE OF PIPES) WITH DRAINAGE OR IN FILL AREAS SHALL BE CLASS 50 DIP OR CONCRETE ENGAGED , 10' BOTH SIDES OF CROSSING. ALL DUCTILE IRON PIPE SHALL BE POLYETHYLENE LINED OR SHALL BE TREATED WITH PROTECTANT OR APPROVED EQUIVALENT.
4. SERVICE CONNECTIONS SANITARY SEWERS LOCATED AND CONTRACTOR SHALL ASSURE THAT ALL EXISTING SERVICE CONNECTIONS EXTENDING TO RIGHT-OF-WAY SHALL BE RECONNECTED TO NEW SEWER LINES.
5. ALL SEWER MANHOLES SHALL BE 4 FEET IN DIAMETER UNLESS OTHERWISE NOTED.
6. ALL SANITARY SEWER TO BE CONSTRUCTED AS PER CITY OF BARTLETT STANDARD CONSTRUCTION SPECIFICATIONS. ALL SANITARY SEWER SERVICE CONNECTIONS TO BE INSTALLED AS PER CITY OF BARTLETT DETAIL.
7. ALL SANITARY SEWER SHALL BE 8 INCH SANITARY SEWER PIPE SHALL BE SDR-26 PVC UNLESS OTHERWISE NOTED.
8. THE CITY OF BARTLETT SHALL HAVE INGRESS/EGRESS RIGHTS TO USE PRIVATE DRIVES AND YARDS FOR THE PURPOSE OF MAINTAINING ALL PUBLIC UTILITIES AND SHALL BEAR NO RESPONSIBILITY FOR THE MAINTENANCE OF SAID PRIVATE DRIVES AND YARDS.
9. NO LARGE TREES, SHRUBS, PERMANENT STRUCTURES OR OTHER UTILITIES (EXCEPT FOR CROSSLINGS) WILL BE ALLOWED WITHIN THE SANITARY SEWER EASEMENT.
10. DAMAGED OR BROKEN CURB SHALL BE REPAIRED CONSISTENT WITH THE CITY OF BARTLETT DETAIL.
11. ALL FILL AND/OR TRENCH BACKFILLS SHALL BE COMPACTED IN 6" LIFTS TO 95% STANDARD PROCTOR WITHIN 3% OF OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D698-78 LATEST REVISION (STANDARD PROCTOR).

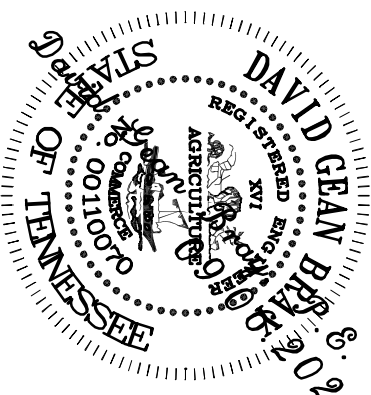
NOTE: THE TOP OF SANITARY SEWER MANHOLES LOCATED WITHIN THE STREET ROW, SHALL CONFORM TO THE FINAL GRADE OF THE STREET.

EROSION CONTROL NOTES

1. EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE AND FUNCTIONAL PRIOR TO COMMENCEMENT OF EARTH MOVING OPERATIONS.
2. ALL EROSION AND SEDIMENT CONTROL MEASURES MUST BE PROPERLY CONSTRUCTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
3. CHECK ALL EROSION AND SEDIMENT CONTROL MEASURES WEEKLY AND AFTER EACH RAINFALL. DAILY CHECKING IS REQUIRED DURING PROLONGED RAINFALL. MAINTAIN A PERMANENT LOG OF CHECKS AND MAINTENANCE MEASURES.
4. KEEP CONSTRUCTION DEBRIS FROM ENTERING STORM SEWERS.
5. PROMPTLY BACKFILL AND STABILIZE TRENCHES AND/OR PITS.
6. DESIGNATE A SPECIFIC INDIVIDUAL TO BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROLS AND TO KEEP THE PERMANENT LOG.
7. EROSION CONTROLS ARE NOT LIMITED TO THE SPECIFIED PRACTICES, HOWEVER, ALTERNATIVE MEASURES MUST BE AT LEAST AS EFFECTIVE IN CONTROLLING EROSION AND SEDIMENTATION.
8. RE-VEGETATION OF EXPOSED GROUND SHOULD BEGIN AS SOON AS CONSTRUCTION PERMITS.
9. INSTALL STAKED AND ENTRENCHED STRAY BALES AND/OR SILT FENCE ALONG THE BASE OF ALL BACKFILLS AND CUTS ON THE DOWNHILL SIDE OF STOCKPILED SOIL, AND ALONG DITCH BANKS IN CLEARED AREAS TO PREVENT EROSION INTO DITCHES, DO NOT PLACE SILT FENCE IN FLOWING DITCH.

NOTE: THIS PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA (ZONE A) PER FEMA FLOOD MAP #4757CD030G DATED FEBRUARY 6, 2013.

REVISIONS		
ITEM NO.	DESCRIPTION OF CHANGE	DATE APPROVED
BARTLETT BLVD. – YALE ROAD P.D.		
DEVELOPER: GUSTAVO VAZQUEZ		
ENGINEER: THE BRAY FIRM		



DEPARTMENT OF ENGINEERING

CONSTRUCTION NOTES

BARTLETT, TENNESSEE

SURVEY, OTHERS

DESIGN: TBF

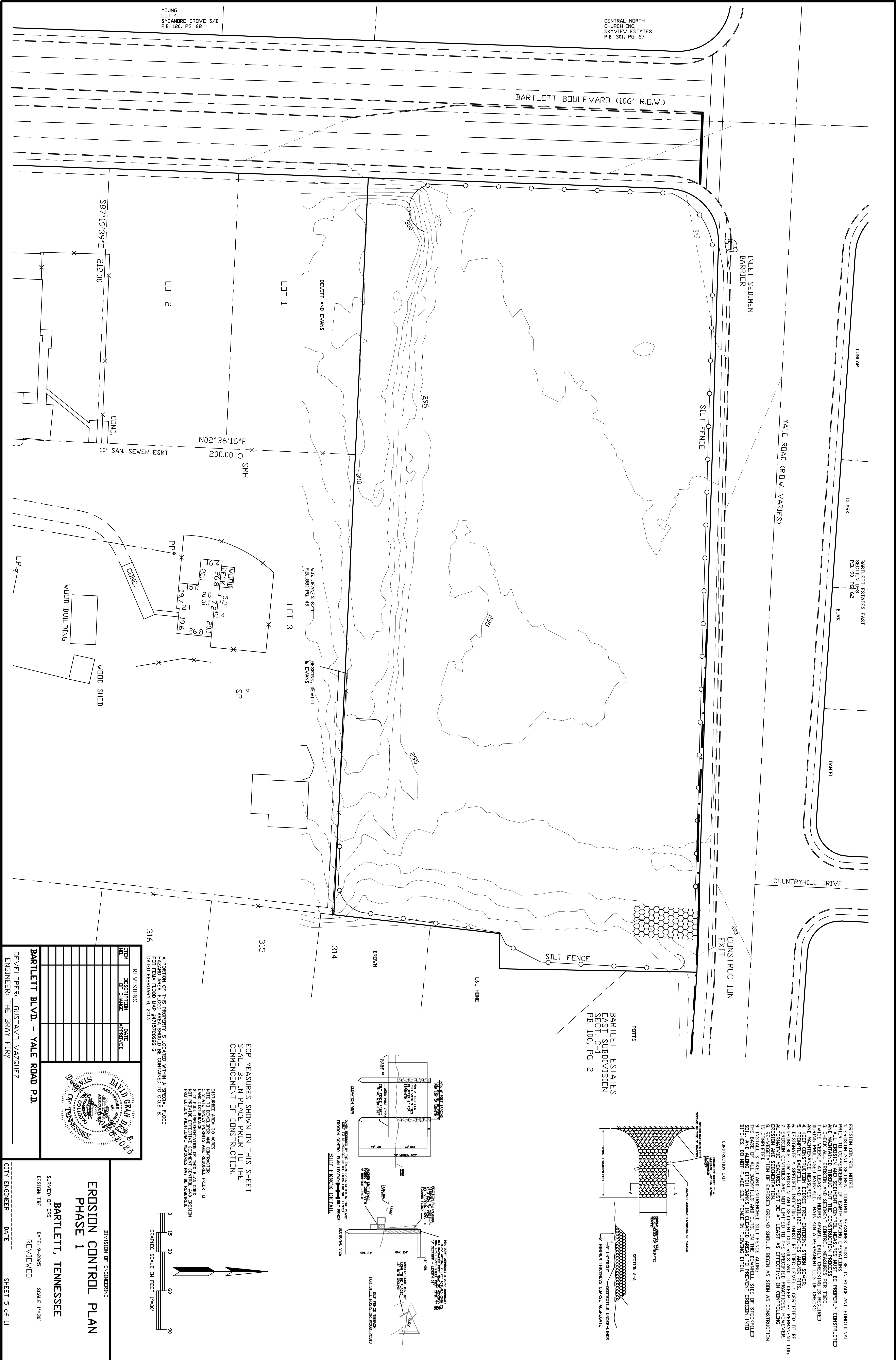
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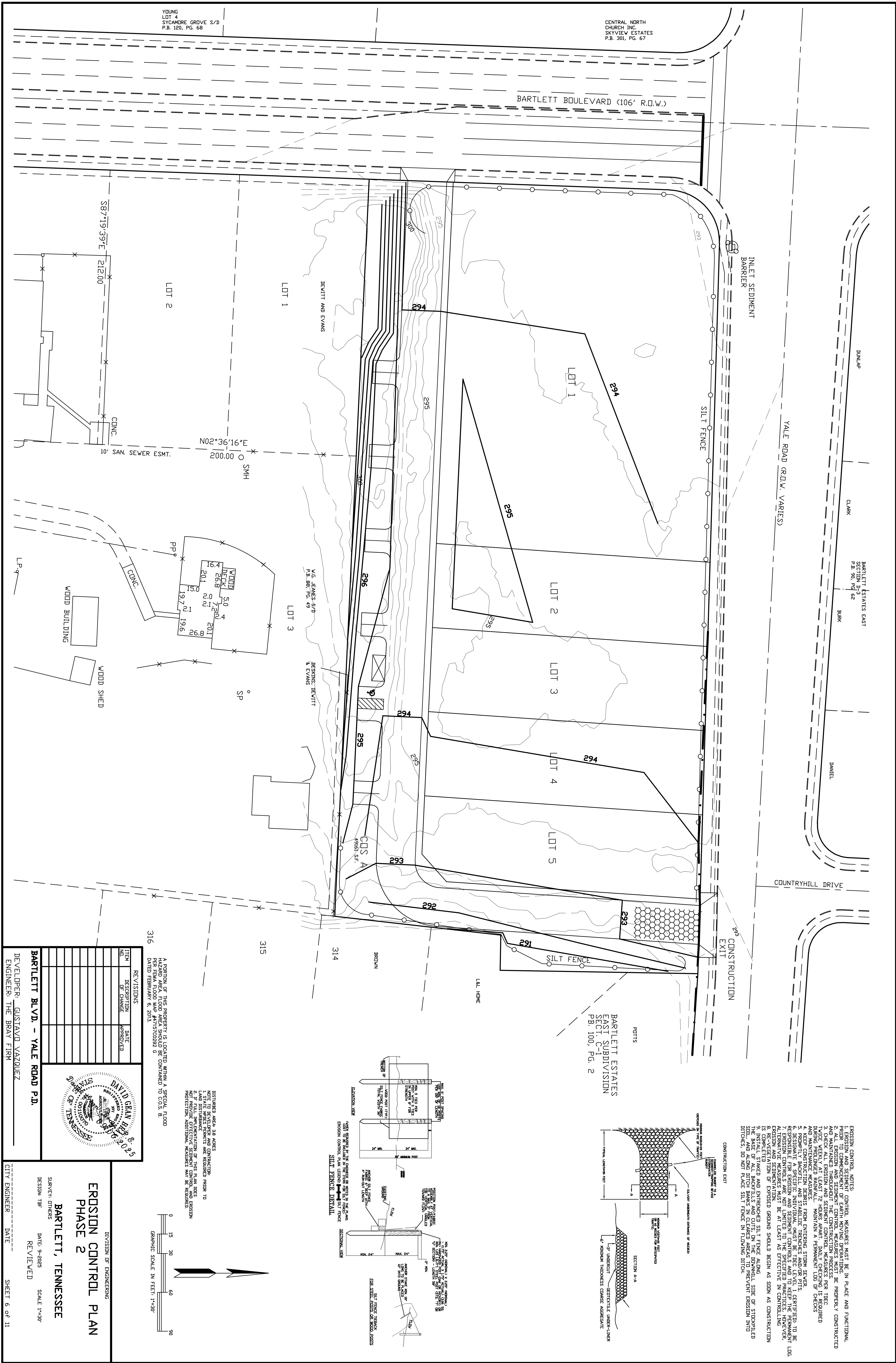
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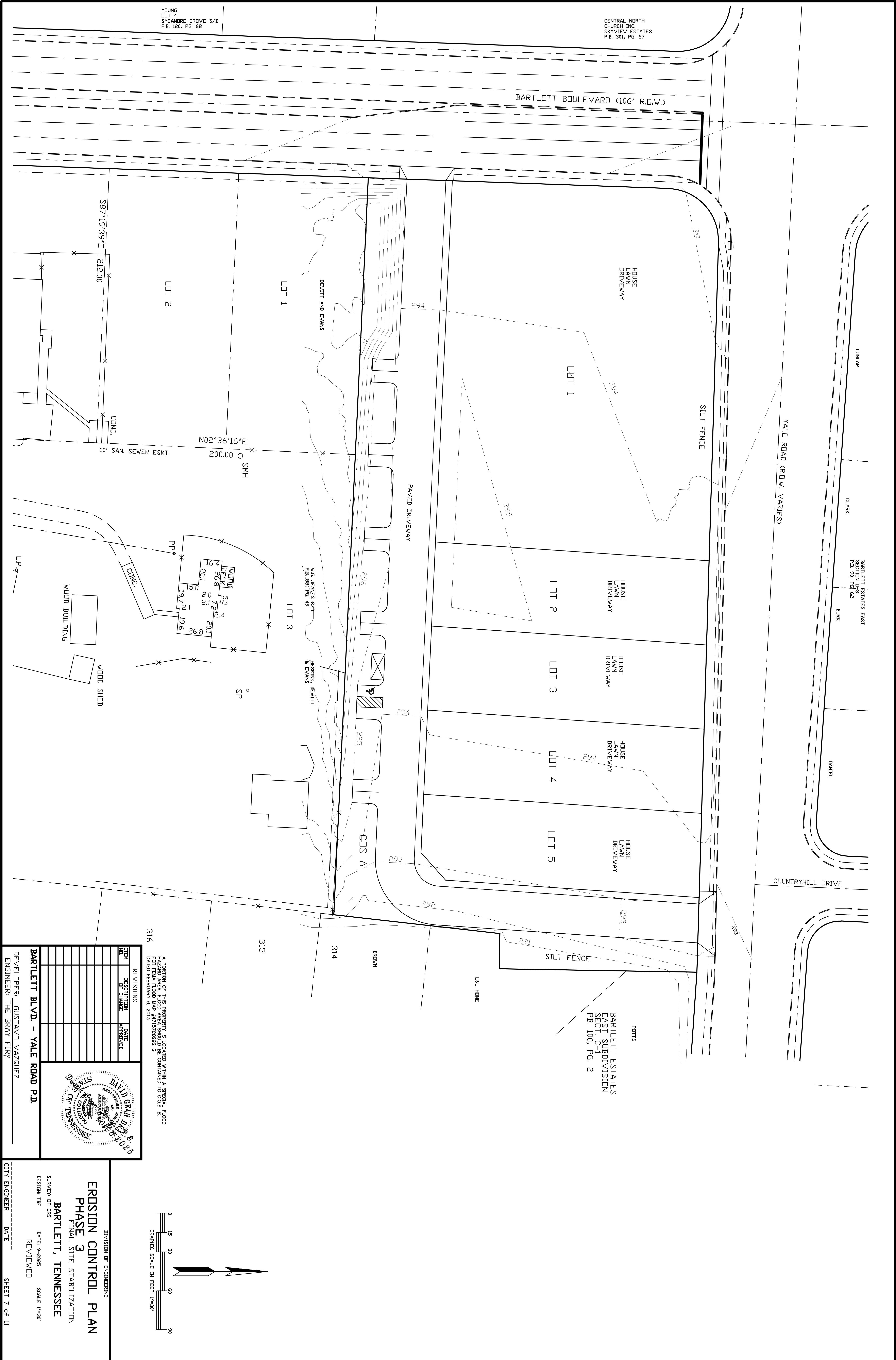
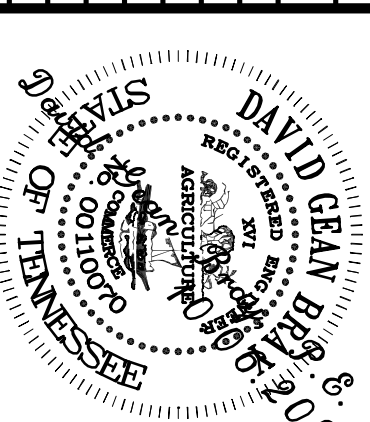
REVIEWED

CITY ENGINEER DATE

SHEET 4 OF 11





[illegible]

A PORTION OF THIS PROPERTY IS LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA. FLOOD AREA SHOULD BE CONTAINED TO C.O.S. B. PER FEMA FLOOD MAP #47157C0292 G DATED FEBRUARY 6, 2013.

BARTLETT BLVD. - YALE ROAD P.D.
DEVELOPER: GUSTAVO VAZQUEZ
ENGINEER: THE BRAY FIRM

EROSION CONTROL PLAN

PHASE 3

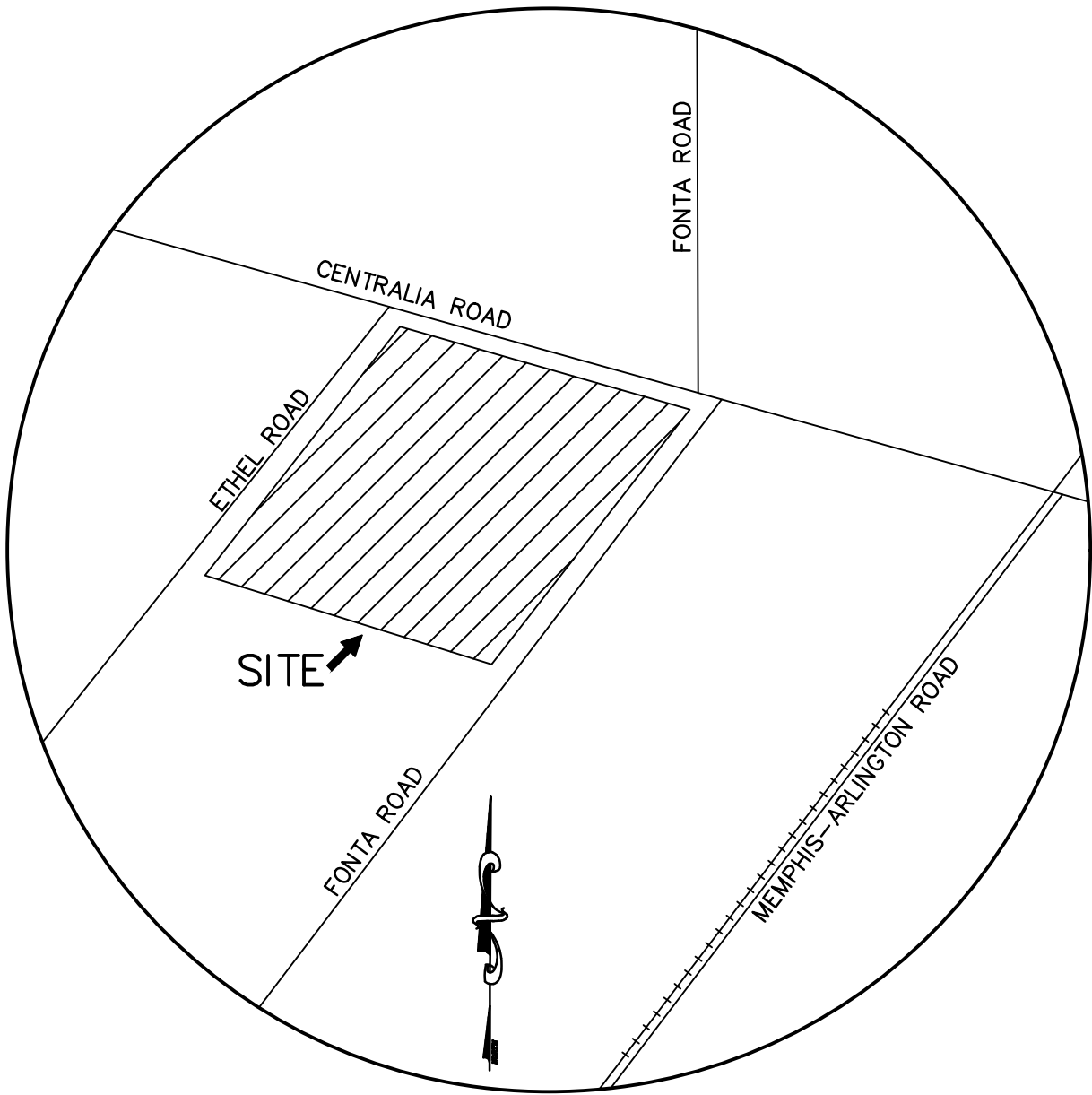
BARTLETT, TENNESSEE

DESIGN: TBF DATE: 9-2025 SCALE: 1"=30'

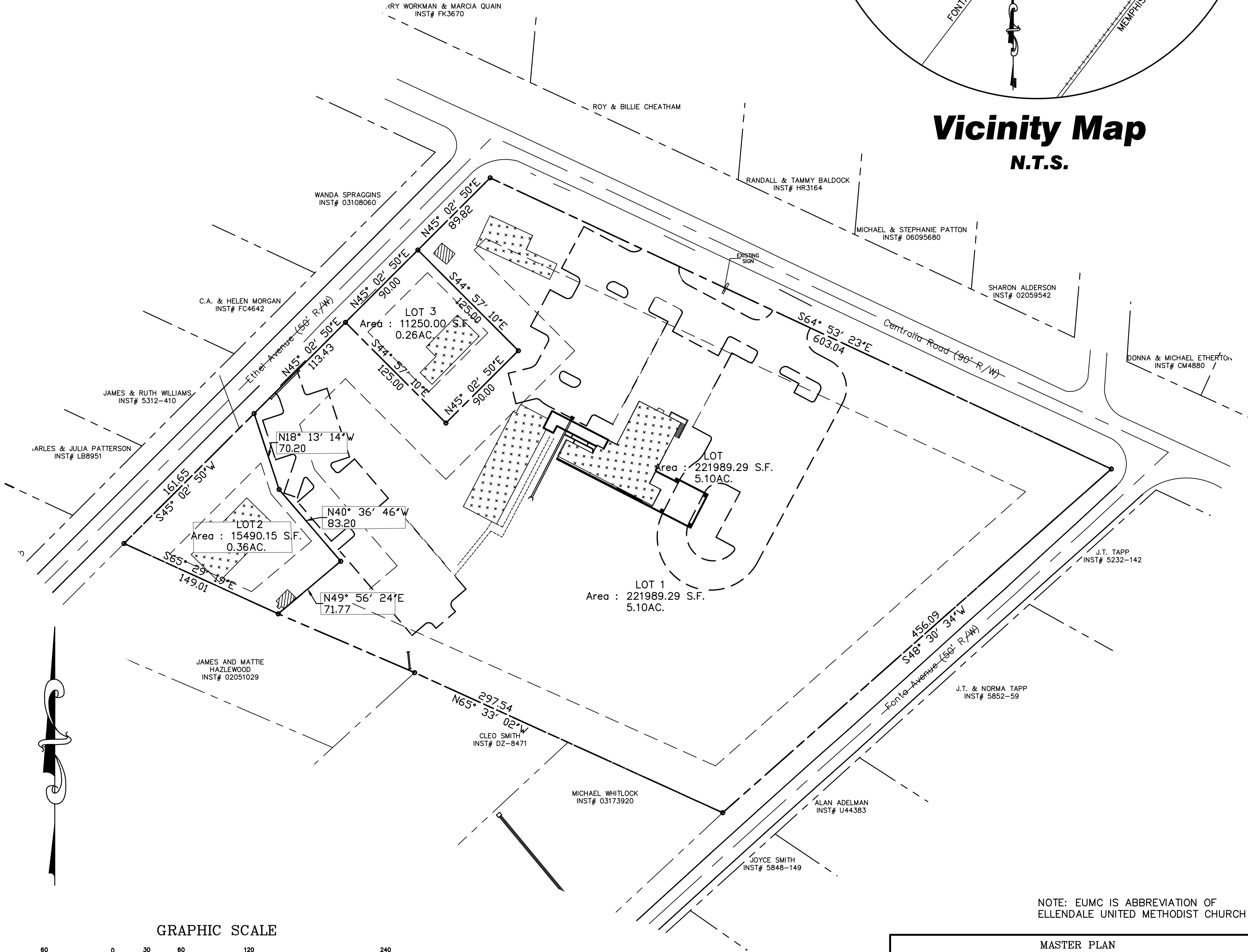
CITY ENGINEER DATE

SHEET 7 of 1

SITE DATA		
TOTAL SITE:	248,727.6 S.F. (5.71 AC.)	
LOT 1 AREA:	221,989.29 S.F. (5.10 AC.)	
LOT 2 AREA:	15,490.15 S.F. (0.36 AC.)	
LOT 3 AREA:	11,250.00 S.F. (0.26 AC.)	
	SINGE FAMILY	OTHER
MINIMUM LOT SIZE:	12,000 S.F.	5 ACRES
MINIMUM LOT WIDTH:	90 FT	250 FT.
BUILDING SETBACKS:		
FRONT	35 FT.	50 FT
SIDE	8 FT.	35 FT
REAR	30 FT	35 FT
MAXIMUM HEIGHT:	35 FT	35 FT
MAXIMUM DENSITY:	3 UNITS/AC.	N.A.
MAX. % LOT COVERAGE	35%	20
ZONING:	RS-12	
LAND USE:	RESIDENTIAL & RELIGIOUS	



Vicinity Map
N.T.S.



NOTE: EUMC IS ABBREVIATION OF ELLENDALE UNITED METHODIST CHURCH

MASTER PLAN		
EUMC SUBDIVISION		
CASE NO.:	PHASE 1	
BARTLETT, TENNESSEE		
NO. OF LOTS: 3	5.71 ACRES	
DEVELOPER: ELLENDALE METHODIST CHURCH 7229 CENTRALIA ROAD BARTLETT, TN 38029	ENGINEER: RENAISSANCE GROUP 9700 VILLAGE CIRCLE, STE. 100 LAKELAND, TN 38002	
WARD: BLOCK: PARCEL:	F.E.M.A. MAP PANEL NO.: 470157C 0145E	F.E.M.A. MAP DATE: 12-02-1994
DATE: AUGUST, 2025	SCALE: 1"=60'	SHEET 1 OF 4

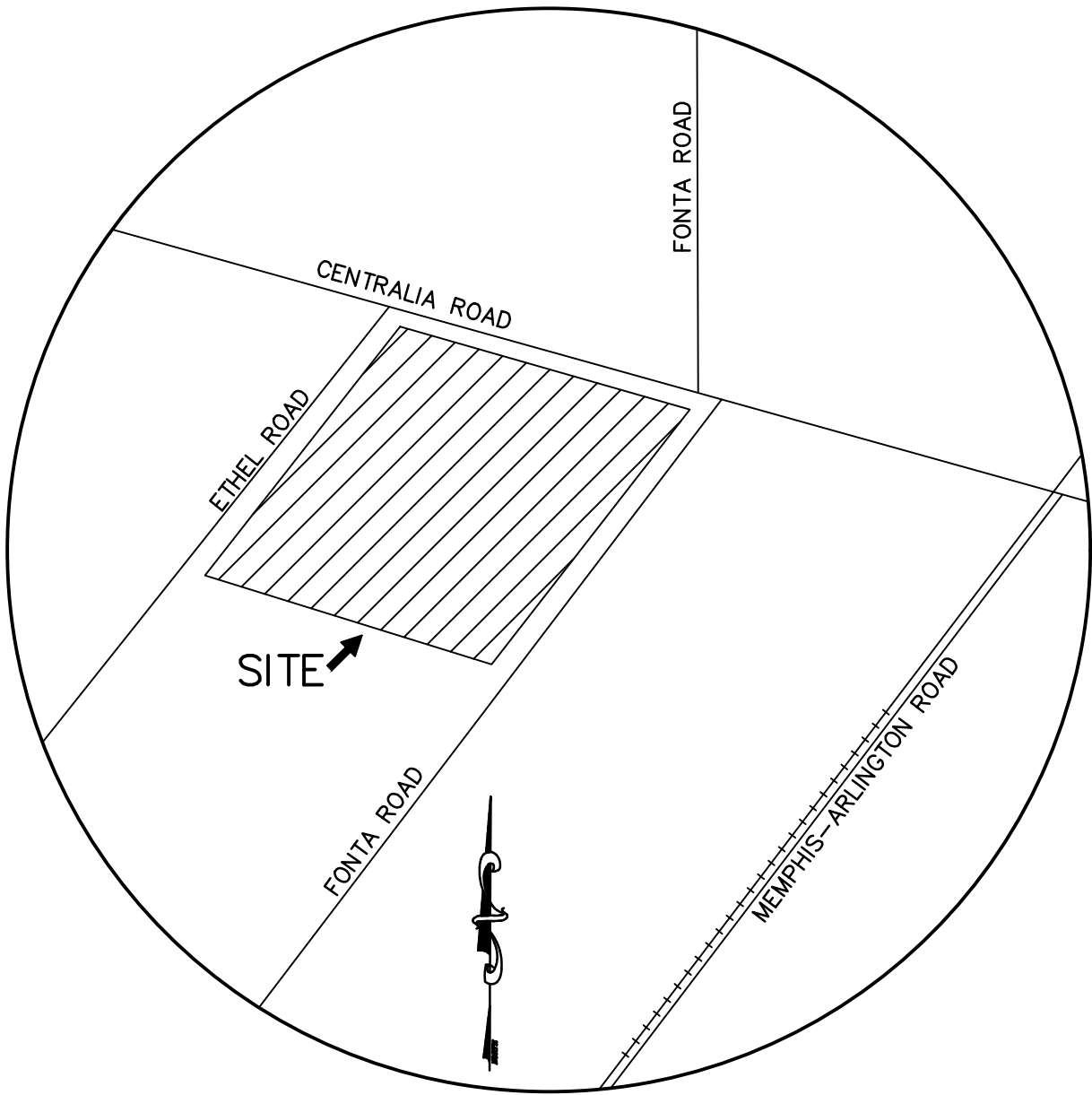
TBM: AN EXISTING SEWER MANHOLE AT THE INTERSECTION OF CENTRALIA ROAD AND FONTA AVENUE.
ELEVATION = 324.95

FLOOD NOTE: THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA PER F.E.M.A. FLOOD INSURANCE RATE MAP NO. 47157C0145-E, EFFECTIVE DATE DECEMBER 2, 1994.

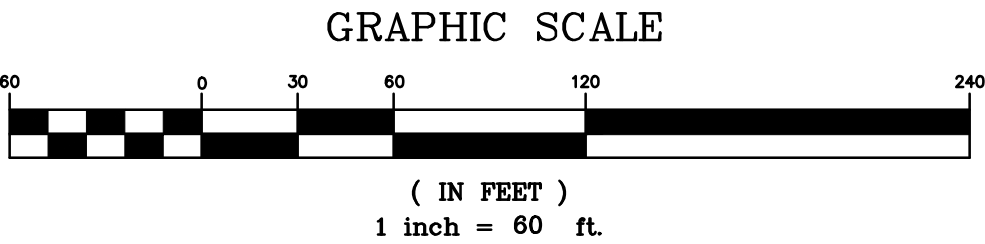
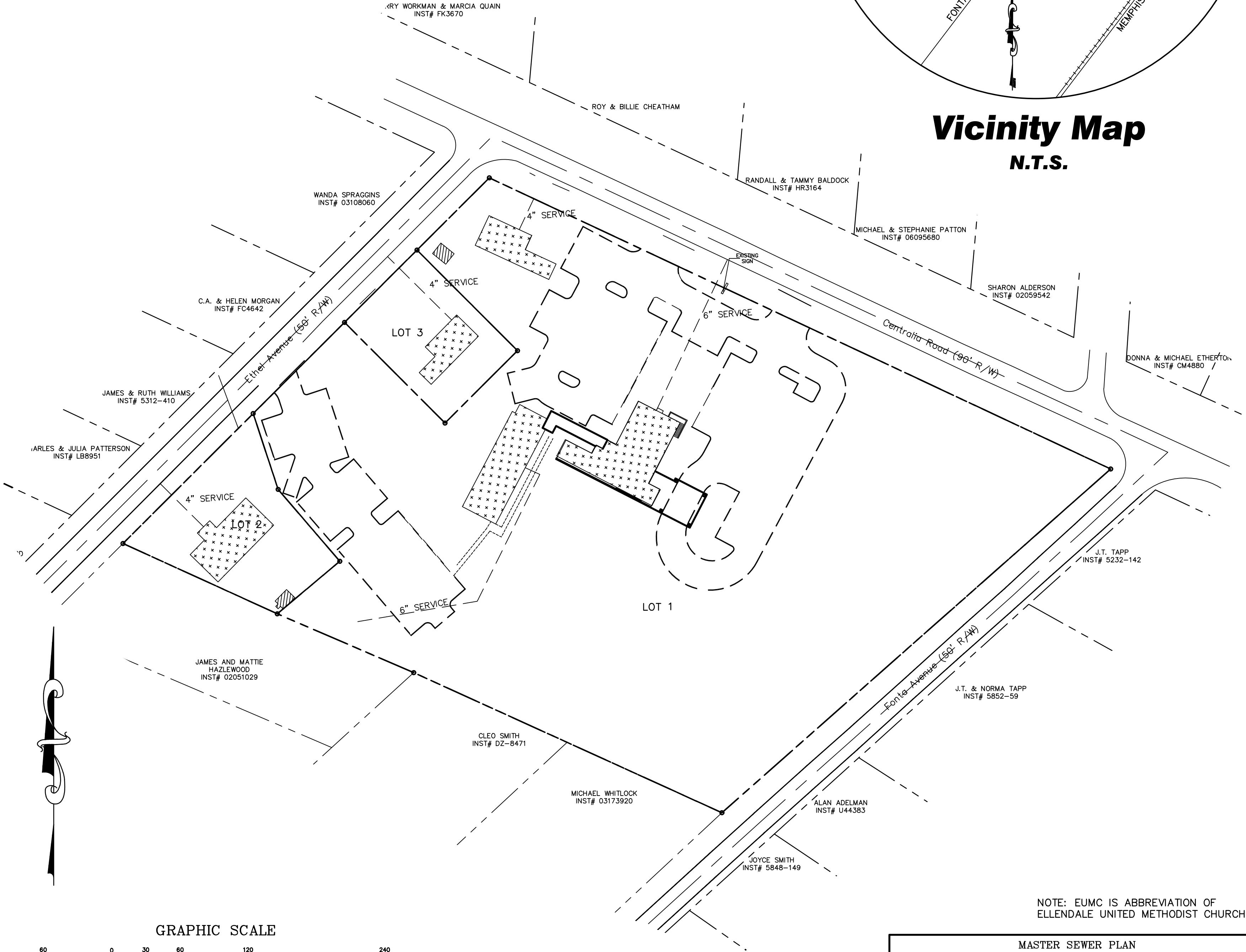
RGI. INC. PROJ. #25138

FLOOD NOTE: THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA PER F.E.M.A. FLOOD INSURANCE RATE MAP NO. 47157C0145-E, EFFECTIVE DATE DECEMBER 2, 1994.

SITE DATA		
TOTAL SITE:	248,727.6 S.F. (5.71 AC.)	
LOT 1 AREA:	221,989.29 S.F. (5.10 AC.)	
LOT 2 AREA:	15,490.15 S.F. (0.36 AC.)	
LOT 3 AREA:	11,250.00 S.F. (0.26 AC.)	
	SINGE FAMILY	OTHER
MINIMUM LOT SIZE:	12,000 S.F.	5 ACRES
MINIMUM LOT WIDTH:	90 FT	250 FT.
BUILDING SETBACKS:		
FRONT	35 FT.	50 FT
SIDE	8 FT.	35 FT
REAR	30 FT	35 FT
MAXIMUM HEIGHT:	35 FT	35 FT
MAXIMUM DENSITY:	3 UNITS/AC.	N.A.
MAX. % LOT COVERAGE	35%	20
ZONING:	RS-12	
LAND USE:	RESIDENTIAL & RELIGIOUS	



Vicinity Map
N.T.S.



TBM: AN EXISTING SEWER MANHOLE AT THE INTERSECTION OF CENTRALIA ROAD AND FONTA AVENUE.
ELEVATION = 324.95

FLOOD NOTE: THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA PER F.E.M.A. FLOOD INSURANCE RATE MAP NO. 47157C0145-E, EFFECTIVE DATE DECEMBER 2, 1994.

NOTE: EUMC IS ABBREVIATION OF ELLENDALE UNITED METHODIST CHURCH

MASTER SEWER PLAN		
EUMC SUBDIVISION		
CASE NO.:	PHASE 1	
BARTLETT, TENNESSEE		
NO. OF LOTS: 3	5.71 ACRES	
DEVELOPER: ELLENDALE METHODIST CHURCH 7229 CENTRALIA ROAD BARTLETT, TN 38029	ENGINEER: RENAISSANCE GROUP 9700 VILLAGE CIRCLE, STE. 100 LAKELAND, TN 38002	
WARD: BLOCK: PARCEL:	F.E.M.A. MAP PANEL NO.: 470157C 0145E	F.E.M.A. MAP DATE: 12-02-1994
DATE: AUGUST, 2025	SCALE: 1"=60'	SHEET 3 OF 4

Owners Certificate

I, _____, the undersigned owner of the property shown hereon, hereby adopt this plan of development and dedicated the Right of Way and easements as shown to the public use forever, and hereby certify that I am the owner in fee simple, duly authorized so to act, and that said property is unencumbered by any taxes that have become due and payable.

Owner

NOTARY CERTIFICATE
STATE OF TENNESSEE
COUNTY OF SHELBY

Before me, the undersigned, a notary public in and for the State and County at Memphis, duly commisioned and qualified, personally appeared: _____, with whom I am personally acquainted, and who upon his (her) oath acknowledged himself (herself) to be the _____ of the property (corporation/company/etc.), the within named bargainer, and that he (she) executed the foregoing instrument for the purpose therein contained. In witness whereof, I have hereunto set my hand and affixed my notarial seal at my office in Memphis, this _____ day of _____, 20____.

NOTARY PUBLIC _____

MY COMMISSION EXPIRES _____

MORTGAGEE’S CERTIFICATE

We, the undersigned, _____, mortgagee of the property shown hereon, hereby adopt this plat as our plan of development and dedicated the street, right-of-ways, easement and rights of access as shown to the public use forever, and hereby certify that we are the mortgagee duly authorized so to act and that said property is unencumbered by any taxes which have become due and payable.

Mortgagee

NOTARY CERTIFICATE
STATE OF TENNESSEE
COUNTY OF SHELBY

Before me, the undersigned, a notary public in and for the State and County at Memphis, duly commisioned and qualified, personally appeared: _____, with whom I am personally acquainted, and who upon his (her) oath acknowledged himself (herself) to be the _____ of the property (corporation/company/etc.), the within named bargainer, and that he (she) executed the foregoing instrument for the purpose therein contained. In witness whereof, I have hereunto set my hand and affixed my notarial seal at my office in Memphis, this _____ day of _____, 20____.

NOTARY PUBLIC _____

MY COMMISSION EXPIRES _____

Engineering Certificate

Is hereby certified, that the engineering aspect, of this plat is true and correct, is in conformance with the design requirements of the zoning ordinance, the subdivision regulations and the specific conditions imposed on this development, and to the best of my knowledge takes into to account all applicable federal, state and local building laws and regulations.

J. Wesley Wooldridge, P.E.
Tennessee Certificate No. 104878



Surveyor’s Certificate

I, _____, do hereby certify that I am a registered Land Surveyor, and that I have surveyed the lands, embraced within the plat or map designated as _____, a subdivision all lying within the corporate limits of Shelby County, Tennessee; said plat or map is a true and correct plat or map of the lands embraced therein, showing the subdivision thereof in accordance with Subdivision Regulations of Shelby County, Tennessee; I further certify that the survey of the lands embraced within said plat or map has been correctly monumented in accordance with the Subdivision Regulations of Shelby County, Tennessee.

In witness whereof, I the Said _____, Land Surveyor, hereunto set our hand affix my seal the _____, day of _____, 20____.

Tennessee R.L.S. Certificate No. _____

Board of Mayor and Aldermen Certificate

I, _____, do hereby certify that all required improvements have been installed or that a performance bond or other collateral in sufficient amount to assure completion of all required improvements has bee posted for the plan of development shown on this plat and are hereby approved by the Town of Bartlett, Tennessee.

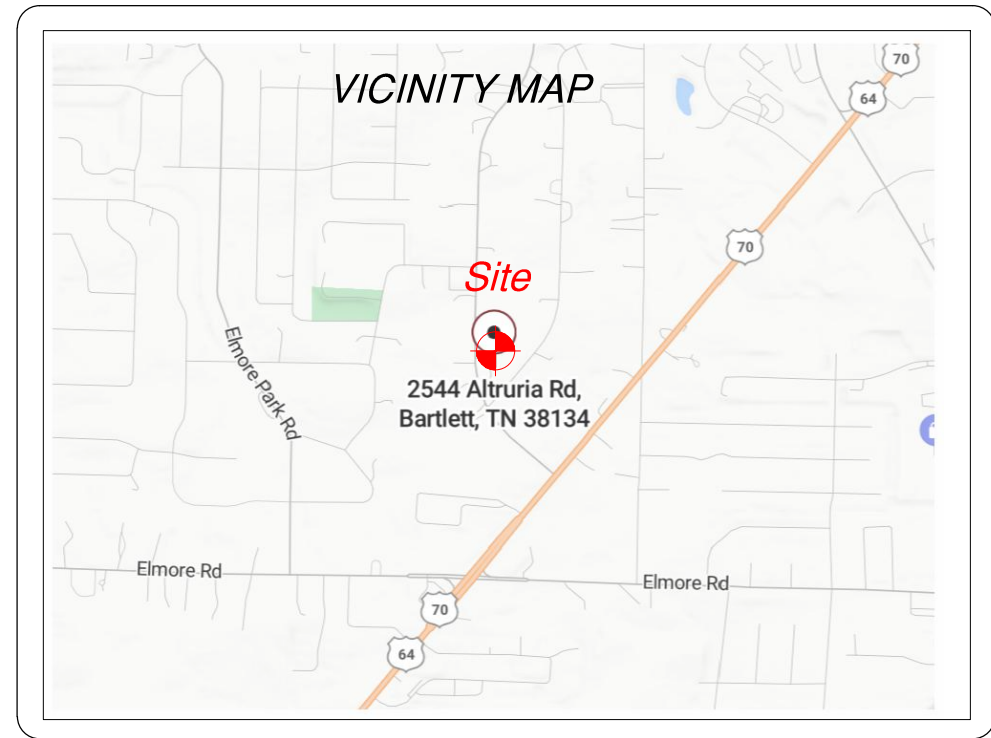
_____, 20_____ Mayor, Town of Bartlett

Planning Commission Certificate

I, _____, do hereby certify that the Town of Bartlett Planning Commission has approved this plat for recording.

_____, 20_____ Secretary, Planning Commission
Town of Bartlett

FINAL PLAT		
ELLENDALE UNITED METHODIST CHURCH		
CASE NO.:		PHASE
BARTLETT, TENNESSEE		
NO. OF LOTS:3		5.71 ACRES
DEVELOPER: ELLENDALE METHODIST CHURCH 7229 CENTRALIA ROAD BARTLETT, TN 38029		ENGINEER: RENAISSANCE GROUP 9700 VILLAGE CIRCLE, STE. 100 LAKELAND, TN 38002
WARD: BLOCK: PARCEL:	F.E.M.A. MAP PANEL NO.: 470157C 0145E	F.E.M.A. MAP DATE: 12-02-1994
DATE: AUGUST 2025	SCALE: 1"=60'	SHEET 4 OF 4

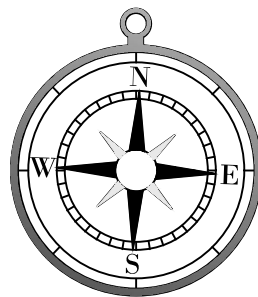


Located in: City of Bartlett, Shelby County, State of Tennessee.
(Not to scale)

Allen&Hoshall

Since 1915

1661 International Drive Memphis, TN 38120
901 820 0820 fax 901 683 1001
www.allenhoshall.com



Grid North based on GPS observations
Graphic Rotation:

0 40' 80'
Scale: 1" = 40'0"

BOARD OF MAYOR AND ALDERMEN CERTIFICATE:

I, DAVID PARSONS, DO HEREBY CERTIFY THAT ALL REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED OR THAT A PERFORMANCE BOND OR OTHER COLLATERAL IN SUFFICIENT AMOUNT TO ASSURE COMPLETION OF ALL REQUIRED IMPROVEMENTS HAS BEEN POSTED FOR THE SUBDIVISION SHOWN ON THIS PLAT AND ARE HEREBY APPROVED BY THE CITY OF BARTLETT, TENNESSEE.

DATE _____ MAYOR
CITY OF BARTLETT

PLANNING COMMISSION CERTIFICATE:

I, _____, DO HEREBY CERTIFY THAT THE CITY OF BARTLETT PLANNING COMMISSION HAS APPROVED THIS PLAT OF SUBDIVISION FOR RECORDING.

DATE _____ SECRETARY
BARTLETT PLANNING COMMISSION

NOTES:

1. SETBACKS
FRONT: 50 FEET.
SIDE: 20 FEET.
REAR: 35 FEET.
2. THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA (SFHA) PER FEMA FLOOD MAP # 47157C0303G DATED FEBRUARY 6, 2013.
3. IT SHALL BE THE BUILDER'S RESPONSIBILITY TO COMPLY WITH THE OVERALL GRADING PLAN. CHANGES TO INDIVIDUAL LOTS MAY BE MADE UP TO 2', BUT MAY NOT CHANGE THE DIRECTION OF RUNOFF ONTO OTHER LOTS. CHANGES IN EXCESS OF 2' SHALL REQUIRE A NEW GRADING PLAN COVERING ALL OF THE AFFECTED LOTS.
4. IF SETTLEMENT OCCURS ALONG ANY OF THE PUBLIC EASEMENTS WITHIN THE PRIVATE PROPERTY, THE OWNER SHALL BE RESPONSIBLE FOR ALL REPAIRS. IN THE EVENT THAT CITY OF BARTLETT PUBLIC WORKS HAS TO EXCAVATE TO REPAIR A LEAK IN A PUBLIC LINE, SAID PUBLIC WORKS SHALL BE RESPONSIBLE FOR EXCAVATION, BACKFILL, COMPACTION AND BRINGING THE AFFECTED AREA UP TO GRADE WITH APPROPRIATE SUB-BASE MATERIAL. THE OWNER SHALL BE RESPONSIBLE FOR ALL FINISH WORK INCLUDING BUT NOT LIMITED TO ASPHALT, CONCRETE AND LANDSCAPING.
5. DRIVEWAYS AND OTHER PERMANENT STRUCTURES/IMPROVEMENTS SHALL NOT BE PLACED IN SEWER, WATER, OR DRAINAGE EASEMENTS OR OVER SEWER AND WATER SERVICES LOCATED ON PRIVATE PROPERTY.
6. THE CITY OF BARTLETT SHALL HAVE INGRESS/EGRESS RIGHTS TO USE PRIVATE DRIVES AND YARDS FOR THE PURPOSE OF MAINTAINING ALL PUBLIC UTILITIES AND SHALL BEAR NO RESPONSIBILITY FOR THE MAINTENANCE OF SAID DRIVES AND YARDS.
7. THIS TWO-LOT SUBDIVISION WAS CREATED UNDER THE MINOR SUBDIVISION RULES AND IS LIMITED TO NO MORE THAN TWO RESIDENTIAL BUILDING PERMITS.
8. ALL NEW UTILITIES SHALL BE UNDERGROUND.
9. AN EROSION CONTROL PLAN WILL BE REQUIRED AS PART OF THE BUILDING PERMIT PROCESS.

OWNER'S CERTIFICATE:

I, JAMES EDWIN LOGUE, TRUSTEE OF THE JAMES EDWIN LOGUE TESTAMENTARY TRUST THE UNDERSIGNED OWNER OF THE PROPERTY SHOWN HEREON, HEREBY ADOPT THIS PLAT AS MY PLAN OF SUBDIVISION AND DEDICATE THE STREETS, RIGHTS-OF-WAYS, EASEMENTS, AND RIGHTS OF ACCESS AS SHOWN AND/OR DESCRIBED TO THE PUBLIC USE FOREVER, AND HEREBY CERTIFY THAT I AM THE OWNER IN FEE SIMPLE, DULY AUTHORIZED SO TO ACT, AND THAT SAID PROPERTY IS UNENCUMBERED BY ANY TAXES THAT HAVE BECOME DUE AND PAYABLE.

JAMES E. LOGUE, TRUSTEE

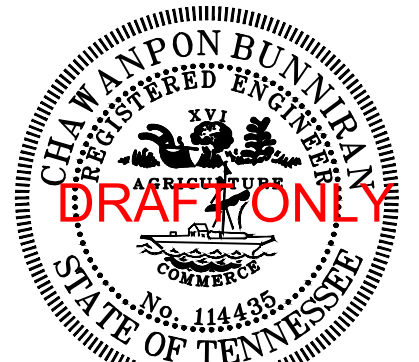
DATE:

CERTIFICATE OF ADEQUACY OF STORM DRAINAGE:

I, CHAWANPON BUNNIRAN, DO HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL CIVIL ENGINEER, AND I HAVE DESIGNED ALL STORM WATER DRAINAGE FOR THE SUBDIVISION OF LOT 27 OF THE JD & JA KEARNEY SUBDIVISION TO ASSURE THAT NEITHER SAID SUBDIVISION NOR ADJOINING PROPERTY WILL BE DAMAGED OR THE CHARACTER OF LAND ADJOINING PROPERTY WILL BE DAMAGED OR THE CHARACTER OF LAND USE AFFECTED BY THE VELOCITY AND VOLUME OF WATER ENTERING OR LEAVING SAME.

IN WITNESS WHEREOF, I, THE SAID CHAWANPON BUNNIRAN, PROFESSIONAL CIVIL ENGINEER, HEREUNTO SET OUT HAND AND AFFIX MY SEAL THIS _____ DAY OF _____, 2025.

STATE OF TENNESSEE
REGISTERED ENGINEER No. 114435



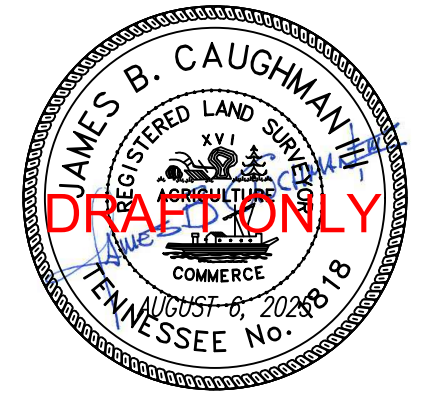
CERTIFICATE OF SURVEY:

I, JAMES B. CAUGHMAN, III, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND I HAVE SURVEYED THE LANDS, EMBRACED WITHIN THE PLAT DESIGNATED AS THE SUBDIVISION OF LOT 27 OF THE JD & JA KEARNEY SUBDIVISION, A SUBDIVISION ALL LYING WITHIN THE CORPORATE LIMITS OF THE CITY OF BARTLETT, TENNESSEE; SAID PLAT OR MAP IS A TRUE AND CORRECT PLAT OR MAP OF THE LANDS EMBRACED THEREIN, SHOWING THE SUBDIVISION THEREOF IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF BARTLETT, TENNESSEE; I FURTHER CERTIFY THAT THE SURVEY OF THE LANDS EMBRACED WITHIN SAID PLAT OR MAP HAS BEEN CORRECTLY MONUMENTED IN ACCORDANCE WITH THE SUBDIVISION REGULATION OF THE CITY OF BARTLETT, TENNESSEE.

IN WITNESS WHEREOF, I, THE SAID JAMES B. CAUGHMAN, III, REGISTERED LAND SURVEYOR, HEREUNTO SET OUT HAND AND AFFIX MY SEAL THIS _____ DAY OF _____, 2025.

JAMES B. CAUGHMAN, III

STATE OF TENNESSEE
REGISTERED LAND SURVEYOR #1818



SUBDIVISION OF LOT 27 OF THE JD & JA KEARNEY SUB'D FINAL PLAT

ZONED: R-E RESIDENTIAL ESTATE DISTRICT		
CITY OF BARTLETT, STATE OF TENNESSEE		
NUMBER OF LOTS: 2	ACREAGE: 2.48± AC.	PARCEL ID: B0157 G00048
OWNER/DEVELOPER: JAMES E. LOGUE		SURVEYOR/ENGINEER: ALLEN & HOSHALL 1661 INTERNATIONAL DR, MEMPHIS, TN
100-YEAR FLOOD ELEV: N/A	FEMA MAP PANEL: 47157C0303G	FEMA MAP DATE: 2/06/2013
AUGUST 6, 2025	SCALE: 1"=50'	SHEET 1 OF 1



PC Final Plan Application

Date: 10/06/2025

Project Information

Property Address: 7553 Appling Road
Project Name:

Present Zoning: RS-12
of Lots: 2

Description: SFR

Applicant / Owner

Applicant Name: Daniel & Emilyn Lee
Company Name:
Address: 7553 Appling Road
City, State, Zip: Bartlett, TN 38135
Phone: 3106900811
Email: danlee5@hotmail.com

Owner Name: Daniel & Emily Lee
Company Name:
Address: 7553 Appling Road
City, State, Zip: Bartlett, TN 38135
Phone: 3106900811
Email: danlee5@hotmail.com

Architect / Engineer

Architect Contact:
Company Name:
Address:
City, State, Zip:
Phone:
Email:

Architect Contact: David Bray
Company Name: The Bray Firm
Address: 2950 Stage Plaza North
City, State, Zip: Bartlett
Phone: 9013838668
Email: dgbray@comcast.net

I do hereby certify that the information contained herein is true and correct.

David Bray
Name

10/06/2025
Date

Final Subdivision Plan/Plat Checklist

The applicant shall either indicate that the following items have been completed by a check (✓) or that they are not applicable (n/a).

_____ Drawn in ink on 20" x 24" mylar, at a
scale of 1" = 100'.
_____ Bearing and length of every street line,
lot line, boundary line, block line and
building line whether curved or straight.
_____ Subdivision name and location
_____ Location sketch map
_____ Date
_____ "Grid" or "true" north point
_____ Name of adjoining landowners,
developments
_____ Written boundary survey
_____ Location and description of a clearly
identified and verifiable point of
beginning for the survey
_____ Buildings setback lines
_____ Reservations for all easements
_____ Areas dedicated for public use
_____ Areas of non-residential use
_____ Areas of flood hazard
_____ Lots numbered in numerical order

_____ Landscaped buffer strips
_____ Street names
_____ Restrictive covenants

The following, with dimensions to nearest one
hundredth (1/100th) of a foot and angles or true or
grid bearings to the nearest twenty seconds of arc
(20"):

_____ Lot lines
_____ Street & road lines
_____ Alley lines

The following completed certificates where
applicable:

_____ Owner
_____ Surveyor or Engineer
_____ Storm drainage
_____ Board of Mayor and Aldermen
_____ Planning Commission
_____ Mortgagee

**In addition to the Final Plan drawing, the
following shall be provided:**

_____ One PDF file of the pictorial portion of the
Final Plan, for display at the Planning
Commission meeting.

Include a fee of \$500.00 plus \$20.00 per lot with this application (check payable to the City of Bartlett).
The fee is not refundable.

INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED

I, _____, OWNER OF THE PROPERTY SHOWN HEREON, HEREBY ADOPT THIS PLAT AS MY PLAN OF SUBDIVISION, AND DEDICATE THE STREETS, RIGHTS-OF-WAYS, EASEMENTS, AND RIGHTS OF ACCESS AS SHOWN AND /OR DESCRIBED TO THE PUBLIC USE FOREVER, AND HEREBY CERTIFY THAT I AM THE OWNER IN FEE SIMPLE, DULY AUTHORIZED TO ACT AND THAT SAID PROPERTY IS UNENCUMBERED BY ANY TAXES WHICH HAVE BECOME DUE AND PAYABLE.

DATE _____

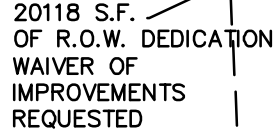
WITNESS MY HAND AND NOTARIAL SEAL, THIS _____DAY OF _____, 2025.

MY COMMISSION EXPIRES.

NOTARY PUBLIC

MEMPHIS BOYS TOWN INC.
YOUTH VILLAGES BOYS TOWN
(P.B. 274, PG. 19)

OROZCO
LOT 89
BARTLETT COUNTRY S/D
P.B. 99, PG. 17



LOT 1
WW KING
SUBDIVISION
P.B. 29, PG. 1
PRESLEY

LOT 4A
BOWEN
WW KING FIRST
ADDITION
P.B. 103, PG. 39

I, TIMOTHY A. SULLIVAN, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND I HAVE SURVEYED THE LANDS EMBRACED WITHIN THE PLAT DESIGNATED AS APPLING PLEASANT SUBDIVISION, A SUBDIVISION ALL LYING WITHIN THE CORPORATE LIMITS OF THE CITY OF BARTLETT, TENNESSEE, THAT SAID PLAT IS A TRUE AND CORRECT PLAT OF THE LANDS EMBRACED THEREIN, SHOWING THE SUBDIVISION THEREOF IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF BARTLETT, TENNESSEE. I FURTHER CERTIFY THAT THE SURVEY OF THE LANDS EMBRACED WITHIN SAID PLAT HAS BEEN CORRECTLY MONUMENTED IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF BARTLETT, TENNESSEE.

IN WITNESS WHEREOF, I, THE SAID, TIMOTHY A. SULLIVAN
HEREUNTO SET OUT HAND AND AFFIX MY SEAL THIS 23RD
OF AUGUST, 2021.

LAND SURVEYOR
STATE OF TENNESSEE CERTIFICATE NO. 2160

I, DAVID GEAN BRAY, HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL CIVIL ENGINEER, AND THAT I HAVE DESIGNED ALL STORM WATER DRAINAGE FOR APPLING PLEASANT SUBDIVISION TO ASSURE THAT NEITHER SAID SUBDIVISION NOR ADJOINING PROPERTY WILL BE DAMAGED OR THE CHARACTER OF LAND USE BE AFFECTED BY THE VELOCITY AND VOLUME OF WATER ENTERING OR

IN WITNESS WHEREOF, I, THE SAID PROFESSIONAL CIVIL ENGINEER
HERETO SET OUT HAND AND AFFIX MY SEAL THIS 3RD DAY OF
OCTOBER, 2025.

PROFESSIONAL CIVIL ENGINEER David Sean Brady P.E.
STATE OF TENNESSEE CERTIFICATE NO. 00110070 10.03.2025

I, _____, HEREBY CERTIFY THAT ALL REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED OR THAT A PERFORMANCE BOND OR OTHER COLLATERAL IN SUFFICIENT AMOUNT TO ASSURE COMPLETION OF ALL REQUIRED IMPROVEMENTS HAS BEEN POSTED FOR THE SUBDIVISION SHOWN ON THIS PLAT AND ARE HEREBY APPROVED BY THE CITY OF BARTLETT, TENNESSEE.

DATE _____ MAYOR
CITY OF BARTLETT

PLANNING COMMISSION CERTIFICATE

I, _____, DO HEREBY CERTIFY THAT
THE CITY OF BARTLETT PLANNING COMMISSION HAS APPROVED
THIS PLAT OF SUBDIVISION FOR RECORDING.

DATE _____ SECRETARY
BARTLETT PLANNING COMMISSION



1. SETBACKS
A. MIN. FRONT- 40 FEET MEMPHIS-ARLINGTON/45 FEET APPLING
C. MIN. REAR- 8 FEET/18 FEET TOTAL
D. MIN. YARD- 30 FEET
2. THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA PER FEMA FLOOD MAP #47157C03126 FEBRUARY 6, 2013
3. IF SETTLEMENT OCCURS ALONG ANY OF THE PUBLIC EASEMENTS WITHIN THE PRIVATE PROPERTY, THE OWNER SHALL BE RESPONSIBLE FOR ALL REPAIRS, IN THE EVENT THAT "PUBLIC WORKS" HAS TO EXCAVATE TO REPAIR A LEAK IN A PUBLIC LINE, "PUBLIC WORKS" SHALL BE RESPONSIBLE FOR EXCAVATION, BACKFILL, COMPACTION AND BRING THE EXCAVATION UP TO GRADE WITH APPROPRIATE SUB-BASE MATERIAL, BUT THE OWNER SHALL BE RESPONSIBLE FOR ALL FINISH WORK INCLUDING, BUT NOT LIMITED TO ASPHALT, CONCRETE AND LANDSCAPING.
4. DRIVEWAYS AND OTHER PERMANENT STRUCTURES/IMPROVEMENTS SHALL NOT BE PLACED OVER SEWER, WATER, OR DRAINAGE EASEMENTS OR OVER SEWER AND WATER SERVICES LOCATED ON PRIVATE PROPERTY.
5. THE CITY SHALL HAVE INGRESS/ EGRESS RIGHTS TO USE PRIVATE DRIVES AS YARDS FOR THE PURPOSE OF MAINTAINING ALL PUBLIC UTILITIES AND SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID DRIVES AND YARDS.
6. ALL NEW UTILITIES SHALL BE UNDERGROUND.



RE-SUBDIVISION OF LOT 1, APPLING PLEASANT SUBDIVISION P.B. 294 PG. 21

BARTLETT, TENNESSEE

DANIEL & EMILYN LEE
7553 APPLING
BARTLETT, TN 38135

OWNER / DEVELOPER

DATE: OCTOBER 2025

THE BRAY FIRM
2950 STAGE PLAZA NORTH
BARTLETT, TN 38134
901-383-8668

ENGINEER

SCALE: 1"=50' LOTS: 2

ZONED: RS-12



PC Final Plan Application

Date: 10/06/2025

Project Information

Property Address: 0 Bartlett Blvd.
Project Name:

Present Zoning: RS-10
of Lots: 5

Description: SFR

Applicant / Owner

Applicant Name: Gustavo Vazquez
Company Name:
Address: 3708 Raleigh Millington
City, State, Zip: Memphis, TN 38128
Phone: 9013838668
Email: gustavo28leonel@gmail.com

Owner Name: Gustavo Vazquez
Company Name:
Address: 3708 Raleigh Millington
City, State, Zip: Memphis, TN 38128
Phone: 9013838668
Email: gustavo28leonel@gmail.com

Architect / Engineer

Architect Contact:
Company Name:
Address:
City, State, Zip:
Phone:
Email:

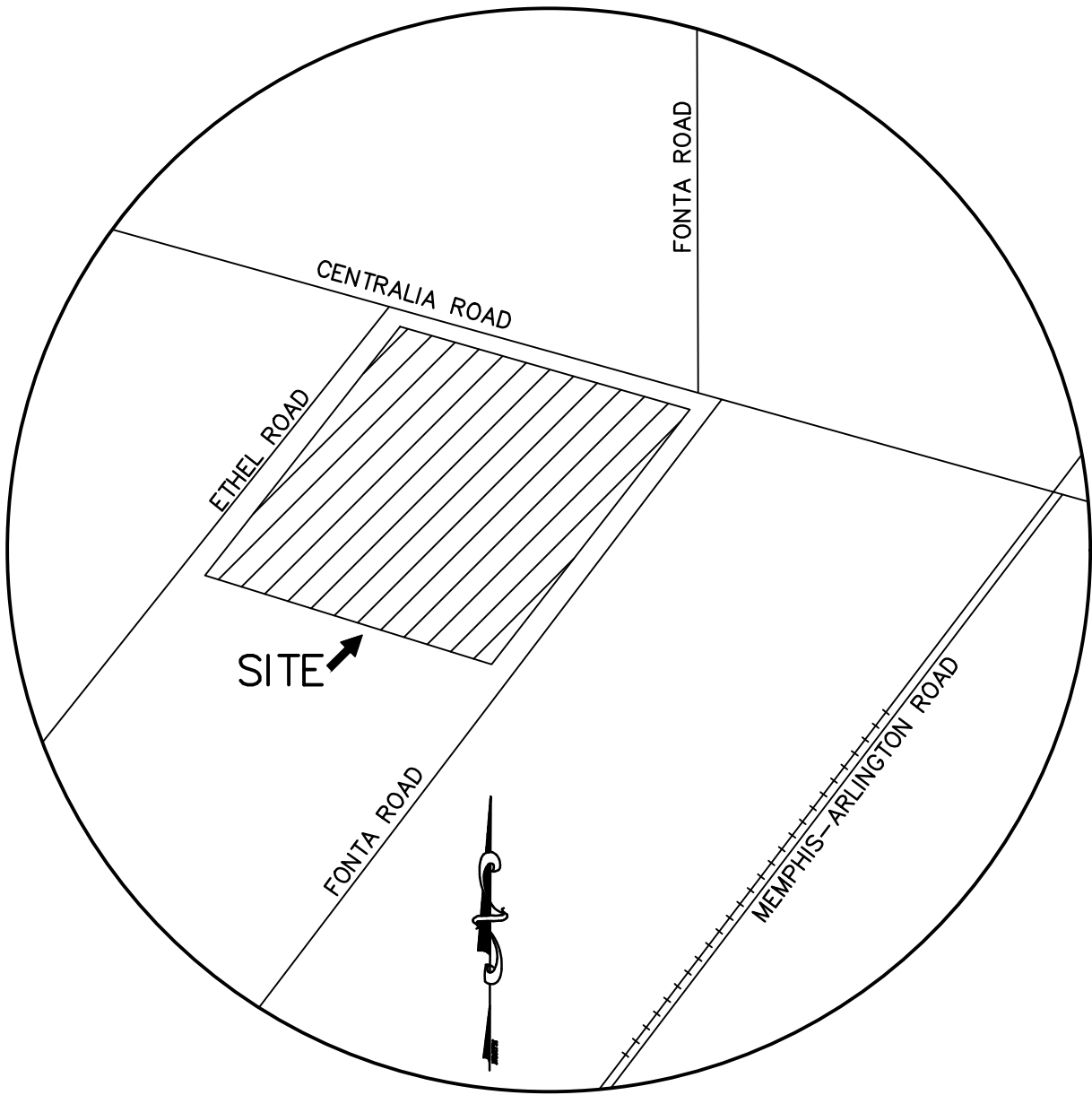
Architect Contact: David Bray
Company Name: The Bray Firm
Address: 2950 Stage Plaza North
City, State, Zip: Bartlett
Phone: 9013838668
Email: dgbray@comcast.net

I do hereby certify that the information contained herein is true and correct.

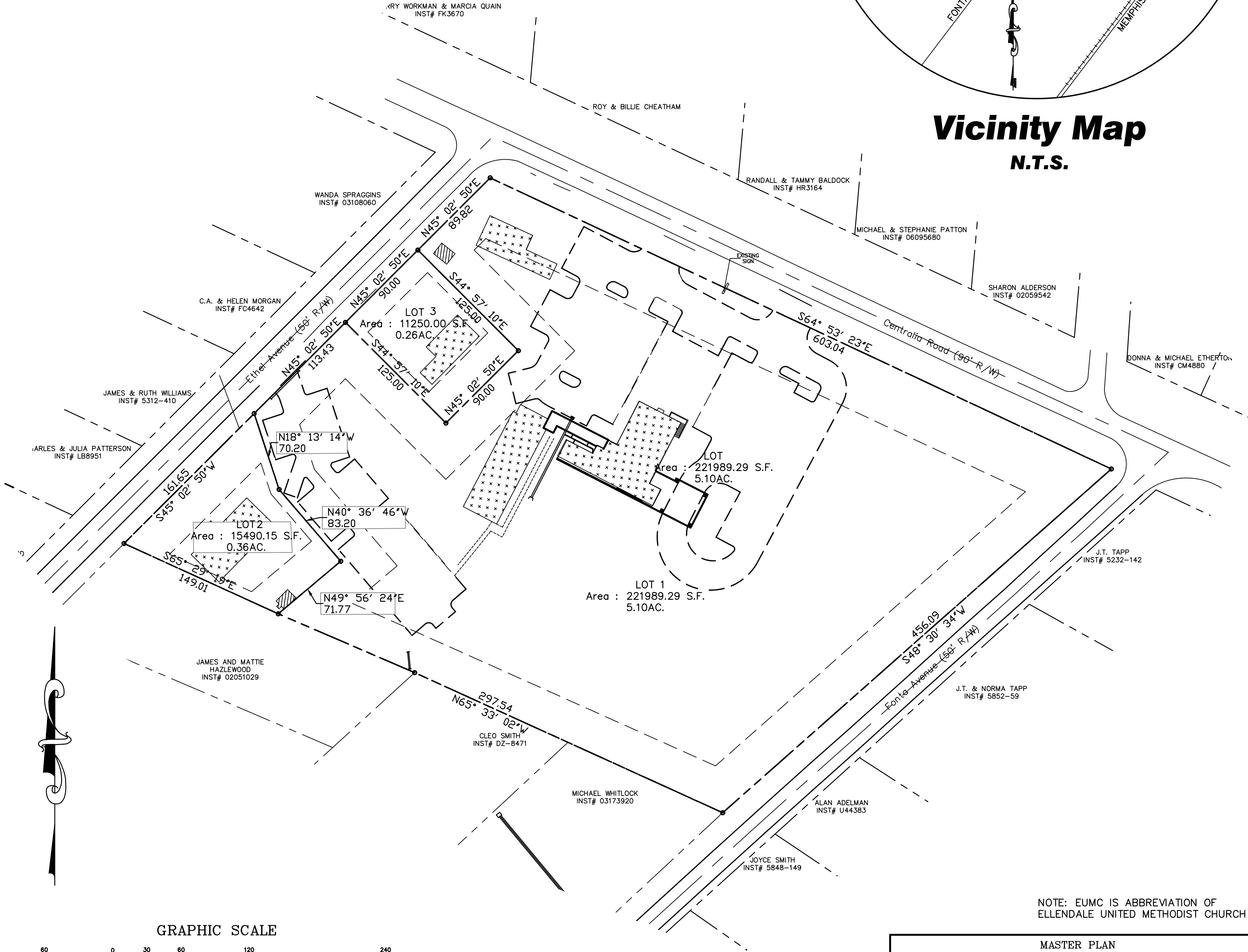
David Bray
Name

10/06/2025
Date

SITE DATA		
TOTAL SITE:	248,727.6 S.F. (5.71 AC.)	
LOT 1 AREA:	221,989.29 S.F. (5.10 AC.)	
LOT 2 AREA:	15,490.15 S.F. (0.36 AC.)	
LOT 3 AREA:	11,250.00 S.F. (0.26 AC.)	
	SINGE FAMILY	OTHER
MINIMUM LOT SIZE:	12,000 S.F.	5 ACRES
MINIMUM LOT WIDTH:	90 FT	250 FT.
BUILDING SETBACKS:		
FRONT	35 FT.	50 FT
SIDE	8 FT.	35 FT
REAR	30 FT	35 FT
MAXIMUM HEIGHT:	35 FT	35 FT
MAXIMUM DENSITY:	3 UNITS/AC.	N.A.
MAX. % LOT COVERAGE	35%	20
ZONING:	RS-12	
LAND USE:	RESIDENTIAL & RELIGIOUS	



Vicinity Map
N.T.S.



NOTE: EUMC IS ABBREVIATION OF ELLENDALE UNITED METHODIST CHURCH

MASTER PLAN		
EUMC SUBDIVISION		
CASE NO.:	PHASE 1	
BARTLETT, TENNESSEE		
NO. OF LOTS: 3	5.71 ACRES	
DEVELOPER: ELLENDALE METHODIST CHURCH 7229 CENTRALIA ROAD BARTLETT, TN 38029	ENGINEER: RENAISSANCE GROUP 9700 VILLAGE CIRCLE, STE. 100 LAKELAND, TN 38002	
WARD: BLOCK: PARCEL:	F.E.M.A. MAP PANEL NO.: 470157C 0145E	F.E.M.A. MAP DATE: 12-02-1994
DATE: AUGUST, 2025	SCALE: 1"=60'	SHEET 1 OF 4

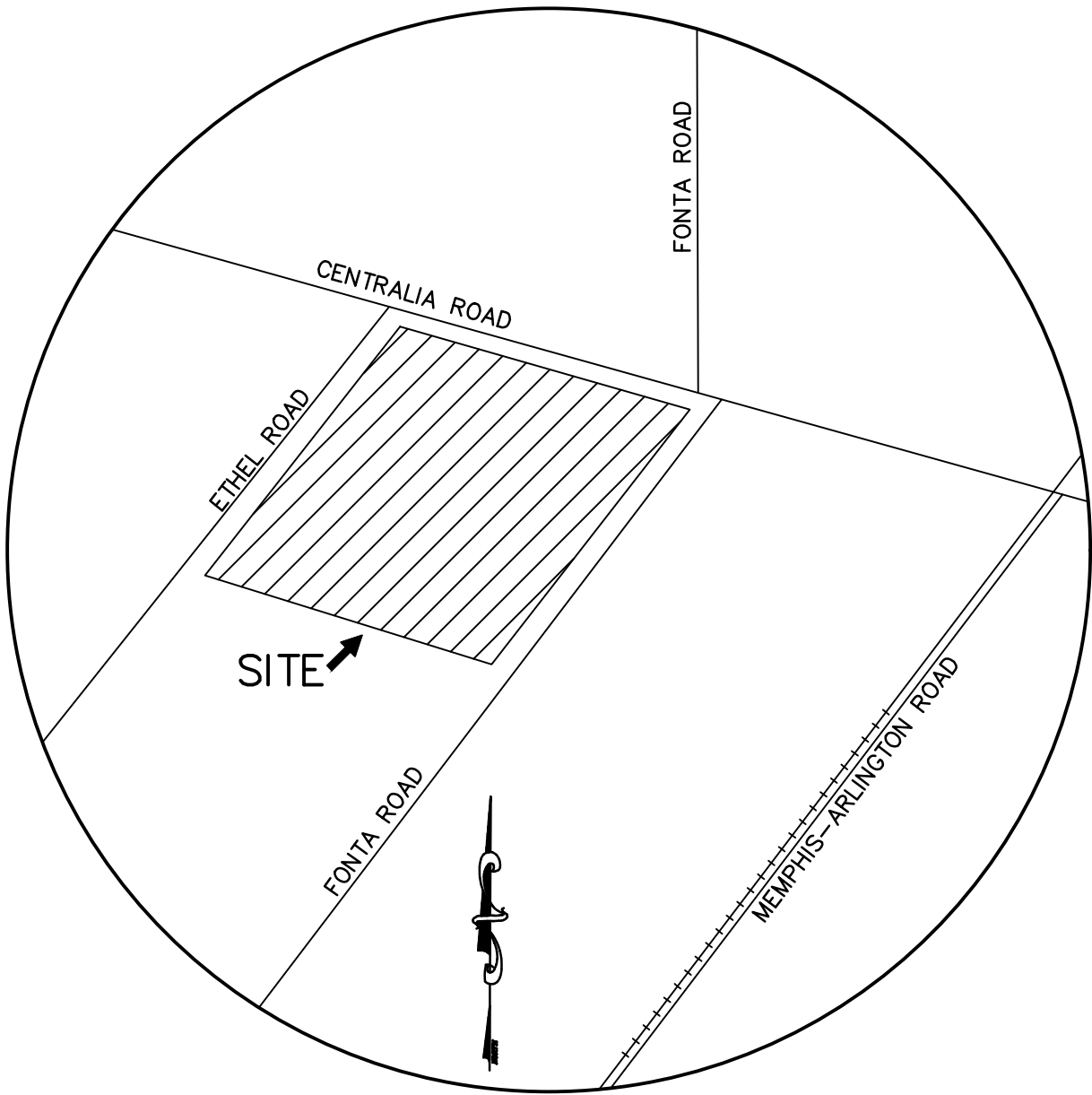
TBM: AN EXISTING SEWER MANHOLE AT THE INTERSECTION OF CENTRALIA ROAD AND FONTA AVENUE.
ELEVATION = 324.95

FLOOD NOTE: THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA PER F.E.M.A. FLOOD INSURANCE RATE MAP NO. 47157C0145-E, EFFECTIVE DATE DECEMBER 2, 1994.

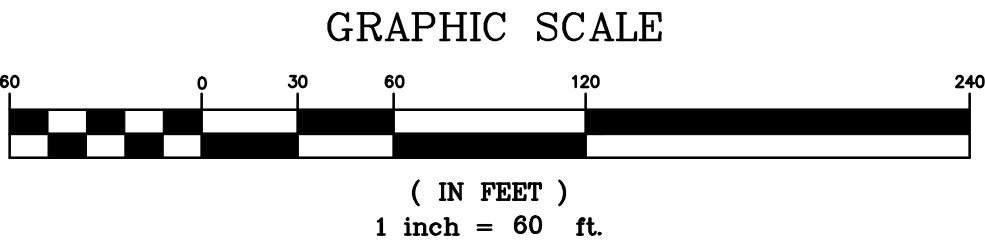
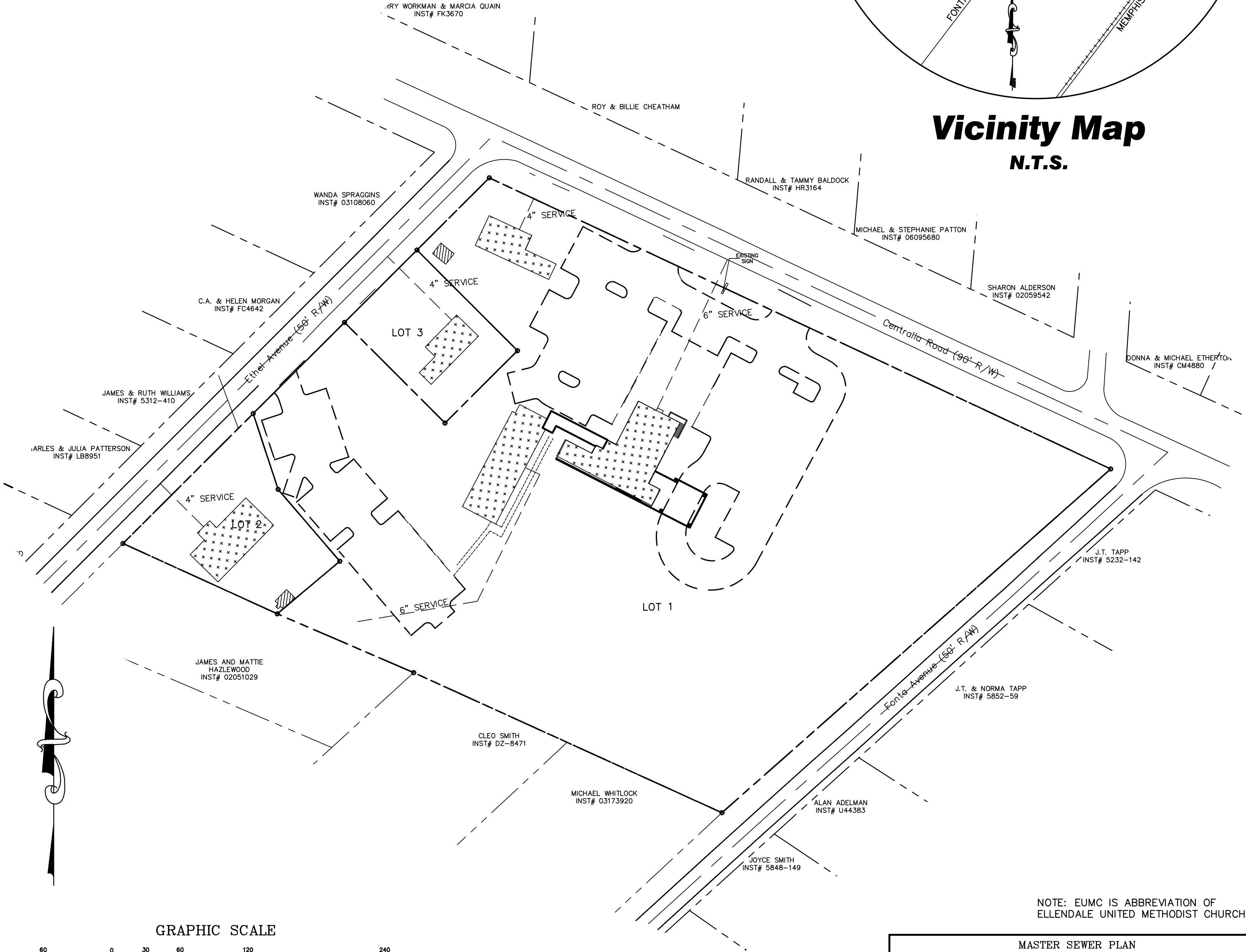
RGI. INC. PROJ. #25138

FLOOD NOTE: THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA PER F.E.M.A. FLOOD INSURANCE RATE MAP NO. 47157C0145-E, EFFECTIVE DATE DECEMBER 2, 1994.

SITE DATA		
TOTAL SITE:	248,727.6 S.F. (5.71 AC.)	
LOT 1 AREA:	221,989.29 S.F. (5.10 AC.)	
LOT 2 AREA:	15,490.15 S.F. (0.36 AC.)	
LOT 3 AREA:	11,250.00 S.F. (0.26 AC.)	
	SINGE FAMILY	OTHER
MINIMUM LOT SIZE:	12,000 S.F.	5 ACRES
MINIMUM LOT WIDTH:	90 FT	250 FT.
BUILDING SETBACKS:		
FRONT	35 FT.	50 FT
SIDE	8 FT.	35 FT
REAR	30 FT	35 FT
MAXIMUM HEIGHT:	35 FT	35 FT
MAXIMUM DENSITY:	3 UNITS/AC.	N.A.
MAX. % LOT COVERAGE	35%	20
ZONING:	RS-12	
LAND USE:	RESIDENTIAL & RELIGIOUS	



Vicinity Map
N.T.S.



TBM: AN EXISTING SEWER MANHOLE AT THE INTERSECTION OF CENTRALIA ROAD AND FONTA AVENUE.
ELEVATION = 324.95

FLOOD NOTE: THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA PER F.E.M.A. FLOOD INSURANCE RATE MAP NO. 47157C0145-E, EFFECTIVE DATE DECEMBER 2, 1994.

NOTE: EUMC IS ABBREVIATION OF ELLENDALE UNITED METHODIST CHURCH

MASTER SEWER PLAN		
EUMC SUBDIVISION		
CASE NO.:	PHASE 1	
BARTLETT, TENNESSEE		
NO. OF LOTS: 3	5.71 ACRES	
DEVELOPER: ELLENDALE METHODIST CHURCH 7229 CENTRALIA ROAD BARTLETT, TN 38029	ENGINEER: RENAISSANCE GROUP 9700 VILLAGE CIRCLE, STE. 100 LAKELAND, TN 38002	
WARD: BLOCK: PARCEL:	F.E.M.A. MAP PANEL NO.: 470157C 0145E	F.E.M.A. MAP DATE: 12-02-1994
DATE: AUGUST, 2025	SCALE: 1"=60'	SHEET 3 OF 4

Owners Certificate

I, _____, the undersigned owner of the property shown hereon, hereby adopt this plan of development and dedicated the Right of Way and easements as shown to the public use forever, and hereby certify that I am the owner in fee simple, duly authorized so to act, and that said property is unencumbered by any taxes that have become due and payable.

Owner

NOTARY CERTIFICATE
STATE OF TENNESSEE
COUNTY OF SHELBY

Before me, the undersigned, a notary public in and for the State and County at Memphis, duly commisioned and qualified, personally appeared: _____, with whom I am personally acquainted, and who upon his (her) oath acknowledged himself (herself) to be the

_____ of the property (corporation/company/etc.), the within named bargainer, and that he (she) executed the foregoing instrument for the purpose therein contained. In witness whereof, I have hereunto set my hand and affixed my notarial seal at my office in Memphis, this _____ day of _____, 20____.

NOTARY PUBLIC _____

MY COMMISSION EXPIRES _____

MORTGAGEE’S CERTIFICATE

We, the undersigned, _____, mortgagee of the property shown hereon, hereby adopt this plat as our plan of development and dedicated the street, right-of-ways, easement and rights of access as shown to the public use forever, and hereby certify that we are the mortgagee duly authorized so to act and that said property is unencumbered by any taxes which have become due and payable.

Mortgagee

NOTARY CERTIFICATE
STATE OF TENNESSEE
COUNTY OF SHELBY

Before me, the undersigned, a notary public in and for the State and County at Memphis, duly commisioned and qualified, personally appeared: _____, with whom I am personally acquainted, and who upon his (her) oath acknowledged himself (herself) to be the

_____ of the property (corporation/company/etc.), the within named bargainer, and that he (she) executed the foregoing instrument for the purpose therein contained. In witness whereof, I have hereunto set my hand and affixed my notarial seal at my office in Memphis, this _____ day of _____, 20____.

NOTARY PUBLIC _____

MY COMMISSION EXPIRES _____

Engineering Certificate

Is hereby certified, that the engineering aspect, of this plat is true and correct, is in conformance with the design requirements of the zoning ordinance, the subdivision regulations and the specific conditions imposed on this development, and to the best of my knowledge takes into to account all applicable federal, state and local building laws and regulations.

J. Wesley Wooldridge, P.E.
Tennessee Certificate No. 104878



Surveyor’s Certificate

I, _____, do hereby certify that I am a registered Land Surveyor, and that I have surveyed the lands, embraced within the plat or map designated as _____, a subdivision all lying within the corporate limits of Shelby County, Tennessee; said plat or map is a true and correct plat or map of the lands embraced therein, showing the subdivision thereof in accordance with Subdivision Regulations of Shelby County, Tennessee; I further certify that the survey of the lands embraced within said plat or map has been correctly monumented in accordance with the Subdivision Regulations of Shelby County, Tennessee.

In witness whereof, I the Said _____, Land Surveyor, hereunto set our hand affix my seal the _____, day of _____, 20_____.

Tennessee R.L.S. Certificate No. _____

Board of Mayor and Aldermen Certificate

I, _____, do hereby certify that all required improvements have been installed or that a performance bond or other collateral in sufficient amount to assure completion of all required improvements has bee posted for the plan of development shown on this plat and are hereby approved by the Town of Bartlett, Tennessee.

_____, 20_____

Mayor, Town of Bartlett

Planning Commission Certificate

I, _____, do hereby certify that the Town of Bartlett Planning Commission has approved this plat for recording.

_____, 20_____

Secretary, Planning Commission
Town of Bartlett

FINAL PLAT		
ELLENDALE UNITED METHODIST CHURCH		
CASE NO.:	PHASE	
BARTLETT, TENNESSEE		
NO. OF LOTS:3	5.71 ACRES	
DEVELOPER: ELLENDALE METHODIST CHURCH 7229 CENTRALIA ROAD BARTLETT, TN 38029	ENGINEER: RENAISSANCE GROUP 9700 VILLAGE CIRCLE, STE. 100 LAKELAND, TN 38002	
WARD: BLOCK: PARCEL:	F.E.M.A. MAP PANEL NO.: 470157C 0145E	F.E.M.A. MAP DATE: 12-02-1994
DATE: AUGUST 2025	SCALE: 1"=60'	SHEET 4 OF 4



PC Site Plan Application

Date: 10/06/2025

Project Information

Property Address: 5694 Stage Road

Present Zoning: CG

Project Name:

of Lots: 1

Description: Auto Garage

Applicant / Owner

Applicant Name: Todd Bradford

Owner Name:

Company Name: Todd Bradford Companies, LLC.

Company Name: Chapman Auto Repair Service, Inc.

Address: 12780 Seward Road

Address: 5694 Stage Road

City, State, Zip: Eads, TN 38028

City, State, Zip: Bartlett, TN 38134

Phone: 9018176408

Phone:

Email: tbradford901@gmail.com

Email:

Architect / Engineer

Architect Contact:

Architect Contact: David Bray

Company Name:

Company Name: The Bray Firm

Address:

Address: 2950 Stage Plaza North

City, State, Zip:

City, State, Zip: Bartlett

Phone:

Phone: 9013838668

Email:

Email: dgbray@comcast.net

I do hereby certify that the information contained herein is true and correct.

David Bray

Name

10/06/2025

Date

**Bartlett Planning and
Economic Development Department**
6382 Stage Road, P.O. Box 341148
Bartlett, TN 38184-1148
901-385-6417 FAX 901-385-6419
www.cityofbartlett.org

Planning Commission Site Plan Checklist

The site plan package shall include the information below, with dimensions as necessary to show compliance with the Zoning Ordinance and to locate required features:

- ___ a. The proposed development's name and location, the name(s) and address(es) of the owner(s), and the name of the designer of the site plan.
- ___ b. A site location (vicinity) map.
- ___ c. Date, north point and *graphic* scale. Draw to scale on sheets **no larger than 24" x 36"**. Scale shall be no smaller than 1" = 100' and large enough to show required detail clearly and distinctly. Use an engineer's scale. An architect's scale may be used for building elevations.
- ___ d. The locations of existing and platted property lines and any existing streets, buildings, easements, etc.
- ___ e. The locations and dimensions of proposed streets, buildings, easements, lot lines and other site plan features.
- ___ f. The proposed types of uses and their locations, height of buildings, arrangement, lot coverage, yards and open spaces.
- ___ g. A grading and drainage plan that has provisions for detention. Also, provide flood hazard details when applicable.
- ___ h. Floor area of proposed buildings or building additions (each floor, in square feet).
- ___ i. Proposed off-street parking with parking spaces shown and dimensioned.
- ___ j. Landscaping and screening plan, evidence of compliance with required landscaping.
- ___ k. Table on the landscape plan showing compliance with the Tree Ordinance.
- ___ l. Other information as may be required by the Planning Commission.
- ___ m. A tree survey by a certified arborist is required if there are trees larger than 6" in diameter on the site.
- ___ n. A tree protection plan that is signed by a surveyor and arborist showing trees to be removed and saved is required.
- ___ o. Erosion control plan.
- ___ p. Location of sewer and water services and water meter sizes.
- ___ q. The applicant must provide one PDF file of the pictorial portion of the site plan (and also one of any separate landscaping plan), for display at the Planning Commission meeting.

Plans shall be sealed, signed and dated by an engineer that is registered in the State of Tennessee

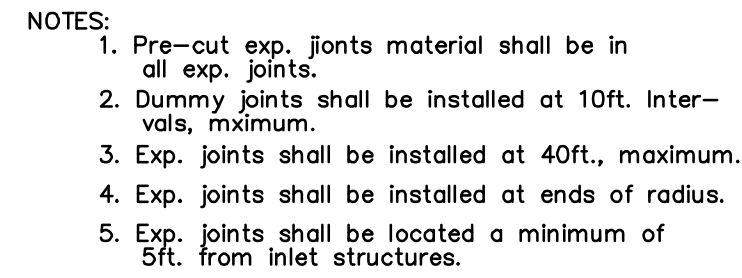
Without Contract: Include a fee of \$400.00 with this application (check payable to the City of Bartlett).

With Contract: Include a fee of \$500.00 with this application (check payable to the City of Bartlett).

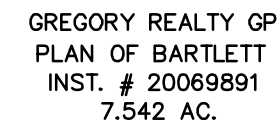
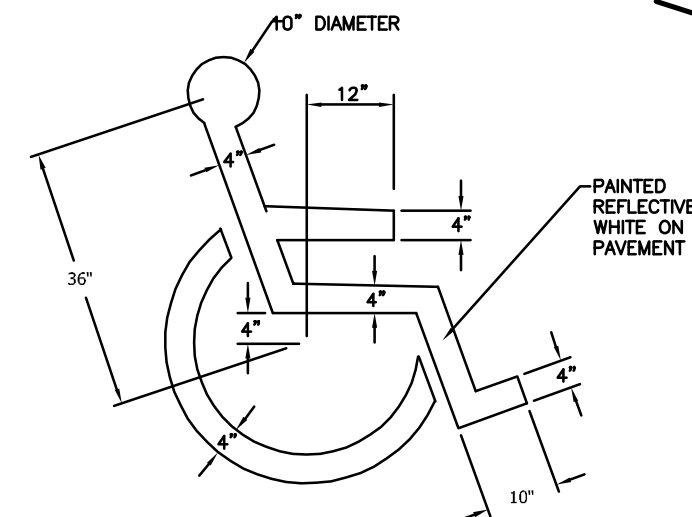
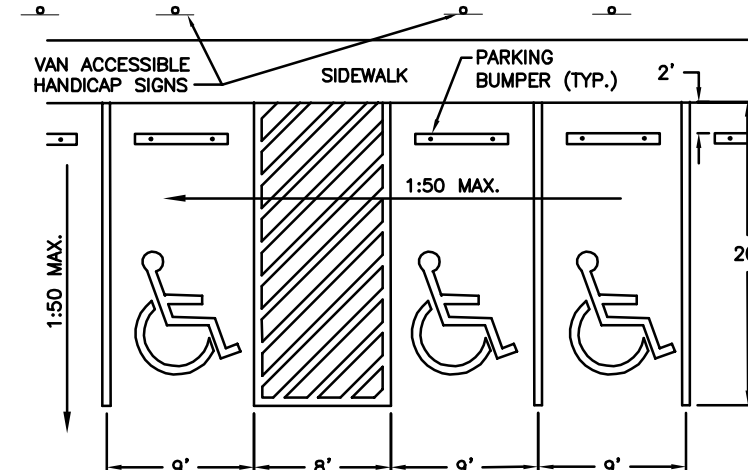
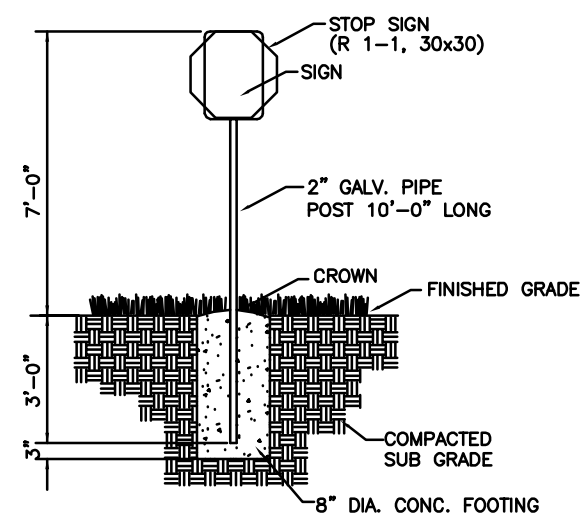
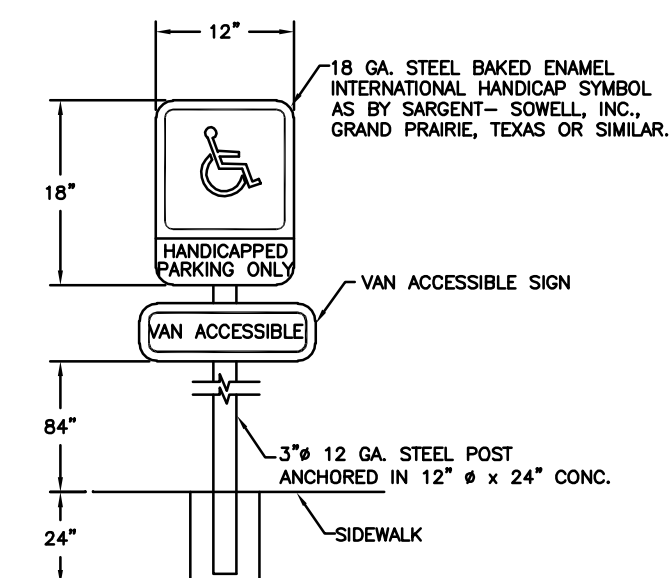
The fee is non-refundable. Approval may be granted to the entire development for construction purposes, or approval may be granted by stages. Any unauthorized deviation from the approved Site Plan shall constitute a violation of the Building Permit. If the site is subject to the Subdivision process, all requirements of the Subdivision Ordinance must be met.

INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED

- UNDERGROUND SEWER ——— 3.4 — 3.4 — 3.4 — 3.4 — 3.4 — 3.4 — 3.4 — 3.4 —
 UNDERGROUND WATER ——— 1.2 — 1.2 — 1.2 — 1.2 — 1.2 — 1.2 — 1.2 — 1.2 —
 OVERHEAD ELECTRIC ——— 0.6 — 0.6 — 0.6 — 0.6 — 0.6 — 0.6 — 0.6 — 0.6 —
 UNDERGROUND ELECTRIC ——— 0.2 — 0.2 — 0.2 — 0.2 — 0.2 — 0.2 — 0.2 — 0.2 —
 UNDERGROUND GAS ——— 0.1 — 0.1 — 0.1 — 0.1 — 0.1 — 0.1 — 0.1 — 0.1 —



1.0 inches wearing course Hot Mix Asphaltic Concrete
2.0 inches binder course Hot Mix Asphaltic Concrete
6.0 inches 501 Cement Base or
8.0 inches Crushed Stone Base
RIGID PAVEMENT
5.0 inches Portland Cement Concrete
6.0 inches Granular Sub Base (optional)
umpster areas shall have be 7.0 inches.



CLC FAMILY ENTERPRISES LLC
R. PART OF LOT 86
PLAN OF BARTLETT
INST. # 14007194
0.889 AC.



INTEGRAL SIDEWALK/CURB DETAIL

PROPOSED USE:	AUTO GARAGE
SITE AREA:	1.128 ACRES
BUILDING SIZE:	3934 S.F.
FAR:	0.08
REQUIRED OPENSOURCE:	35 %
PROVIDED OPENSOURCE:	41 %
PARKING REQUIRED:	13 SPACES
PARKING PROVIDED:	28 SPACES (2 ADA)



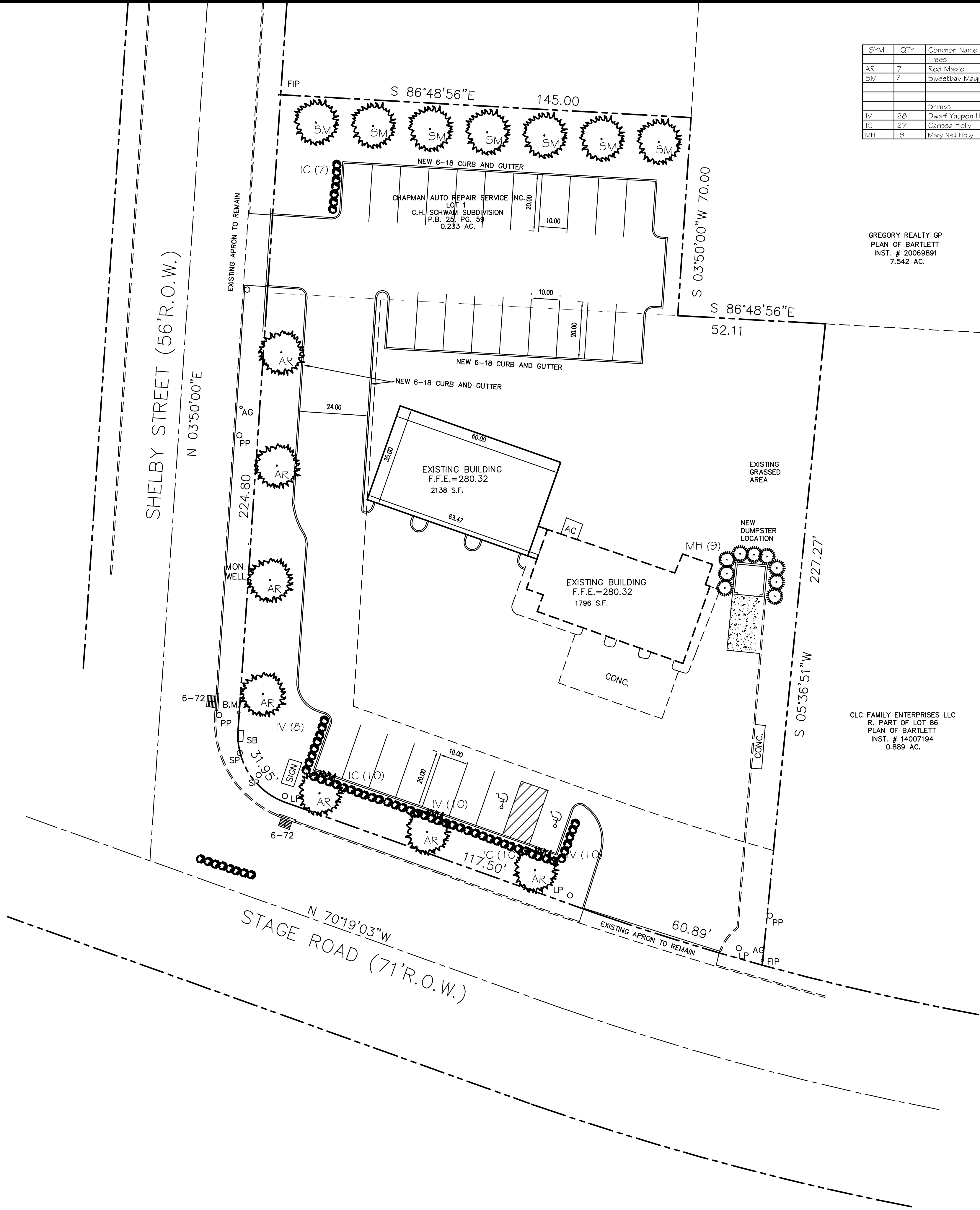
DEVELOPER: CHAPMAN AUTOMOTIVE
ENGINEER: THE BRAY FIRM

SURVEY: TBF DATE: 9-2025 BOOK: _____
DESIGN: TBF DATE: 10-2025 SCALE 1"=20'
REVIEWED BY _____

CITY ENGINEER _____ DATE _____

LEGEND
SMH - SEWER MANHOLE
OHE - OVERHEAD ELEC.
HW - HEADWALL
CM - CHISEL MARK
DMH - DRAIN MANHOLE
CMP - CORRUGATED METAL PIPE
FFE - FINISH FLOOR EL.
F.I.P. - FOUND IRON PIN
S.I.P. - SET IRON PIN
WV - WATER VALVE
X-X - FENCE

UNDERGROUND SEWER
UNDERGROUND WATER
OVERHEAD ELECTRIC
UNDERGROUND ELECTRIC
UNDERGROUND GAS



SYM	QTY	Common Name	Botanical Name	Size	Spacing	Remarks
Trees						
AR	7	Red Maple	Acer rubrum 'Red Sunset'	3-3.5" Cal.	40' o.c.	Central leader
SM	7	Sweetbay Magnolia	Magnolia virginiana	2.5-3" Cal.	20' o.c.	Multi Trunk
Shrubs						
IV	28	Dwarf Yaupon Holly	Ilex vomitoria 'Nana'	18-24" Spr	3' o.c.	Dense
IC	27	Canessa Holly	Ilex cornuta 'Canessa'	18-24" Spr	3' o.c.	Dense
MH	9	Mary Nell Holly	Ilex x Mary Nell	6-8 H	na	Full to around

GREGORY REALTY GP
PLAN OF BARTLETT
INST. # 20069891
7.542 AC.

- GENERAL LANDSCAPE NOTES
1. Issuance of Certificate of Occupancy
 2. The Building Official may not issue a permanent certificate of occupancy for an approved site plan or final plat, until all landscaping and buffers have been installed in accordance with the approved site plan or final plat. A temporary certificate of occupancy may be issued for a period of 30 days under circumstances that would affect the seeding and planting of the site, or until the proper planting season is reached to complete the landscaping requirements, and may be extended up to 90 days upon request to the Building Official.
 3. No changes to ANY ASPECT of this site plan, including but not limited to landscaping, grading, building elevations, paving, lighting or utilities shall be made without the approval of the City of Bartlett.
 4. Planting areas must have uncompacted coarse loam that is a minimum of 12 inches deep. Soils must be appreciably free of gravel, stones, rubble or trash. All compacted soil, contaminated soil or road base fill must be moved.
 5. The site shall be stabilized and seeded prior to the issuance of a Certificate of Occupancy.
 6. All HVAC systems within 150 feet of a residence or a public street shall be screened from off-site views.
 7. All dumpsters and cardboard recycling locations within 150 feet of a residence or public street shall be screened from off-site views.
 8. Where existing vegetation fails to function adequately as the required buffer type, the City of Bartlett reserves the right to require supplemental plantings in addition to those shown on the planting plan based on actual field conditions.
 9. Contractor shall comply with all applicable codes and ordinances regarding landscaping and irrigation.
 10. Contractor shall be responsible for the watering and the maintenance of all landscaped areas until the later of:
 - i. Thirty (30) days following the planting of the grass and shrubs, or
 - ii. The date that the project opens for business to the public.
 11. The evergreen shrubs proposed in the streetscape to create an evergreen opaque screen should be allowed to attain a minimum height of 4 feet.
 12. General Contractor is to clean entire site of all construction debris and rake entire site.
 13. Contact all utility companies to locate underground utilities prior to construction. All lines must be identified on site before digging.
 14. To minimize damage to existing trees along the interior edge of buffers and streetscapes, the contractor shall cut x 2 trench (minimum) along the limits of disturbance, so as to cut rather than tear roots.
 15. If applicable, the tree protection fence shall be maintained on the site until all site work is completed and the final site inspection prior to the Certificate of Occupancy (CO) is scheduled.
 16. The fencing shall be removed prior to final site inspection for the CO.

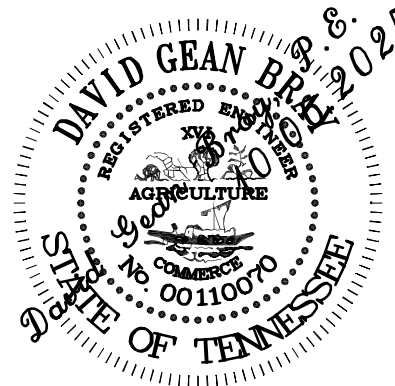
- PLANTING NOTES
1. Plants shall be nursery grown and material shall conform to the latest edition of American Standard for nursery stock (ANSI/ISO 1), as published by the American Association of Nurserymen.
 2. Root balls shall conform to A.A.N. Standards. Only natural fiber burlap will be acceptable for wrapping.
 3. Ball depths on some trees in a single group may vary. In general, 1/3 the ball should be above grade. But, if depths vary, all trees in a group should set so that the base of the trunks will appear to be at the same relative elevation above grade.
 4. Plant locations to staked in field and approved by Landscape Architect prior to installation.
 5. Planting plans shall govern quantities. Any discrepancies or omissions in lists of materials should be reported to the Landscape Architect.
 6. Substitution of plant materials specified can only occur by prior approval of Landscape Architect and the City of Bartlett.
 7. The landscape contractor shall furnish, install and/or dig, ball, burlap and transport all plant materials listed on the plant schedule. Bare-root planting is not permitted for any tree or shrub.
 8. Landscape contractor to guarantee plant materials for two growing seasons following substantial completion per specifications.
 9. Establish plant bed configurations. Landscape Architect to approve bed layout in field. Prepare plant beds per specifications.
 10. In event of planting beds and mulch being required, the contractor shall install black fiber mesh under the mulch to prevent weed growth.
 11. Contractor shall provide a minimum 2" of landscape grade topsoil to the entire site.
 12. Verification of total quantities as shown on the plant list shall be the responsibility of the planting contractor and the total quantities shall be as required on the planting plan.
 13. B&B as listed under "Root" in the plant list indicated balled and burlapped.
 14. All plants shall bear the same relationship to finished grade as it bore to grade in nursery.
 15. Typical planting backfill mixture shall consist of 1 part ground pine bark to 4 parts existing soil with "Agriform" 20-1-5 formulation (or equal) at manufacturer's rate.
 16. All root balls removed from containers shall be scarified prior to backfilling.
 17. Tree wrap is to be used on thin bark species only (such as maples). The landscape architect shall be sole judge of which species should be wrapped if there is any question.
 18. No deciduous or evergreen trees will be accepted if there is more than one leader unless the tree is specified as multi-trunk.
 19. Lawn areas to be used as provided below, except as noted elsewhere on drawing.
 20. Seeds of common Bermuda grasses are often used to establish home lawns, sports fields and utility turfs. Bermuda grass seed blends include Enviro-Bermuda (Mohawk), "Sydney" and "Panama" or "Yuma", LaPrima ("SR9554" and "LaPaloma"), Oasis ("Blackjack," "Savannah" and "Sundevil II") and Triangle (Mohawk), "Sultan" and "Sydney").
- Seeding Schedule:
- | | |
|--|--|
| Fall/Winter (Oct-Mar) | Spring/Summer (Apr-Sept) |
| 75% Un-Hulled Bermuda Grass Seed | 100% Blended Hulled Bermuda Grass Seed |
| 25% Gulf Annual Ryegrass | |
| 5-20 lbs per 1,000 Square Feet | 2-3 lbs/1,000 Square Feet |
| 20. Lawn areas damaged by Contractor shall be reseeded and established at no additional cost to owner. | |

THIS PROPERTY IS NOT LOCATED WITHIN AN AREA DESIGNATED AS A "SPECIAL FLOOD HAZARD AREA" BASED FIRM COMMUNITY PANEL NUMBER 47157C0303G DATED FEBRUARY 6, 2013. BFE: 264

REVISIONS		
ITEM NO.	DESCRIPTION OF CHANGE	DATE APPROVED

PART OF LOT 86, TOWN OF BARTLETT
CHAPMAN AUTO REPAIR

DEVELOPER: CHAPMAN AUTOMOTIVE
ENGINEER: THE BRAY FIRM



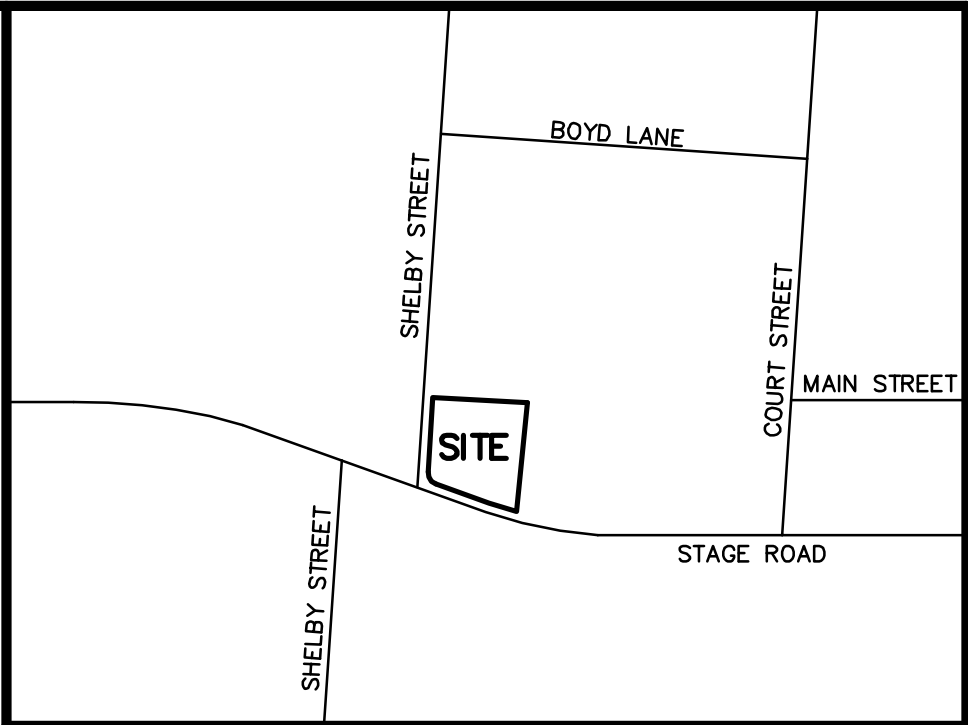
DIVISION OF ENGINEERING
LANDSCAPE PLAN
LOCATION:
5694 STAGE ROAD
BARTLETT, TENNESSEE

SURVEY: TBF
DESIGN: TBF
DATE: 9-2025
DATE: 10-2025
BOOK: _____
SCALE: 1"=20'
REVIEWED BY: _____

CITY ENGINEER: _____ DATE: _____

LEGEND
SMH - SEWER MANHOLE
OHE - OVERHEAD ELEC.
HW - HEADWALL
CM - CHISEL MARK
DMH - DRAIN MANHOLE
CMP - CORRUGATED METAL
PIPE
FFE - FINISH FLOOR EL.
F.I.P. - FOUND IRON PIN
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X-X - FENCE

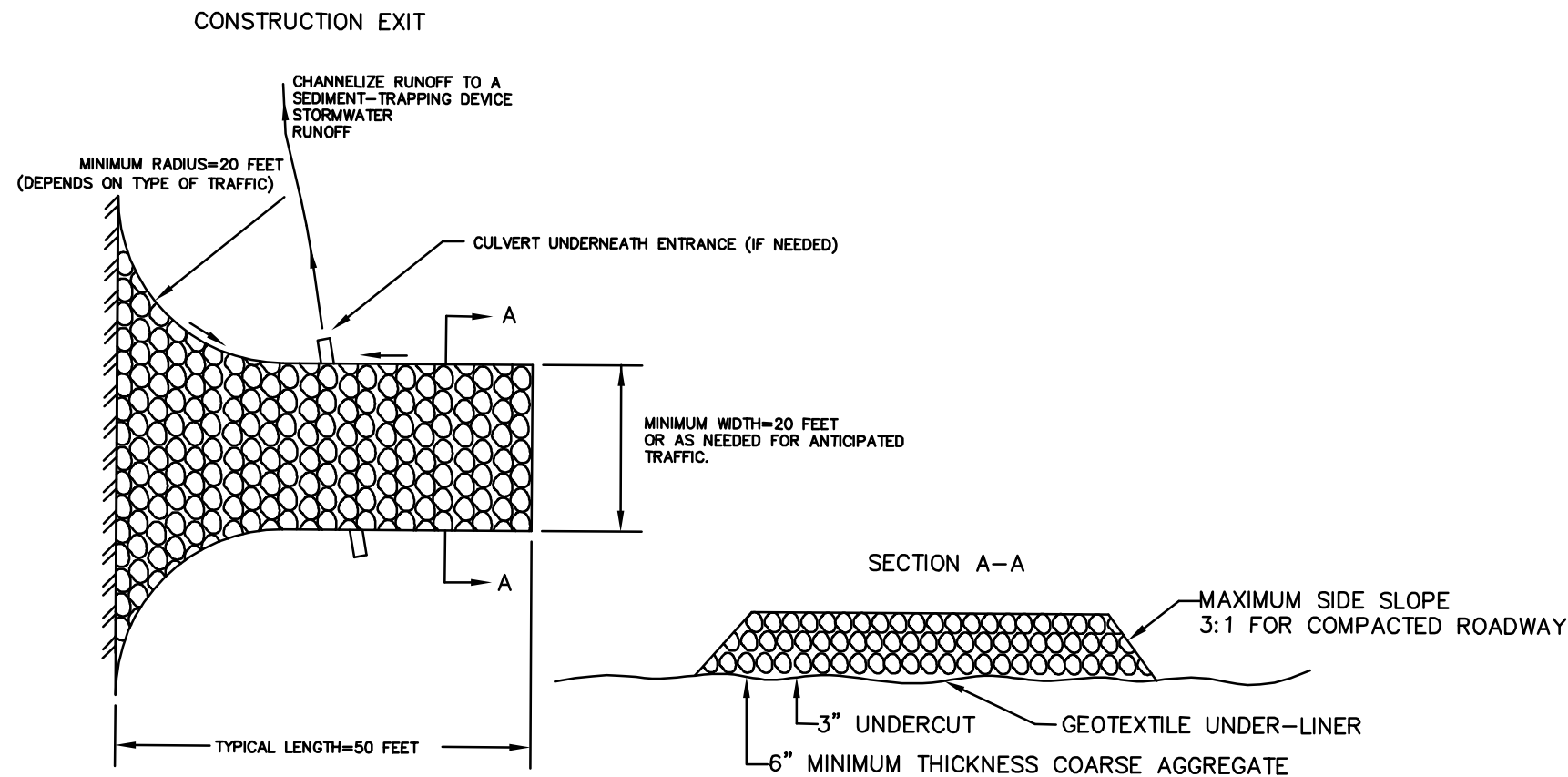
UNDERGROUND SEWER
UNDERGROUND WATER
OVERHEAD ELECTRIC
UNDERGROUND ELECTRIC
UNDERGROUND GAS



VICINITY MAP

N.T.S.

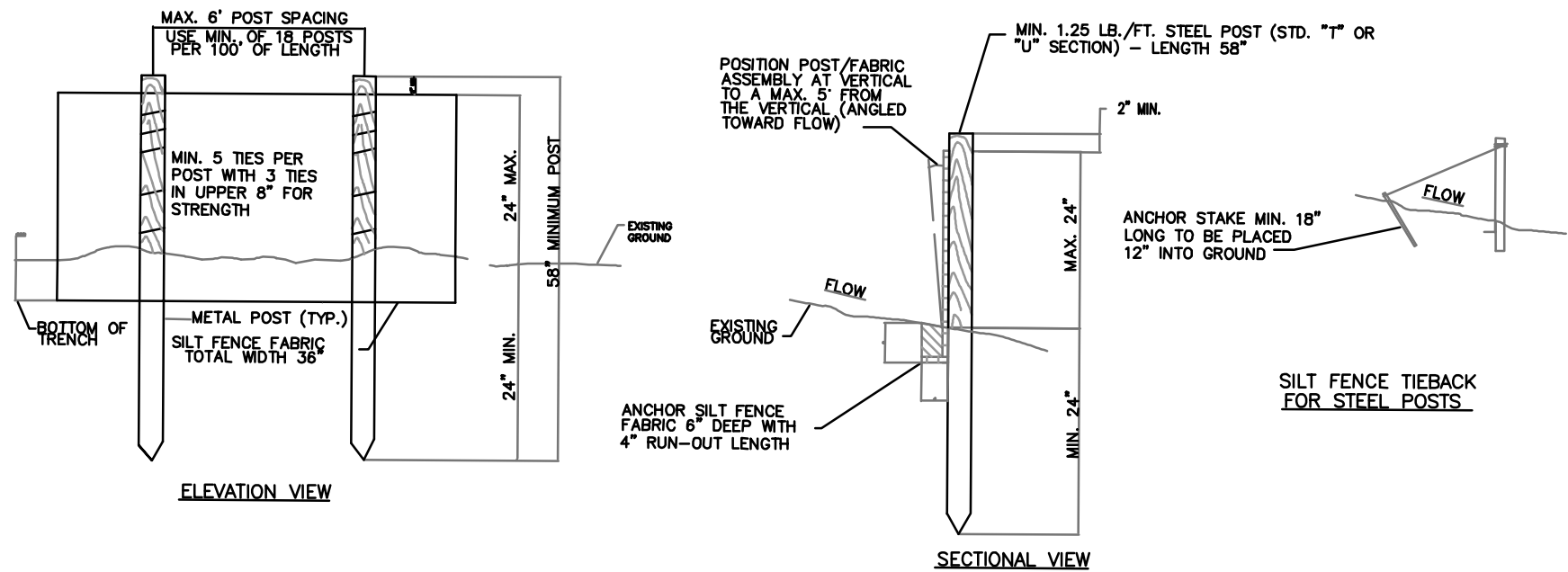
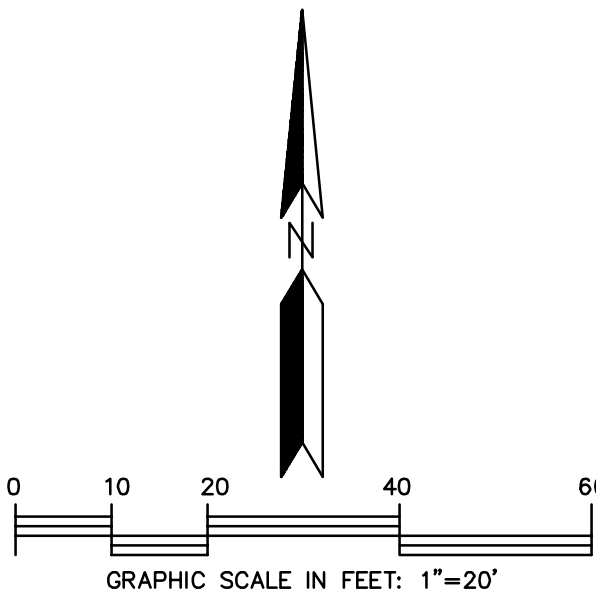
EROSION CONTROL NOTES:
1. EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE AND FUNCTIONAL PRIOR TO COMMENCEMENT OF EARTH MOVING OPERATIONS.
2. ALL EROSION AND SEDIMENT CONTROL MEASURES MUST BE PROPERLY CONSTRUCTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
3. CHECK ALL EROSION AND SEDIMENT CONTROL MEASURES PER TDEC TWICE WEEKLY AT LEAST 72 HOURS APART. DAILY CHECKING IS REQUIRED DURING PROLONGED RAINFALL. MAINTAIN A PERMANENT LOG OF CHECKS AND MAINTENANCE MEASURES.
4. KEEP CONSTRUCTION DEBRIS FROM ENTERING STORM SEWER.
5. PROMPTLY BACKFILL AND STABILIZE TRENCHES AND/OR PITS.
6. DESIGNATE A SPECIFIC INDIVIDUAL (MUST BE TDEC LEVEL 1 CERTIFIED) TO BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROLS AND TO KEEP THE PERMANENT LOG.
7. EROSION CONTROLS ARE NOT LIMITED TO THE SPECIFIED PRACTICES, HOWEVER, ALTERNATIVE MEASURES MUST BE AT LEAST AS EFFECTIVE IN CONTROLLING EROSION AND SEDIMENTATION.
8. RE-VEGETATION OF EXPOSED GROUND SHOULD BEGIN AS SOON AS CONSTRUCTION IS COMPLETED.
9. INSTALL STAKED AND ENTRENCHED SILT FENCE ALONG THE BASE OF ALL BACKFILLS AND CUTS, ON THE DOWNHILL SIDE OF STOCKPILED SOIL, AND ALONG DITCH BANKS IN CLEARED AREAS TO PREVENT EROSION INTO DITCHES, DO NOT PLACE SILT FENCE IN FLOWING DITCH.



DISTURBED AREA: 0.8 ACRES
NOTE TO DEVELOPER AND CONTRACTOR:
1. STATE NPDES PERMITS ARE NOT REQUIRED PRIOR TO LAND DISTURBANCE
2. IF FULL IMPLEMENTATION OF THIS PLAN DOES NOT PROVIDE EFFECTIVE SEDIMENT CONTROL AND EROSION PROTECTION, ADDITIONAL MEASURES MAY BE REQUIRED.

NOTE: EXISTING PAVED ENTRANCES ARE AVAILABLE, CONSTRUCTION EXIT NOT NECESSARY.

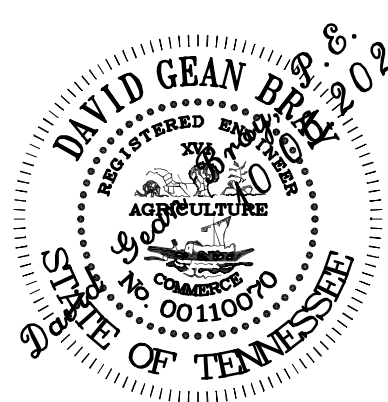
THIS PROPERTY IS NOT LOCATED WITHIN AN AREA DESIGNATED AS A "SPECIAL FLOOD HAZARD AREA" BASED FIRM COMMUNITY PANEL NUMBER 47157C0303G DATED FEBRUARY 6, 2013. BFE: 264



SILT FENCE DETAIL
SCALE: NONE

ALL SILT FENCE TO HAVE METAL POST WITH WIRE BACKED FENCE.

REVISIONS		
ITEM NO.	DESCRIPTION OF CHANGE	DATE APPROVED



PART OF LOT 86, TOWN OF BARTLETT
CHAPMAN AUTO REPAIR

DEVELOPER: CHAPMAN AUTOMOTIVE
ENGINEER: THE BRAY FIRM

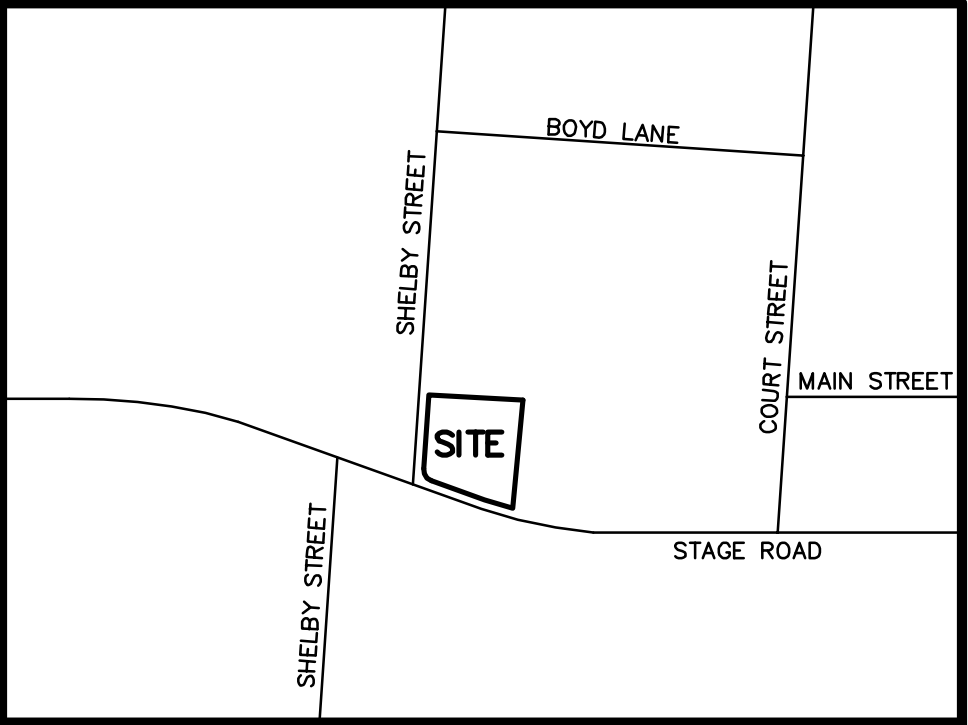
DIVISION OF ENGINEERING
EROSION CONTROL PLAN
LOCATION:
5694 STAGE ROAD
BARTLETT, TENNESSEE

SURVEY: TBF DATE: 9-2025 BOOK: _____
DESIGN: TBF DATE: 10-2025 SCALE: 1"=20'
REVIEWED BY: _____

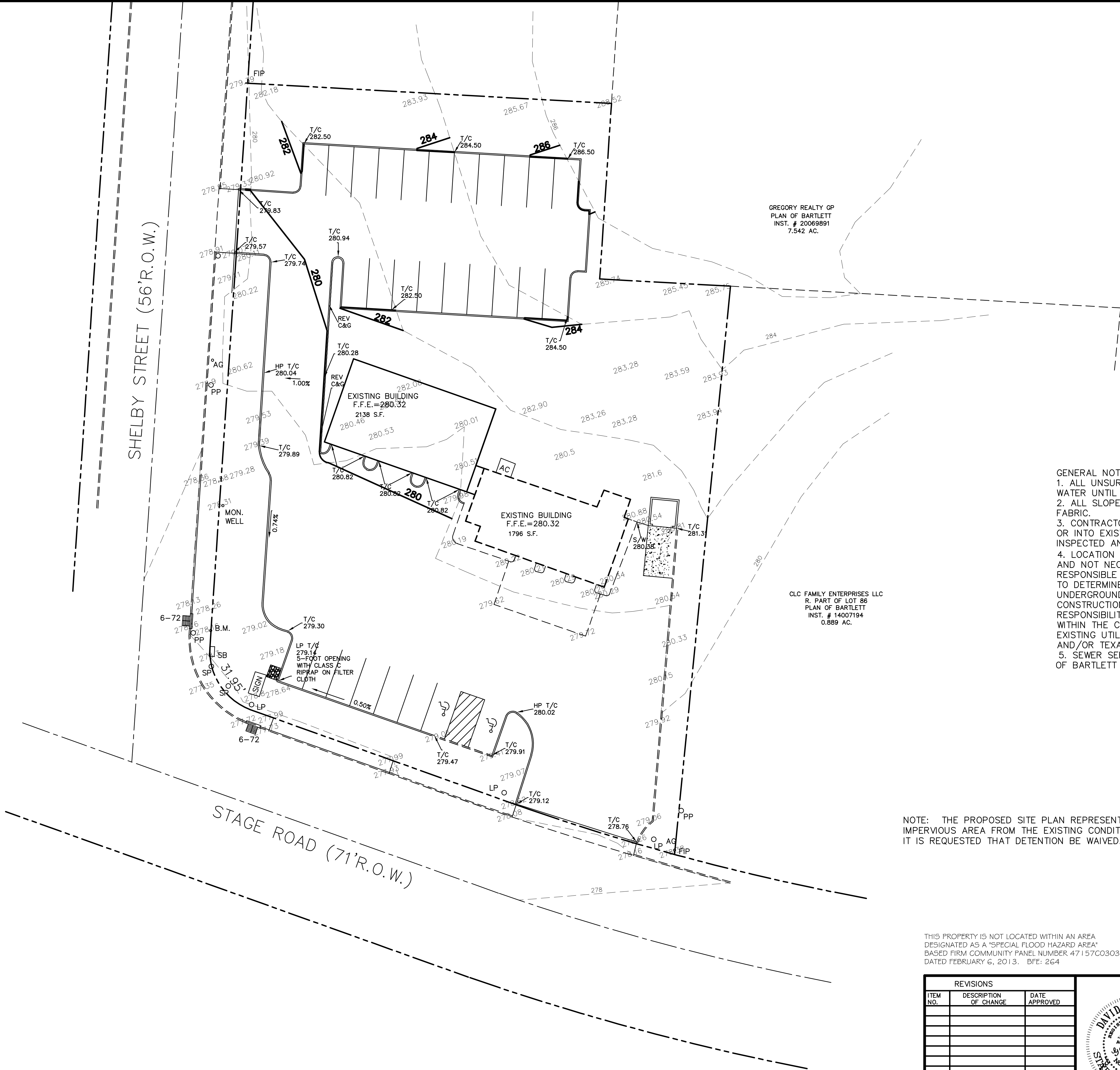
CITY ENGINEER: _____ DATE: _____

LEGEND
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WV - WATER VALVE
X-X - FENCE

UNDERGROUND SEWER
UNDERGROUND WATER
OVERHEAD ELECTRIC
UNDERGROUND ELECTRIC
UNDERGROUND GAS



VICINITY MAP N.T.S.

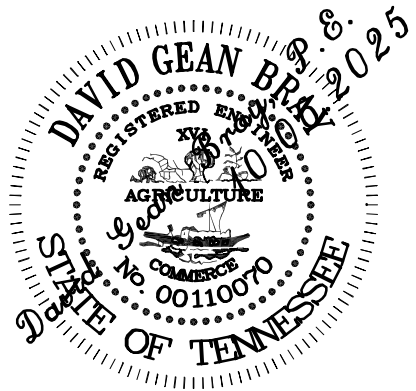


GENERAL NOTES:
1. ALL UNSURFACED AREAS SHALL RECEIVE 4" TOPSOIL, SEED, MULCH, AND WATER UNTIL HEALTHY GRASS COVERAGE IS OBTAINED.
2. ALL SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH STABILIZATION FABRIC.
3. CONTRACTOR SHALL INSTALL SILT FENCE ALONG ALL AREAS DRAINING OFFSITE OR INTO EXISTING CITY OF BARTLETT DRAINAGE LINES. SILT FENCES SHALL BE INSPECTED AND REPAIRED AS NECESSARY.
4. LOCATION OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE AND NOT NECESSARILY ALL OF SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE APPROPRIATE UTILITY COMPANY TO DETERMINE THE EXACT LOCATION OF ALL UTILITIES AND/OR UNDERGROUND STRUCTURES PRIOR TO THE INITIATION OF ANY CONSTRUCTION. THE CONTRACTOR SHALL ALSO ASSUME FULL RESPONSIBILITY FOR DAMAGE TO ANY UTILITIES ENCOUNTERED WITHIN THE CONSTRUCTION PERIMETERS. FOR SITE LOCATION OF EXISTING UTILITIES INVOLVING M.L.G.&W., SOUTH CENTRAL BELL, AND/OR TEXAS GAS COMPANY, PLEASE CALL 1-800-351-1111.
5. SEWER SERVICE TO BE 6" IN DIAMETER ON 1.00% SLOPE. USE CITY OF BARTLETT STANDARD FOR BUILDING CONNECTION.

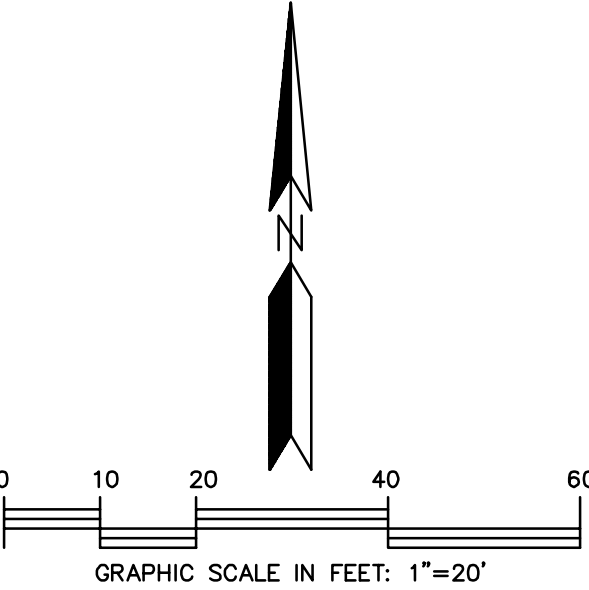
NOTE: THE PROPOSED SITE PLAN REPRESENTS A REDUCTION IN IMPERVIOUS AREA FROM THE EXISTING CONDITION OF 0.15 ACRES. IT IS REQUESTED THAT DETENTION BE WAIVED.

THIS PROPERTY IS NOT LOCATED WITHIN AN AREA DESIGNATED AS A "SPECIAL FLOOD HAZARD AREA" BASED FIRM COMMUNITY PANEL NUMBER 47157C0303G DATED FEBRUARY 6, 2013. BFE: 264

REVISIONS		
ITEM NO.	DESCRIPTION OF CHANGE	DATE APPROVED



PART OF LOT 86, TOWN OF BARTLETT
CHAPMAN AUTO REPAIR
DEVELOPER: CHAPMAN AUTOMOTIVE
ENGINEER: THE BRAY FIRM



DIVISION OF ENGINEERING
GRADING & DRAINAGE PLAN
LOCATION:
5694 STAGE ROAD
BARTLETT, TENNESSEE
SURVEY: TBF DATE: 9-2025 BOOK: _____
DESIGN: TBF DATE: 10-2025 SCALE 1"=20'
REVIEWED BY _____
CITY ENGINEER _____ DATE _____